

Summary of Scope of Work to be performed at:

120 West 74th Street, New York, NY 10023

Block: 1145

Lot: 41

of floors: 4

Building Area: 6,610 sq ft

Total Units: 1

Residential Units: 1

Primary zoning: R8B

Floor Area Ratio: 2.94

The house at 120 West 74th Street is a Queen Anne/Romanesque Revival construction with Moorish elements. Constructed in 1886-87, it is part of a series of row houses designed by architects Thom & Wilson for developer Margaret Brennan.

Over the years, the house has undergone several changes to the interiors, to the exterior. For the purposes of this project, the owners would like to propose several changes which include modifications to the front which would restore the house to its original design and construction and an addition to the rear.

Modifications of the front of the building include the addition of a stoop leading to the Second (Parlor) level. The intention is to restore the stoop to the original before it was removed in 1920; that is, a box stoop which does not encroach heavily on the sidewalk and which is designed in the style of the original design of the house. Although the historic photograph of the building does not show a stoop, there is evidence on the interior of the house of an intention to install a door at the second level. We have also uncovered documentation at the Department of Buildings which shows the existence of a stoop all of which are enclosed.

On the rear, it is uncertain whether an existing extension is part of the original house or an addition constructed after the original construction date. The owner wishes to remove and replace the existing addition. The new addition is proposed one story higher than the existing, yet will encroach 5 feet less into the rear yard. In addition to this new construction, the owners would like to excavate the cellar level to a depth of 18in and extend it under the new extension. We are seeking permission and guidance from LPC in the design of the proposed facade.

In addition, all of the windows in the house will be removed and replaced. Please find enclosed images showing the front of the house and typical details of the existing windows.

We appreciate your consideration and look forward to working with CB7 and LPC to accomplish the owner's wishes for their new home.

Regards,

Pedro Rafael Pachano



FRONT ELEVATION



*FRONT ELEVATION SHOWING THE LOWER
PORTION OF 118 WEST 74TH*



*FRONT ELEVATION SHOWING HOUSE AT
122 WEST 74TH STREET*



*PARLOR LEVEL WINDOW WHERE
PROPOSED DOOR WOULD BE INSTALLED*



FRONT ELEVATIONS MORE VIEWS



DECORATIVE CORNICE AND BRACKETS UNDER THIRD FLOOR



LOWER FRONT FACADE



FRONT ENTRANCE AND SECOND (PARLOR) FLOOR



REAR FACADE SHOWING THE WINDOW AT 122 WEST 74TH STREET





REAR FACADE SHOWING EXISTING EXTENSION ON LEFT AND EXTENSION AT 118 WEST 74TH AT RIGHT



REAR FACADE SHOWING
EXISTING EXTENSION HEIGHT
TO THIRD FLOOR



BRICK MOLD UNDERNEATH EXTERIOR CASING OF REPLACEMENT WINDOWS



*LOCATION OF PROPOSED FRONT
DOOR AT SECOND FLOOR
WINDOW*



*LEFT SIDE SHOWING DOOR
BLOCKING*



*RIGHT SIDE SHOWING DOOR
BLOCKING AND STONE SADDLE*



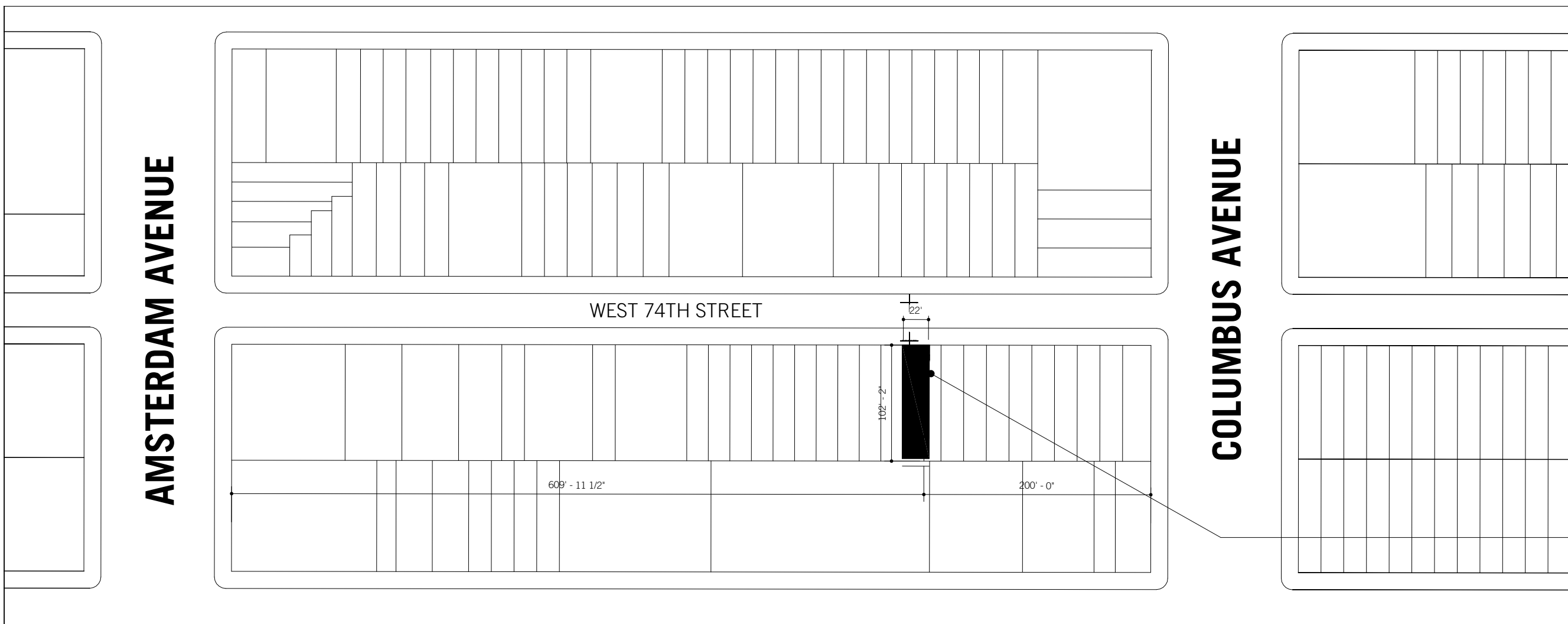
WEST 74TH STREET TOWARD COLUMBUS AVENUE. THE ENTRANCE TO OUR HOUSE IS IN LOWER RIGHT



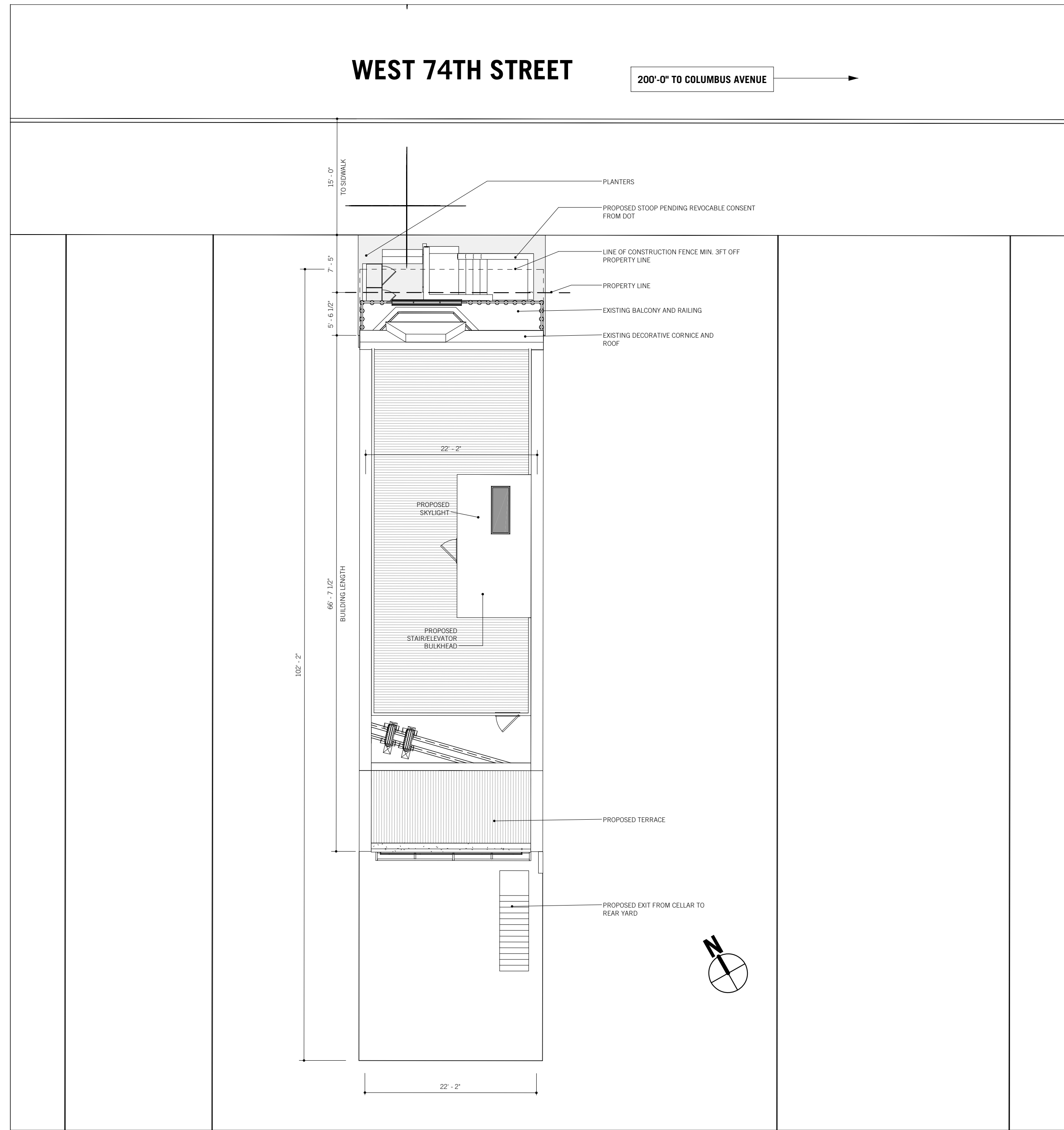
WEST 74TH STREET TOWARD AMSTERDAM AVENUE. OUR HOUSE IS ON LEFT.



IMAGE SHOWING STAIR AT 124 WEST 74TH STREET THAT WE WOULD LIKE TO REPLICATE.



① LOCATION PLAN
1" = 100'-0"



② PLOT PLAN
1" = 10'-0"

Address: 120 West 74th Street		Borough: Manhattan		Block: 1145		Lot: 41	
Zoning Map:8c		Zoning District: R8B		CB: 107		Landmarks: UWS/CPW Historic District	
Lot Area: 22ft x 102.17ft = 2248SQ/FT				Quality Housing: Yes		EX Use: Multiple Dwelling with Basement Office Proposed Use: Single Family	
FLOOR AREA CALCULATIONS							
FLOORS	EXISTING FLOOR AREA		PROPOSED FLOOR AREA		RESIDENTIAL	COMMERCIAL	MANUFACTURING
CELLAR	N/A		N/A		N/A		
BASEMENT	1384 SQ/FT		1496 SQ/FT		100%		
FIRST	1384 SQ/FT		1466 SQ/FT		100%		
SECOND	1434 SQ/FT		1512 SQ/FT		100%		
THIRD	1384 SQ/FT		1466 SQ/FT		100%		
FOURTH	1239 SQ/FT		1236 SQ/FT		100%		
TOTALS	6825 SQ/FT		7176 SQ/FT		100%		
ZONING NOTES:							
22-12		Proposed use single family residence permitted as of right.					
23-03		Street tree planting not required in that proposed enlargement is less than 20%.					
23-153		Maximum floor area ratio 4.0 Permitted floor area 2,248 X 4 = 8,992 Square Feet Proposed floor area (see chart) = 7,176 Square Feet – Complies Maximum lot coverage 70% Allowable lot coverage 2,248 X .70 = 1,573 Square Feet Proposed lot coverage 1,512 / 2,248 = 67% - Complies					
23-45		Front yard not required. Existing front yard to remain = 5ft 6.5in					
23-462		No side yard required – none provided.					
23-47		30-foot rear yard required. Proposed rear yard 30 feet – Complies.					
23-633		Maximum Base Height 65 feet Existing base height 58 feet Maximum building height 75 feet Maximum proposed building height including bulkhead 58 feet – Complies.					
23-692(a)		Maximum allowed height of building for narrow building 60 feet – Complies					
23-62(g)(i)		Elevator/stair bulkheads are permitted obstructions. Such obstructions must not be less than 10 feet from the street wall – Complies.					
23-62(g)(3)(ii)		Maximum lot coverage of all obstructions cannot exceed 20% of the lot coverage of the building – Complies.					
23-861		All windows providing natural light and air must be 30 feet from rear lot line – Complies.					
23-892		Entire area of zoning lot between street line and street wall shall be planted – Complies.					
25-81(a)		Bicycle parking not required for buildings containing 10 dwelling units or less.					
28-00		Quality housing requirements: In that this building is a single family residence without parking, none of the Quality Housing requirements apply.					

TOWN HOUSE INTERIOR RENOVATIONS WITH ADDITION REPORT FOR LPC REVIEW

120 West 74th Street
NY, NY 10023

Revision Schedule		
No.	Description	Date
ARCHITECT: Pachano & Vollert Architecture 5 Abbey Hill Drive Great Barrington, MA 01230 (413) 645-3186 us@pachanoandvollert.com © Copyright 2015 Pachano & Vollert Architecture D.P.C.		
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MECHANICAL ENGINEER: Forum Engineering, P.C. 139 Fulton Street, Suite 624 New York, NY 10038 (212) 791-1517		
CLIENT: 120 WEST 74TH LLC		
PROJECT: BINDER RESIDENCE		
LOCATION: 120 West 74th Street NY, NY 10021		
SITE AND ZONING		
SEAL:	DRAWN: PRP REVIEWED: P&V DATE: 08/10/2016 PROJECT NO.: 1412 SCALE: As indicated DRAWING NO.: 1 OF 46 A000.00	



Revision Schedule		
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New York, NY 10038		
(212) 791-1517		
CLIENT:		
120 WEST 74TH LLC		
PROJECT:		
BINDER RESIDENCE		
LOCATION:		
120 West 74th Street		
NY, NY 10021		
EXISTING FRONT IMAGES		
SEAL:	DRAWN:	PRP
	REVIEWED:	P&V
	DATE:	08/10/2016
	PROJECT NO.:	1412
	SCALE:	
DRAWING NO.:		2 OF 46
		A001.00



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MECHANICAL ENGINEER: Forum Engineering, P.C. 139 Fulton Street, Suite 624 New York, NY 10038 (212) 791-1517		
CLIENT: 120 WEST 74TH LLC		
PROJECT: BINDER RESIDENCE		
LOCATION: 120 West 74th Street NY, NY 10021		
EXISTING REAR FACADE		
SEAL:	DRAWN:	PRP
	REVIEWED:	P&V
	DATE:	08/10/2016
	PROJECT NO.:	1412
	SCALE:	
DRAWING NO.:		A002.00



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CLIENT: 120 WEST 74TH LLC		
PROJECT: BINDER RESIDENCE		
LOCATION: 120 West 74th Street NY, NY 10021		
EXISTING ROOF IMAGES		
SEAL:	DRAWN:	PRP
	REVIEWED:	P&V
	DATE:	08/10/2016
	PROJECT NO.:	1412
	SCALE:	
DRAWING NO.:		3 OF 46
		A003.00

ALT. APPLICATION SPECIFICATIONS-SHEET A

BUREAU OF BUILDINGS
BOROUGH OF MANHATTAN, CITY OF NEW YORK

NOTICE—This Application must be TYPEWRITTEN and filed in TRIPPLICATE.
"SPECIFICATIONS-SHEET A" (Form 122) must be filed with EVERY Alteration Application.
"SPECIFICATIONS-SHEET B" (Form 123) must be filed, in addition, with EVERY Alteration Application.
When the height or occupancy changed as to increase floor area, the drawings must be enlarged on one side.

Received JAN 14 1920
FOR THE BOROUGH OF MANHATTAN

ALT. APPLICATION No. 102
1920

LOCATION 120 West 74th St. N.Y.C.

Examined 191 _____

SPECIFICATIONS-SHEET A

(1) NUMBER OF BUILDINGS TO BE ALTERED:
Any other building on lot or permit granted for one? One

(2) ESTIMATED COST OF ALTERATION: \$ 12,500

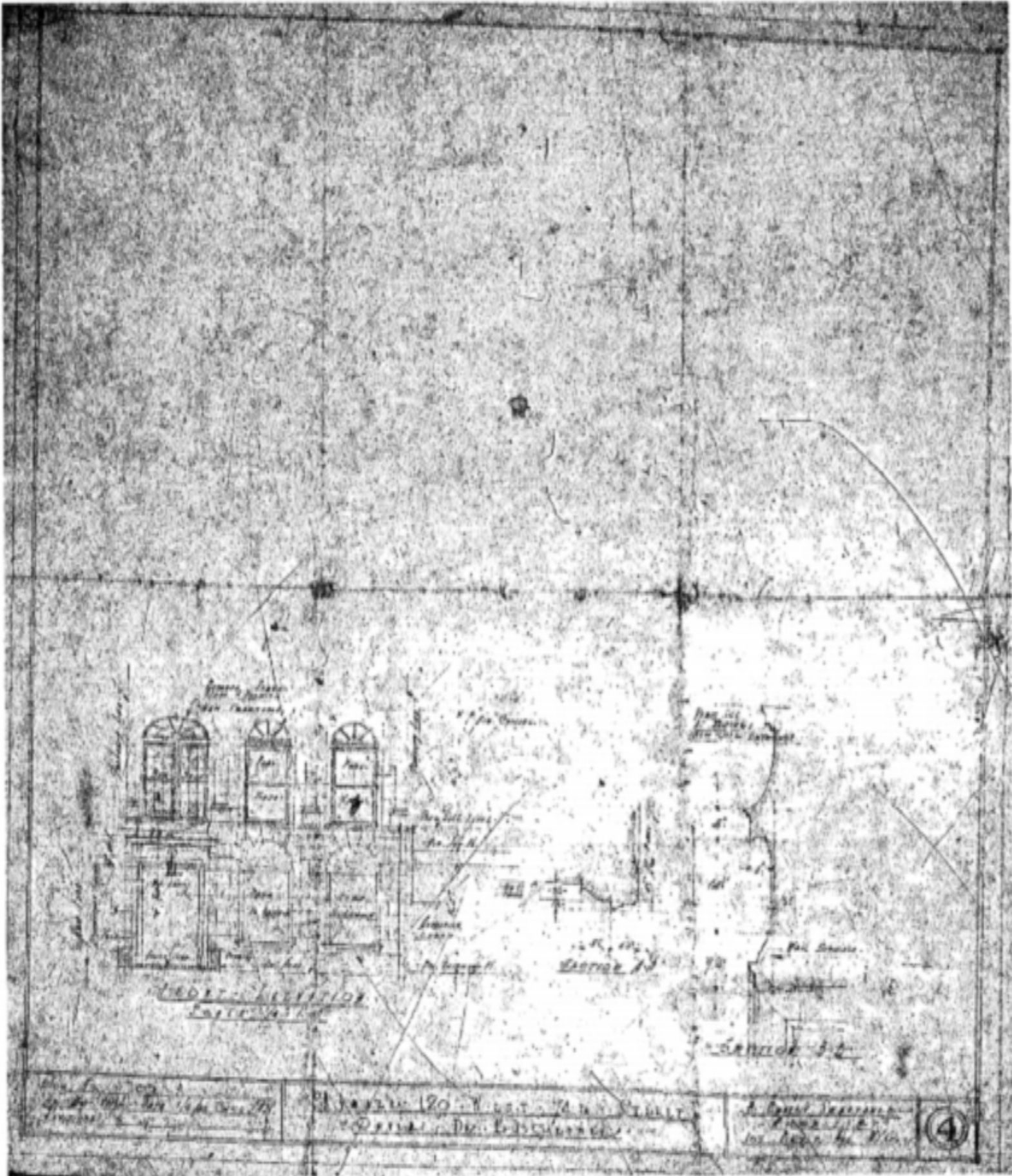
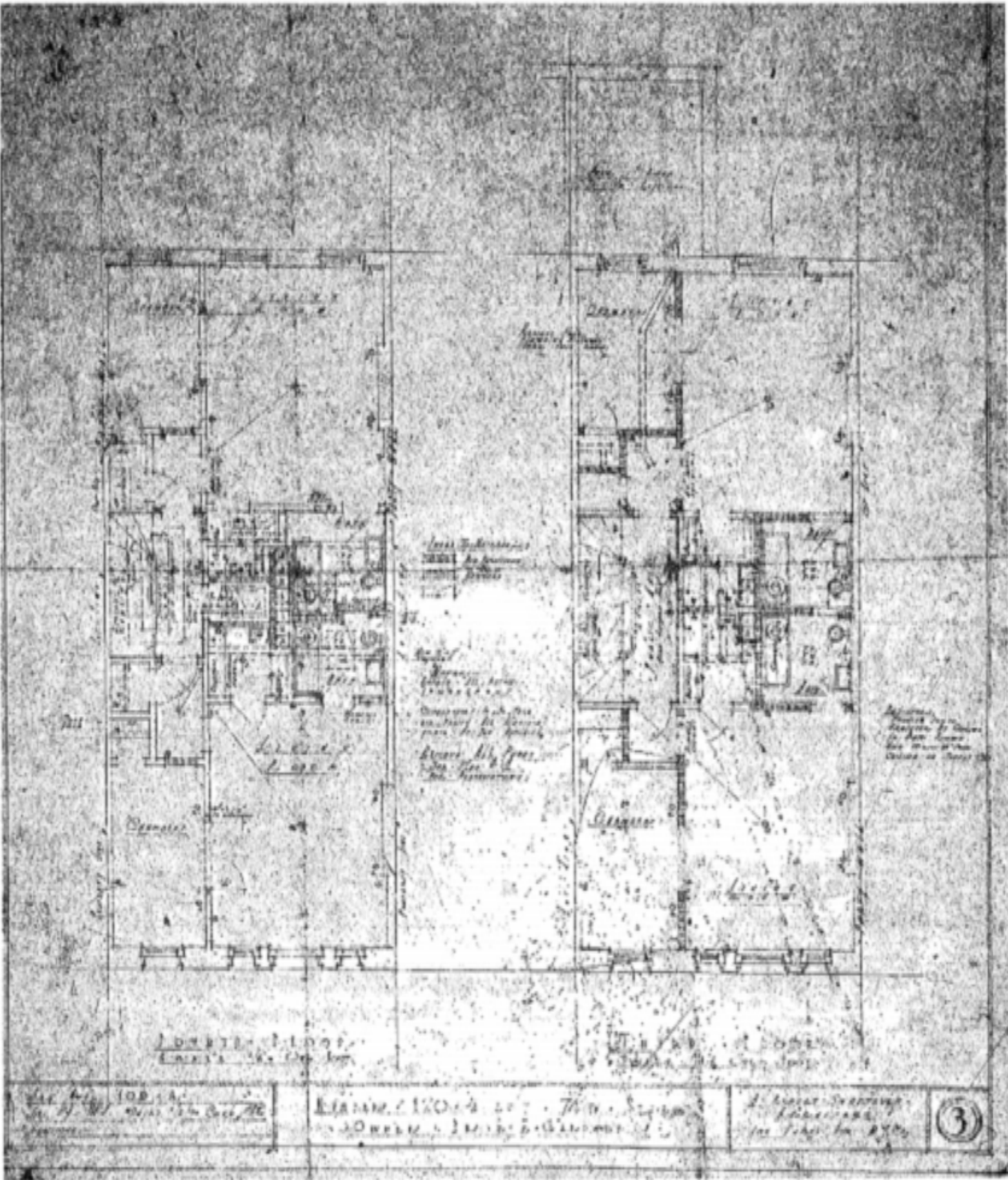
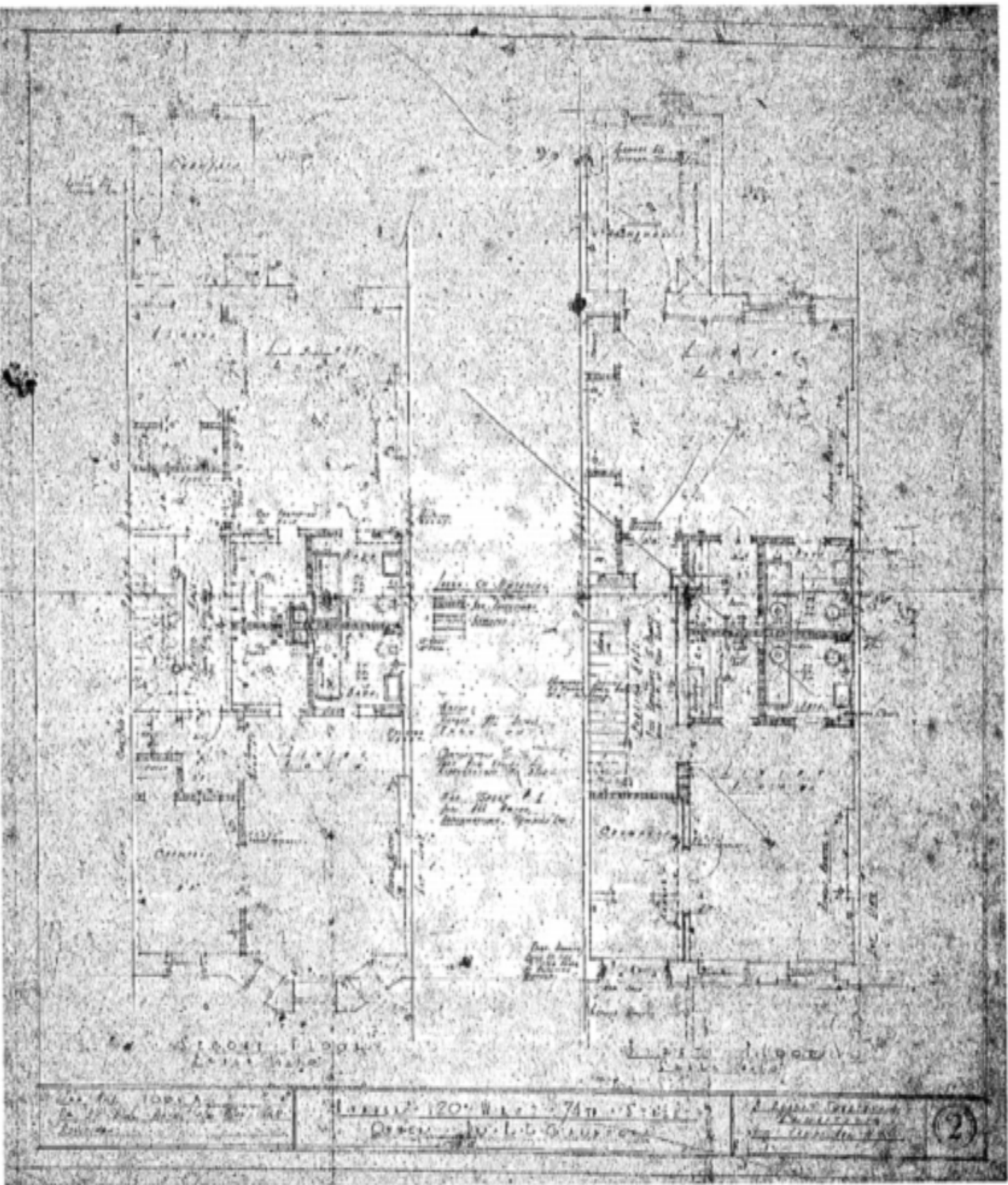
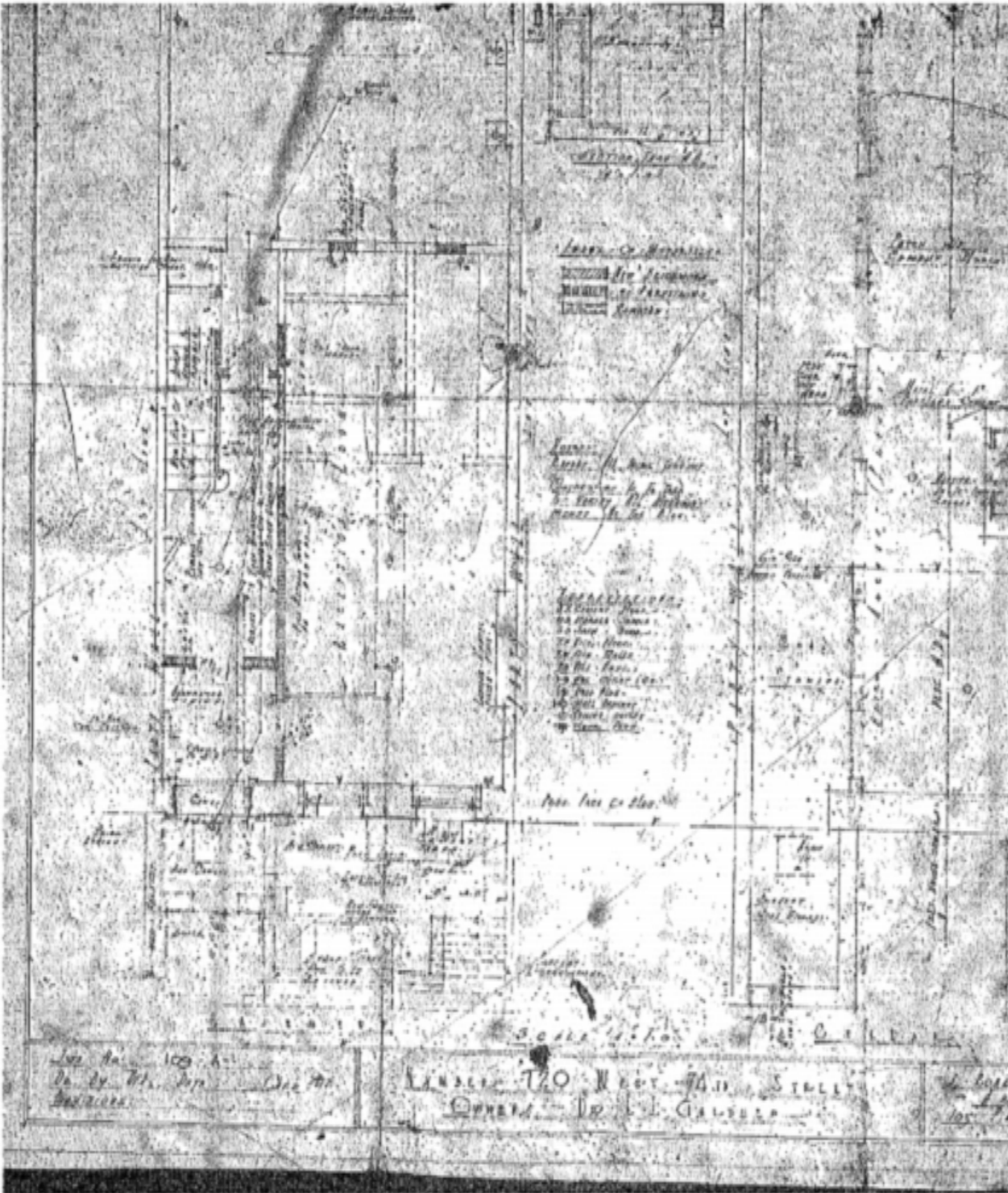
(3) OCCUPANCY (in detail):
Of present building: Private Dwelling
Of building as altered: Bachelor Apartments

(4) SIZE OF EXISTING BUILDING:
At street level: 25' x 60' feet front feet front feet deep
At typical floor level: 25' x 60' feet front feet front feet deep
Height: 6 stories

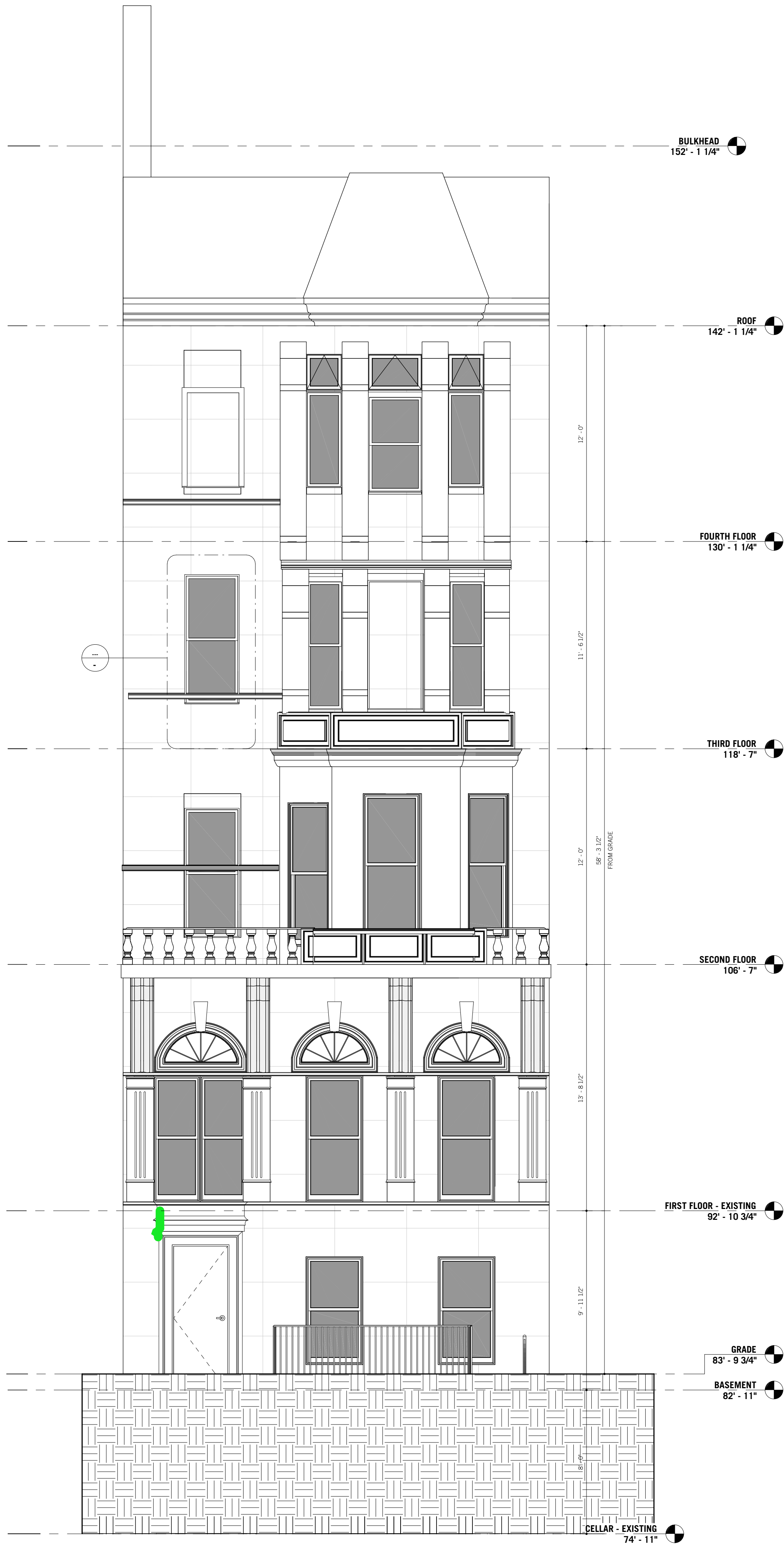
(5) SIZE OF BUILDING AS ALTERED:
At street level: 25' x 60' feet front feet front feet deep
At typical floor level: 25' x 60' feet front feet front feet deep
Height: _____

(6) CHARACTER OF CONSTRUCTION OF PRESENT BUILDING: Ordinary
(Frame, Brick or Stone)

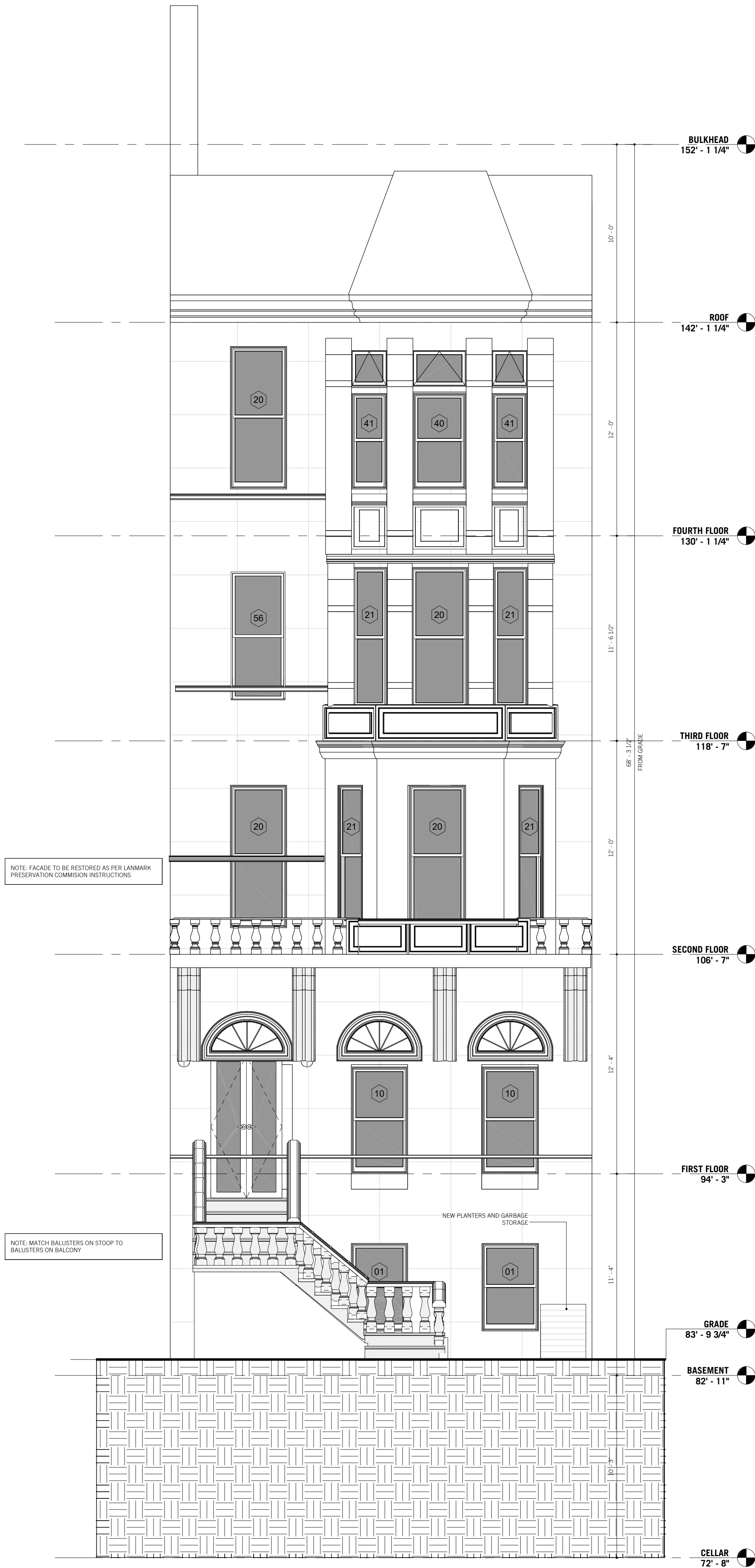
(7) STATE GENERALLY IN WHAT MANNER THE BUILDING WILL BE ALTERED:
Removal of Partitions
Installation of Bath Rooms
General Repairs
Renovation Front
Removal of Stoop
New Sinks and Doors, etc.



Revision Schedule		
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CLIENT:		
120 WEST 74TH LLC		
PROJECT:		
BINDER RESIDENCE		
LOCATION:		
120 West 74th Street NY, NY 10021		
DOCUMENTS		
SEAL:	DRAWN: Author	REVIEWED: Approver
	DATE: 08/10/2016	PROJECT NO.: 1412
	SCALE:	DRAWING NO.:
		A106.00



① FRONT ELEVATION - EXISTING
1/4" = 1'-0"



② FRONT ELEVATION - NEW
1/4" = 1'-0"

Revision Schedule

No.	Description	Date

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CLIENT:

PROJECT:

LOCATION:
120 West 74th Street
NY, NY 10021

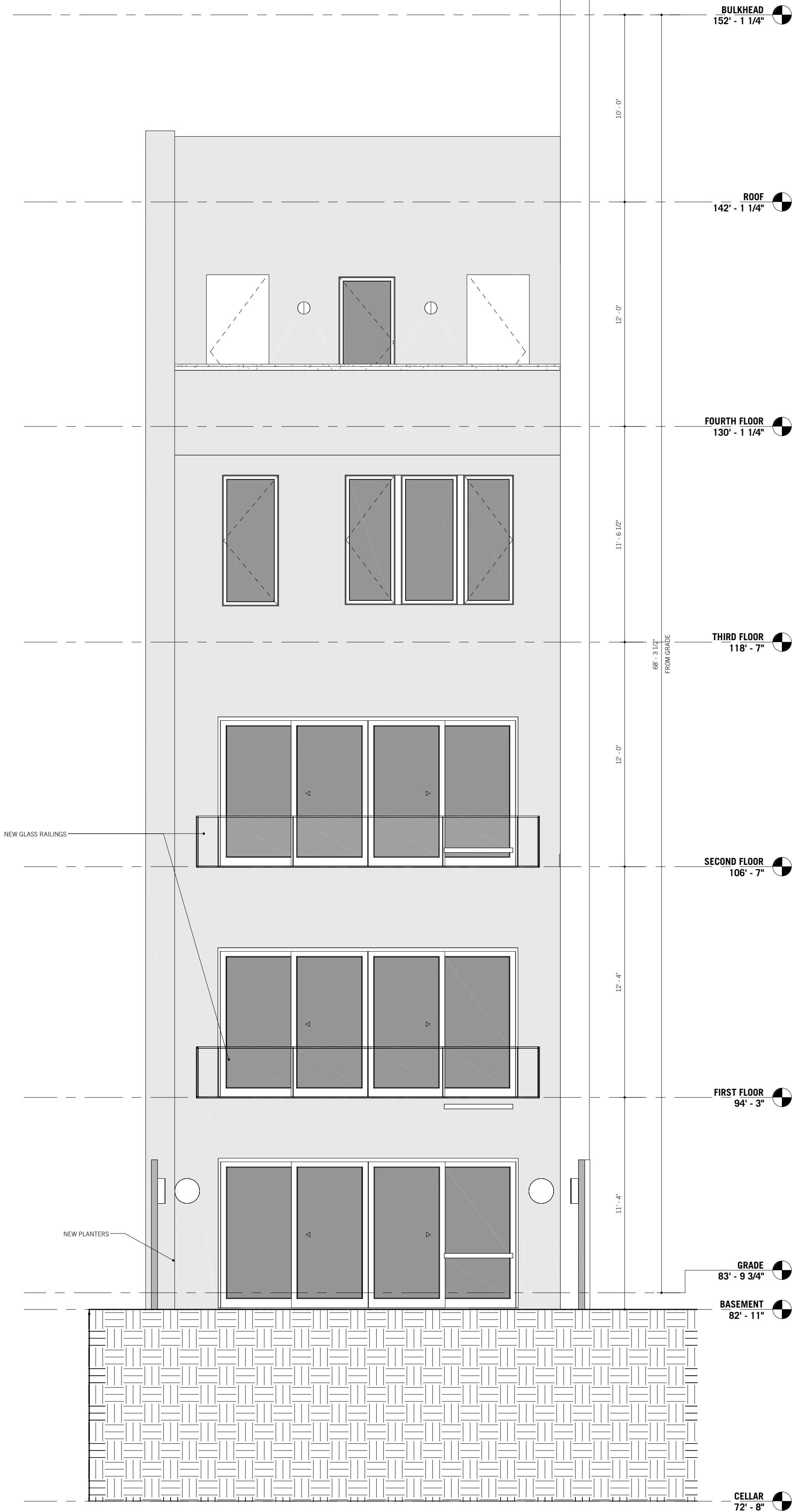
ELEVATIONS

SEAL:	DRAWN: PRP
	REVIEWED: P&V
	DATE: 08/10/2016
	PROJECT NO.: 1412
	SCALE: 1/4" = 1'-0"
	DRAWING NO.:

A201.00



① REAR ELEVATIONS - EXISTING
1/4" = 1'-0"



② REAR ELEVATION - NEW
1/4" = 1'-0"

Revision Schedule

No.	Description	Date

ARCHITECT:

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CLIENT:

120 WEST 74TH LLC

PROJECT:

BINDER RESIDENCE

LOCATION:

120 West 74th Street

NY, NY 10021

ELEVATIONS

SEAL:

DRAWN: PRP

REVIEWED: P&V

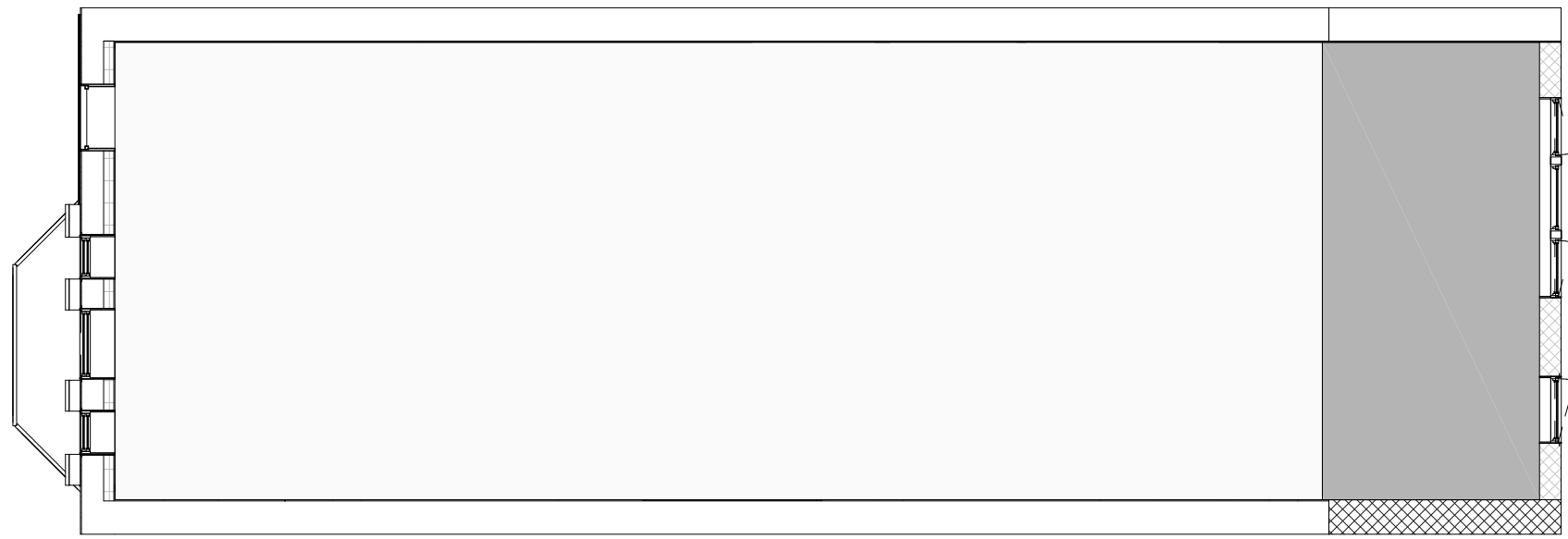
DATE: 08/10/2016

PROJECT NO.: 1412

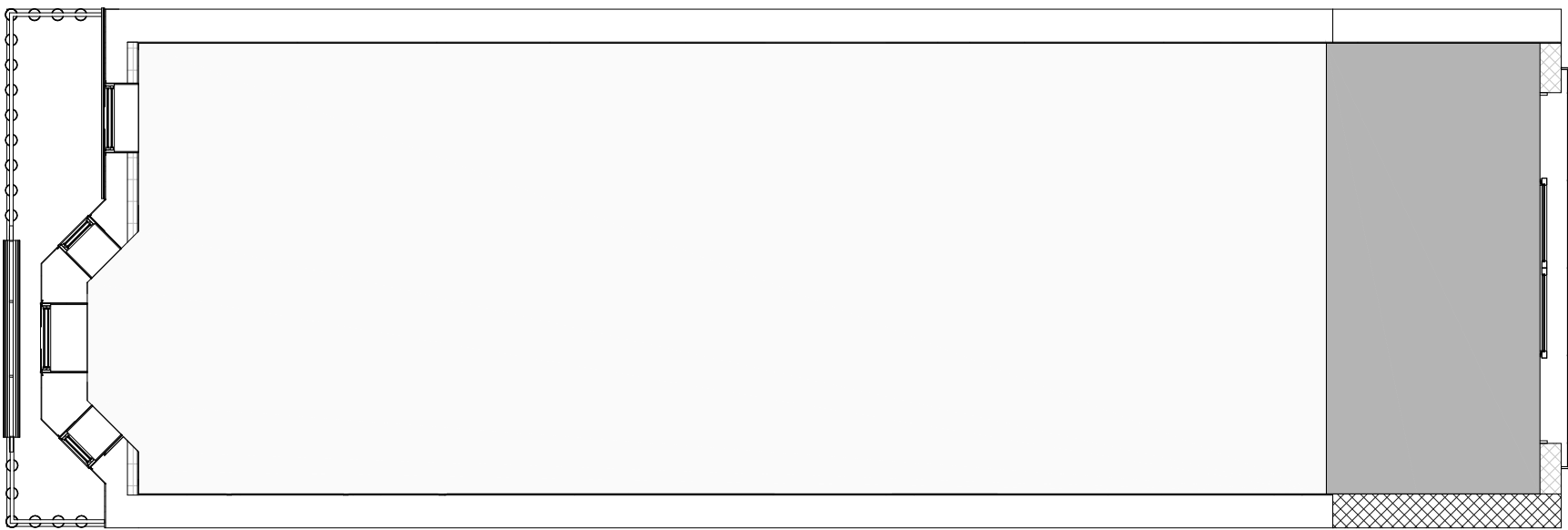
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DRAWING NO.:

A201.01



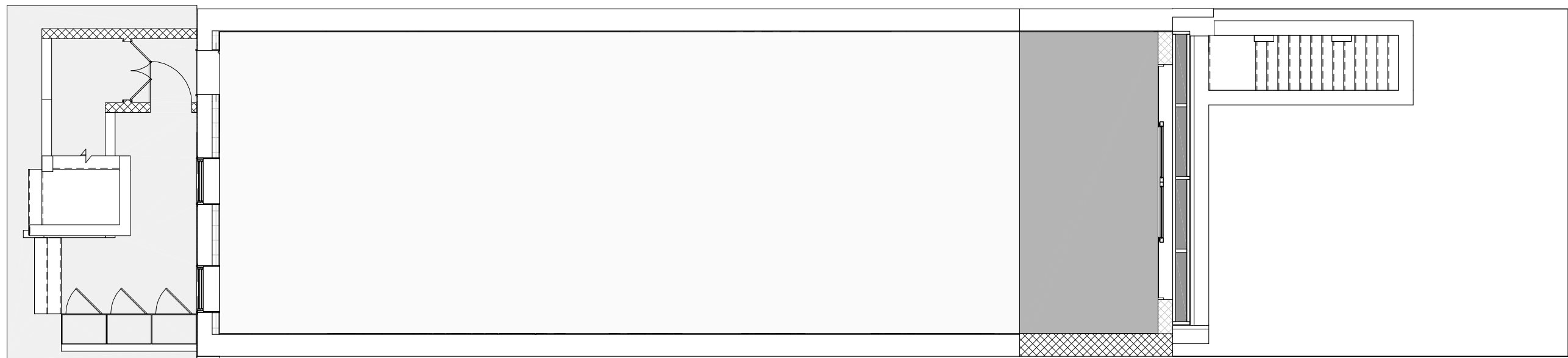
⑤ THIRD FLOOR - CONSTRUCTION PLAN
1/8" = 1'-0"



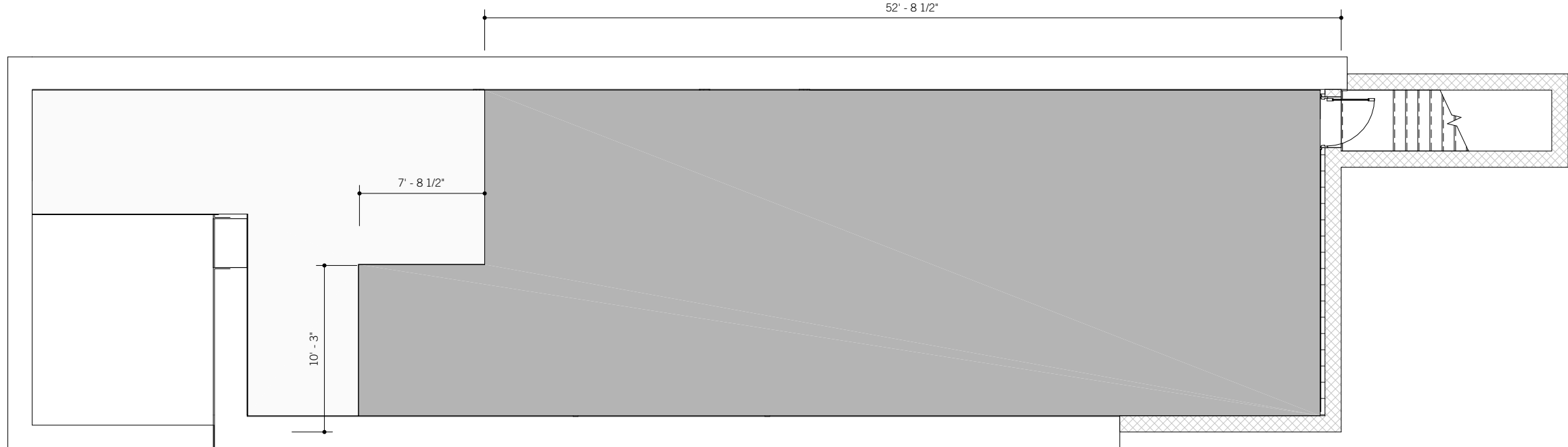
④ SECOND FLOOR - CONSTRUCTION PLAN
1/8" = 1'-0"



③ FIRST FLOOR - CONSTRUCTION PLAN
1/8" = 1'-0"



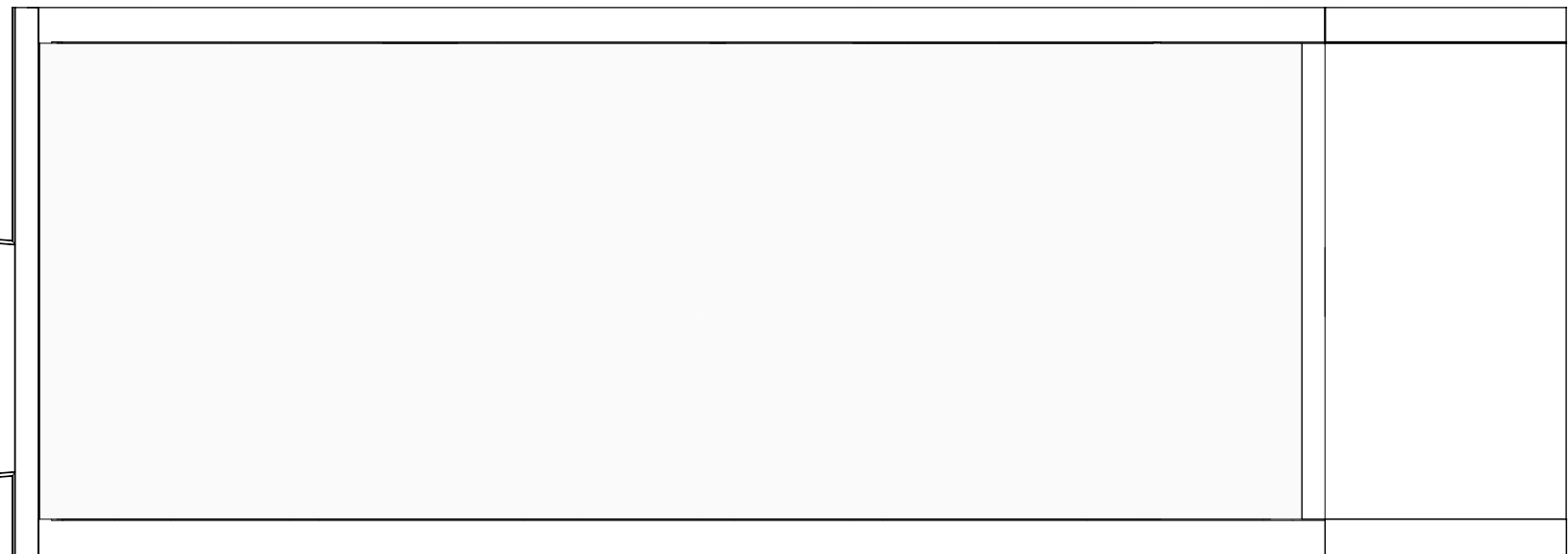
② BASEMENT - CONSTRUCTION PLAN
1/8" = 1'-0"



① CELLAR - CONSTRUCTION PLAN
1/8" = 1'-0"

EXISTING/NEW FLOOR AREA CALCULATIONS		
	EX SF	NEW SF
CELLAR	398	1239
BASEMENT	1236	260
FIRST	N/A	1466
SECOND	1276	236
THIRD	1230	236
FOURTH	1197	269
ROOF	1197	N/A
TOTAL	6534	3437
6534 x 110% = 7187(EX)		
7187(EX) > 3437 (NEW)		

NEW
EXISTING

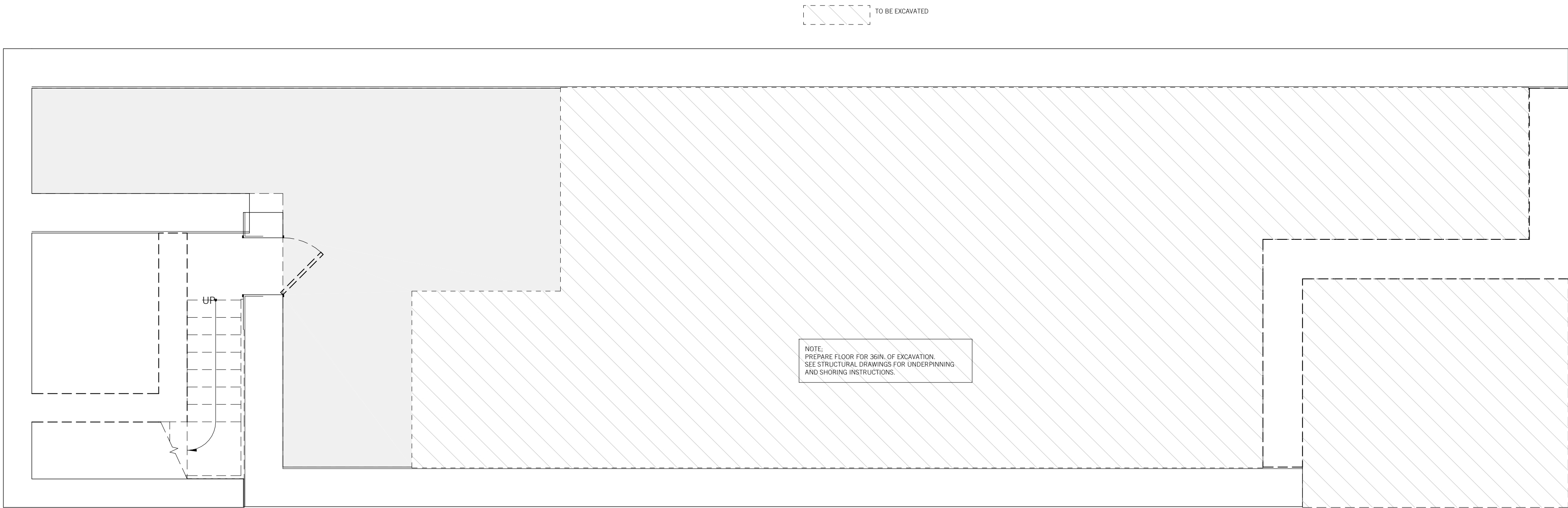


⑦ ROOF - CONSTRUCTION PLAN
1/8" = 1'-0"

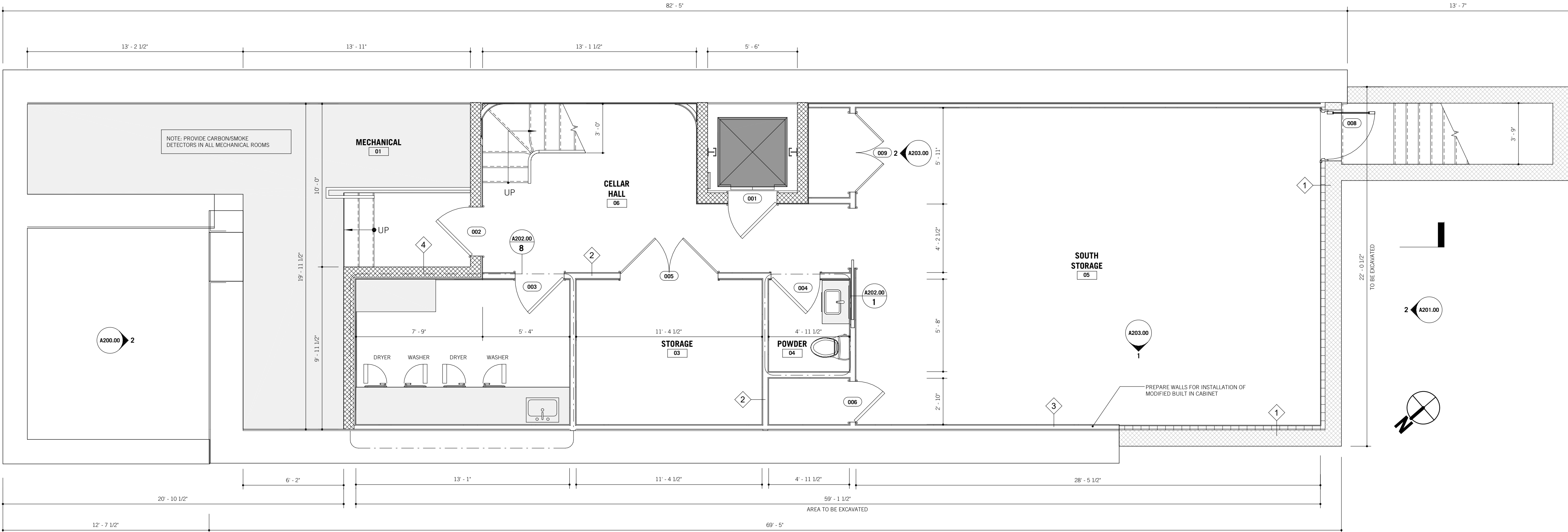


⑥ FOURTH FLOOR - CONSTRUCTION PLAN
1/8" = 1'-0"

Revision Schedule		
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MECHANICAL ENGINEER: Forum Engineering, P.C. 139 Fulton Street, Suite 624 New York, NY 10038 (212) 791-1517		
CLIENT: 120 WEST 74TH LLC		
PROJECT: BINDER RESIDENCE		
LOCATION: 120 West 74th Street NY, NY 10021		
PLAN DIAGRAMS		
SEAL:	DRAWN: PRP REVIEWED: P&V DATE: 08/10/2016 PROJECT NO.: 1412 SCALE: As indicated DRAWING NO.: 3 OF 46	A003.00



1 CELLAR FLOOR - EXISTING PLAN
1/4" = 1'-0"



2 CELLAR - CONSTRUCTION PLAN
1/4" = 1'-0"

DEMOLITION NOTES

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY IN A SYSTEMATIC MANNER.

2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. HE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.

4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF CHAPTER 33 OF THE 2008 NYC BUILDING CODE.

6. REMOVE OR RELOCATE ALL WIRING, PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY THE REMOVAL OF PARTITIONS. IF THEY CAN NOT BE REMOVED, PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.

7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACINGS AS REQUIRED BY NYC DEPARTMENT OF BUILDINGS RULES AND REGULATIONS.

8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

9. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE CODES, FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AN ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO PERFORM HEREIN DESCRIBED.

SHEET NOTES

NOTES:

1. ALL WORK SHALL CONFORM TO THE NYC BUILDING CODES, NYC DEPARTMENT OF BUILDINGS REQUIREMENTS, ALL APPLICABLE CODES AND REGULATIONS, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REGULATIONS AND BEST TRADE PRACTICES.

2. THE GENERAL CONTRACTOR SHALL, BEFORE COMMENCEMENT OF WORK, FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE NYC DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.

3. THE GENERAL CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL TRADES INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL AND MECHANICAL.

4. THE GENERAL CONTRACTOR WILL COORDINATE INFORMATION WITH ALL APPROPRIATE TRADES AND MAKE SURE ALL WORK IS TO BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES. ALL TRADES SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

5. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS IN THE FIELD AND CONTACT THE ARCHITECT IF INCONSISTENCIES BETWEEN PLANS AND FIELD CONDITIONS OCCUR.

6. DO NOT SCALE DRAWINGS.

7. ALL DIMENSIONS TO OUTSIDE FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.

8. DEPARTMENT OF BUILDINGS PERMITS TO BE POSTED AT THE JOB SITE FOR THE DURATION OF THE WORK.

NEW 3HR RATED CMU WALL
UL 263

NEW PARTITION

EXISTING

SMOKE/CO2 DETECTOR

Revision Schedule

No.	Description	Date

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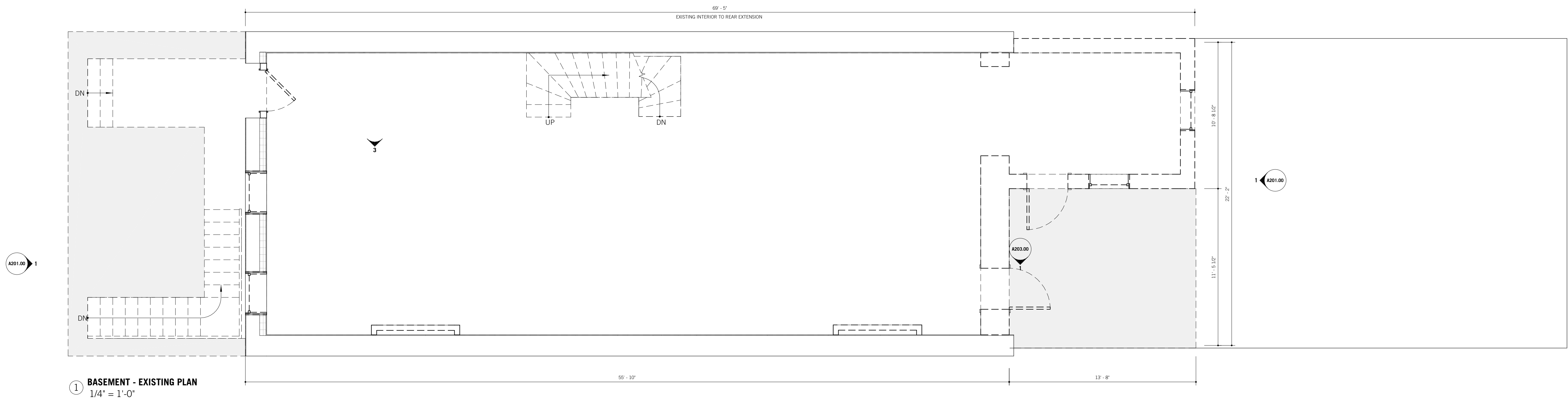
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CLIENT:
120 WEST 74TH LLC
PROJECT:
BINDER RESIDENCE
LOCATION:
120 West 74th Street
NY, NY 10021

CELLAR PLANS

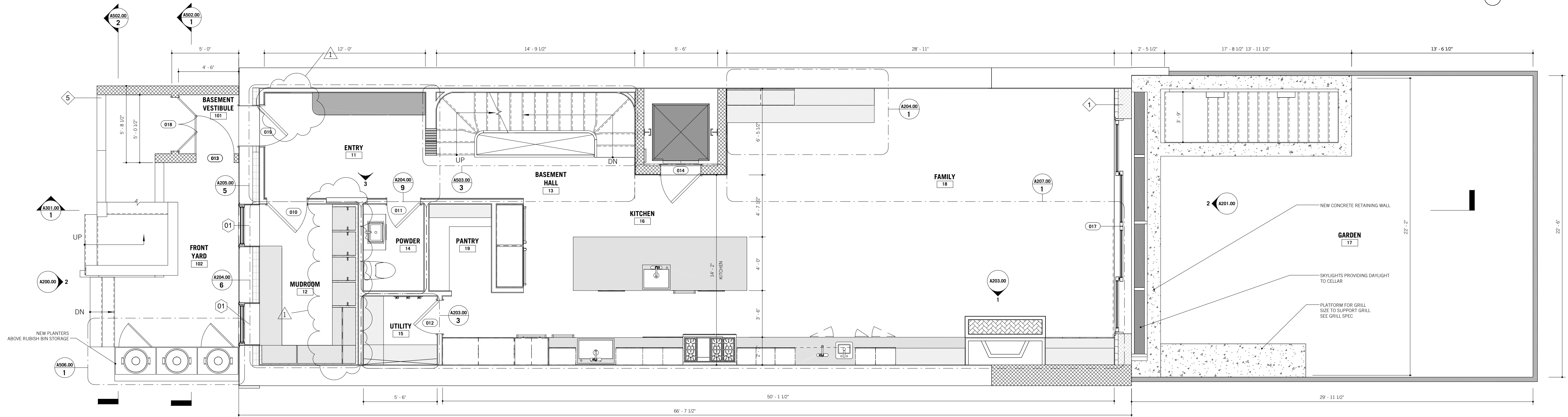
SEAL:	DRAWN: PRP
	REVIEWED: P&V
	DATE: 08/10/2016
	PROJECT NO.: 1412
	SCALE: 1/4" = 1'-0"
	DRAWING NO.: 4 OF 46

A10A.00



1 BASEMENT - EXISTING PLAN
1/4" = 1'-0"

- NEW 3HR RATED CMU WALL
UL 263
- NEW PARTITION
- EXISTING
- SMOKE/CO2 DETECTOR



2 BASEMENT - CONSTRUCTION PLAN
1/4" = 1'-0"

WINDOW SIZES			
#	TYPE	WIDTH	HEIGHT
017	DOOR	16FT	8FT
1	WINDOW	3FT	5FT

Revision Schedule		
No.	Description	Date
1	Revision 1	27 JUNE 06

ARCHITECT:
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New York, NY 10038
(212) 791-1517

CLIENT:
120 WEST 74TH LLC

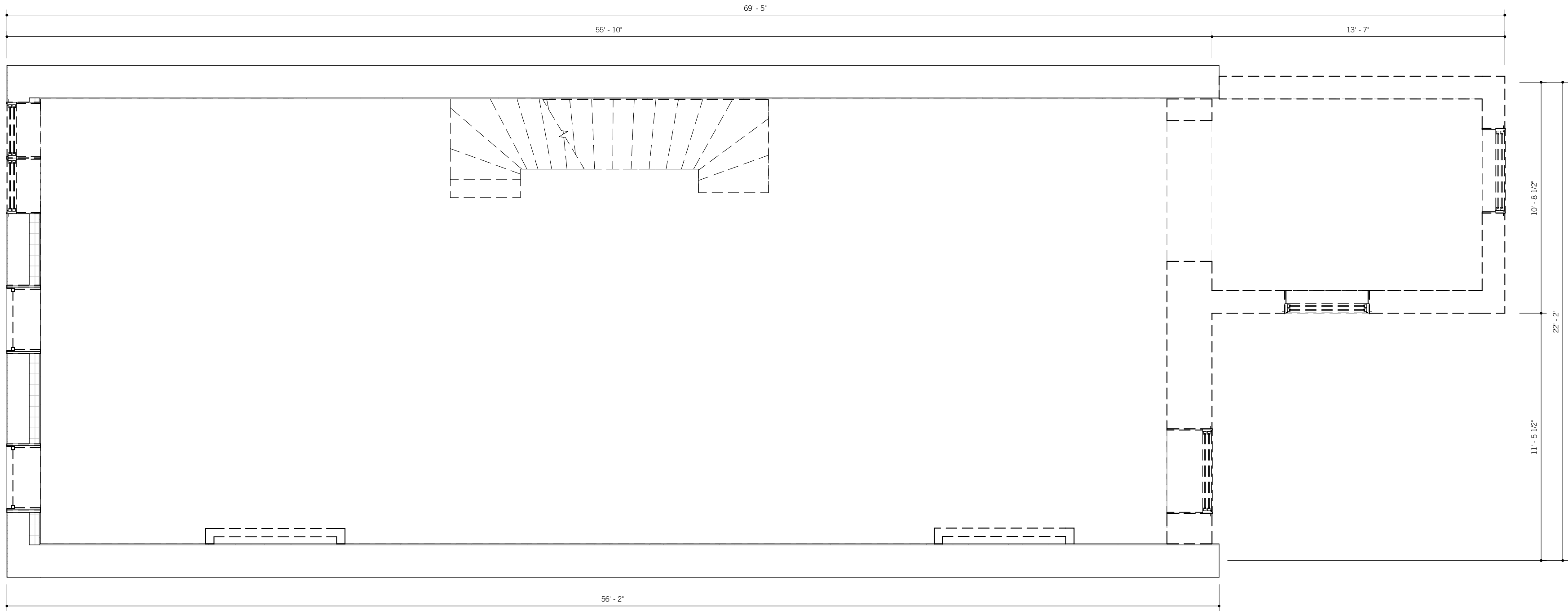
PROJECT:
BINDER RESIDENCE

LOCATION:
120 West 74th Street
NY, NY 10021

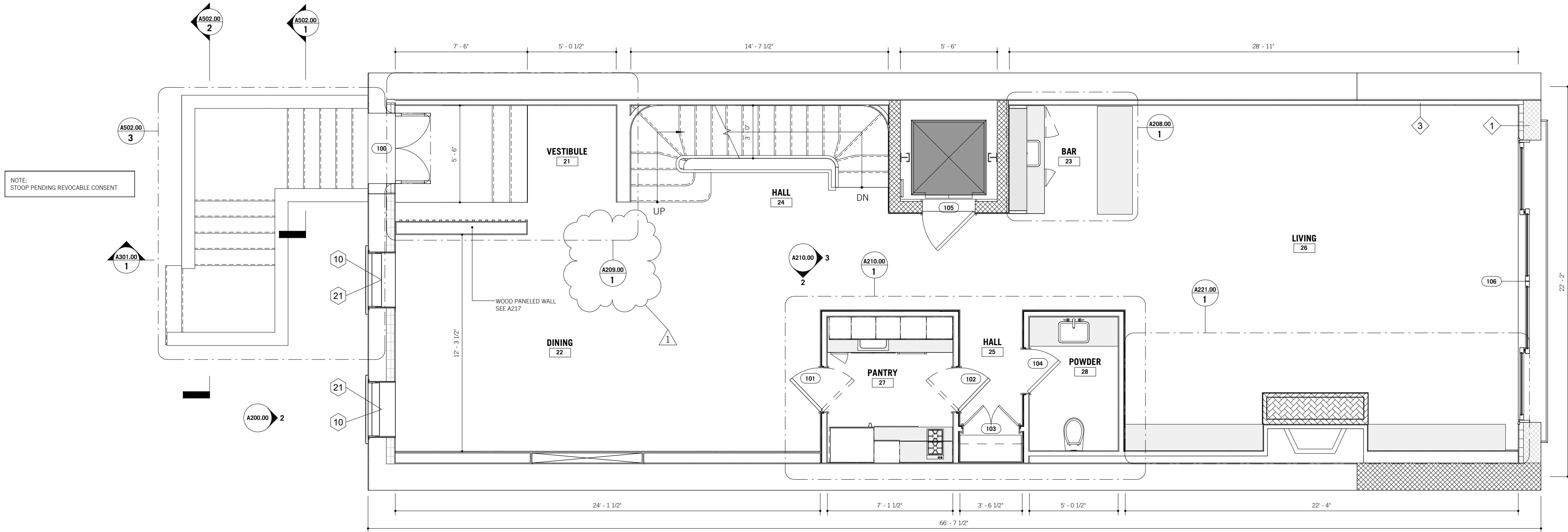
BASEMENT FLOOR PLANS

SEAL:	DRAWN: PRP
	REVIEWED: P&V
	DATE: 08/10/2016
	PROJECT NO.: 1412
	SCALE: 1/4" = 1'-0"
	DRAWING NO.: 5 OF 46

A100.00



1 FIRST FLOOR - EXISTING PLAN
1/4" = 1'-0"



2 FIRST FLOOR - CONSTRUCTION PLAN
1/4" = 1'-0"

DEMOLITION NOTES

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY IN A SYSTEMATIC MANNER.

2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. HE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.

4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF CHAPTER 33 OF THE 2008 NYC BUILDING CODE.

6. REMOVE OR RELOCATE ALL WIRING, PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY THE REMOVAL OF PARTITIONS. IF THEY CAN NOT BE REMOVED, PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.

7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACINGS AS REQUIRED BY NYC DEPARTMENT OF BUILDINGS RULES AND REGULATIONS.

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9. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE CODES, FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AN ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO PERFORM HEREIN DESCRIBED.

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6. DO NOT SCALE DRAWINGS.

7. ALL DIMENSIONS TO OUTSIDE FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.

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NEW 3HR RATED CMU WALL
UL-263

NEW PARTITION

EXISTING

SMOKE/CO2 DETECTOR

Revision Schedule

No.	Description	Date
1	Revision 1	27 JUNE 06

ARCHITECT:

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Great Barrington, MA 01230
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CLIENT:

120 WEST 74TH LLC

PROJECT:

BINDER RESIDENCE

LOCATION:

120 West 74th Street
NY, NY 10021

FIRST FLOOR PLANS

SEAL:

DRAWN: PRP

REVIEWED: P&V

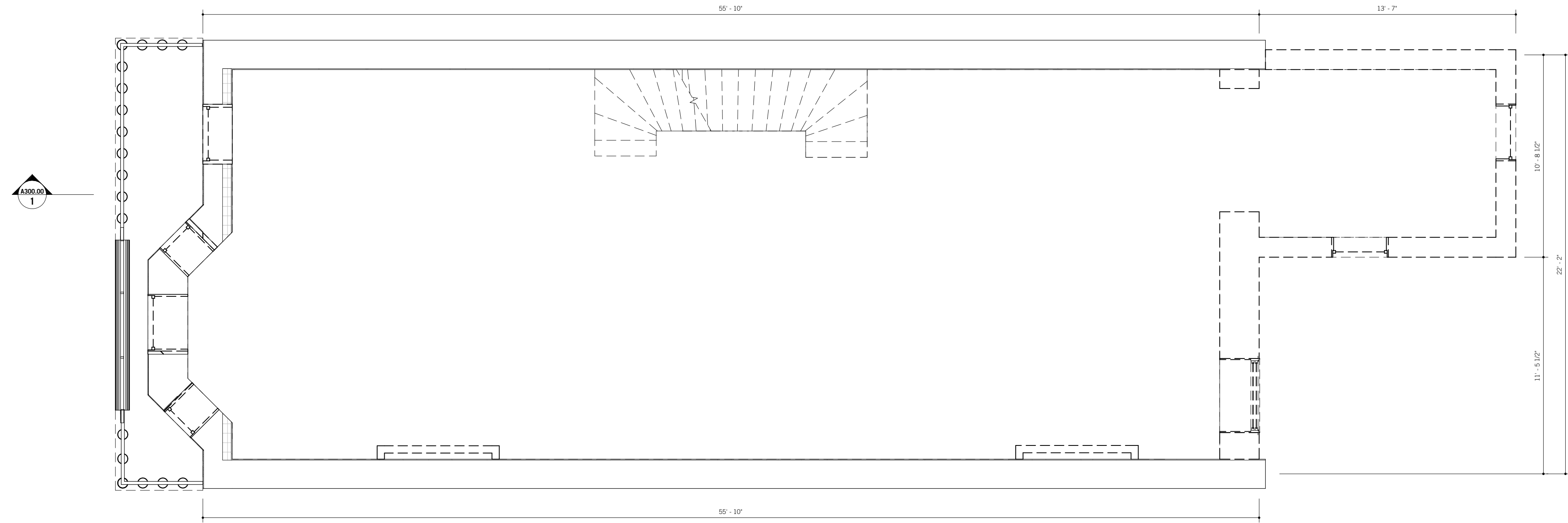
DATE: 08/10/2016

PROJECT NO.: 1412

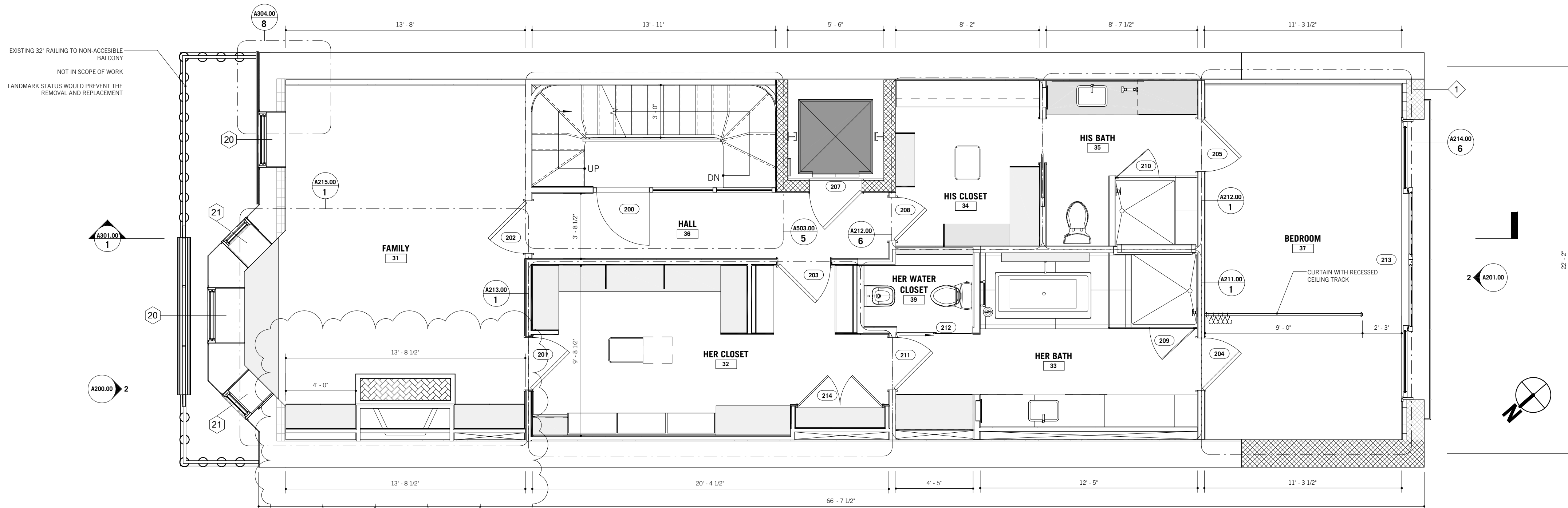
SCALE: 1/4" = 1'-0"

DRAWING NO.: 6 OF 46

A101.00



1 SECOND FLOOR - EXISTING PLAN
1/4" = 1'-0"



2 SECOND FLOOR - CONSTRUCTION PLAN
1/4" = 1'-0"

WINDOW SIZES			
#	TYPE	WIDTH	HEIGHT
213	DOOR	16FT	8FT
20	WINDOW	3FT 2IN	6FT
21	WINDOW	2FT	8FT

DEMOLITION NOTES

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NEW 3HR RATED CMU WALL
UL 263

NEW PARTITION

EXISTING

9

SMOKE/CO2 DETECTOR

Revision Schedule

No.	Description	Date
1	Revision 1	27 JUNE 06

ARCHITECT:

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120 WEST 74TH LLC

PROJECT:

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LOCATION:

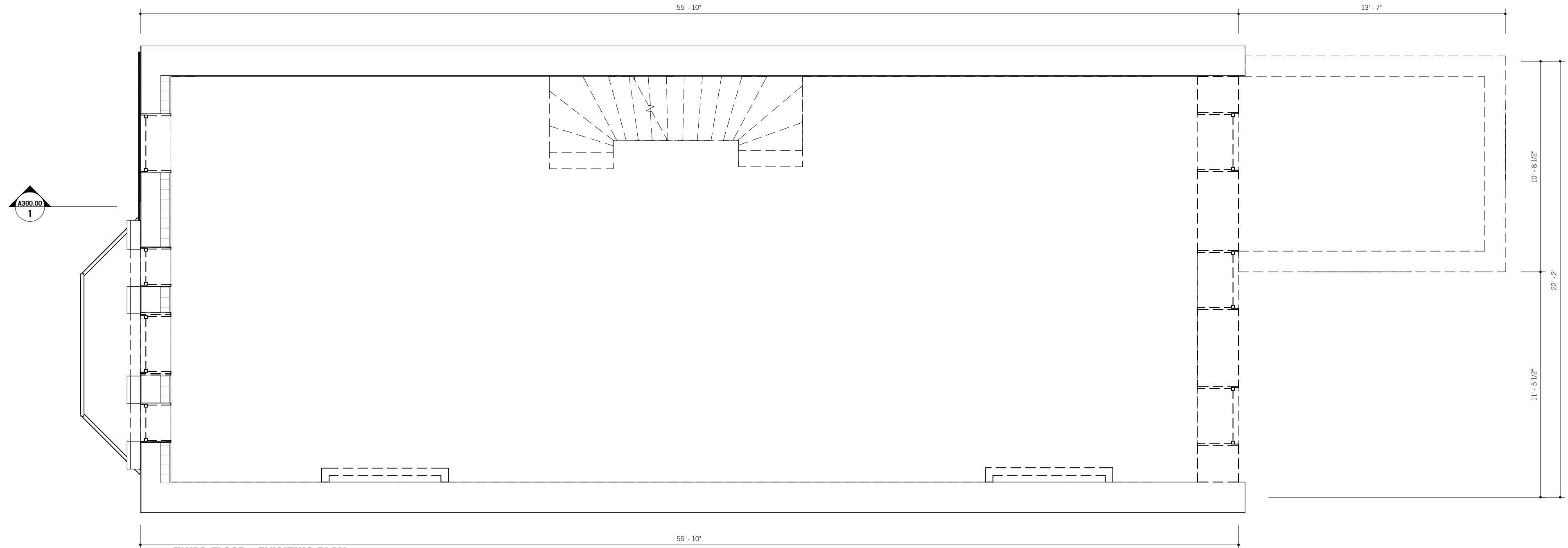
120 West 74th Street
NY, NY 10021

SECOND FLOOR PLANS

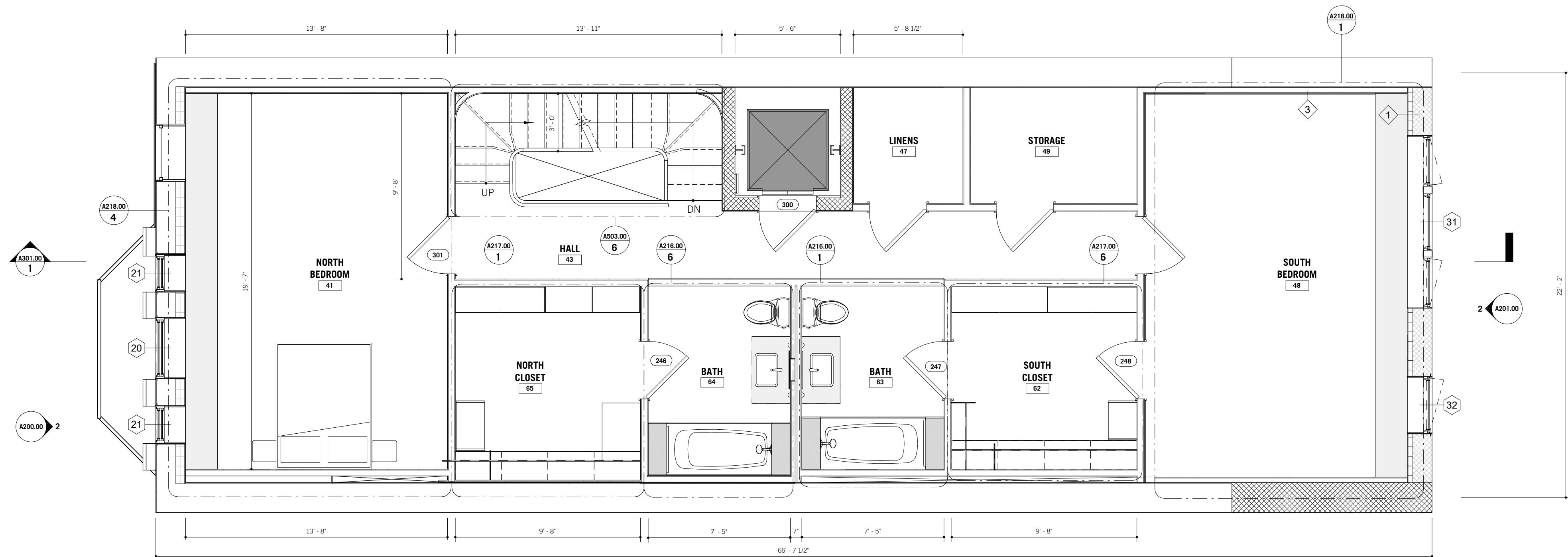
SEAL:

DRAWN: PRP
REVIEWED: P&V
DATE: 08/10/2016
PROJECT NO.: 1412
SCALE: 1/4" = 1'-0"
DRAWING NO.: 7 OF 46

A102.00



② THIRD FLOOR - EXISTING PLAN
1/4" = 1'-0"



① THIRD FLOOR - CONSTRUCTION PLAN
1/4" = 1'-0"

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NEW 3HR RATED CMU WALL
UL 263

NEW PARTITION

EXISTING

01

SMOKE/CO2 DETECTOR

Revision Schedule

No.	Description	Date

ARCHITECT:

Pachano & Vollert Architecture
5 Abbey Hill Drive
Great Barrington, MA 01230
(413) 645-3186
us@pachanoandvollert.com
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STRUCTURAL ENGINEER:
Madsen Consulting Engineering PE
175 Varick Street, 8th Floor
New York, NY 10014
(212) 634-7886

MECHANICAL ENGINEER:
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139 Fulton Street, Suite 624
New York, NY 10038
(212) 791-1517

CLIENT:

120 WEST 74TH LLC

PROJECT:

BINDER RESIDENCE

LOCATION:

120 West 74th Street
NY, NY 10021

THIRD FLOOR PLANS

SEAL:

DRAWN: PRP

REVIEWED: P&V

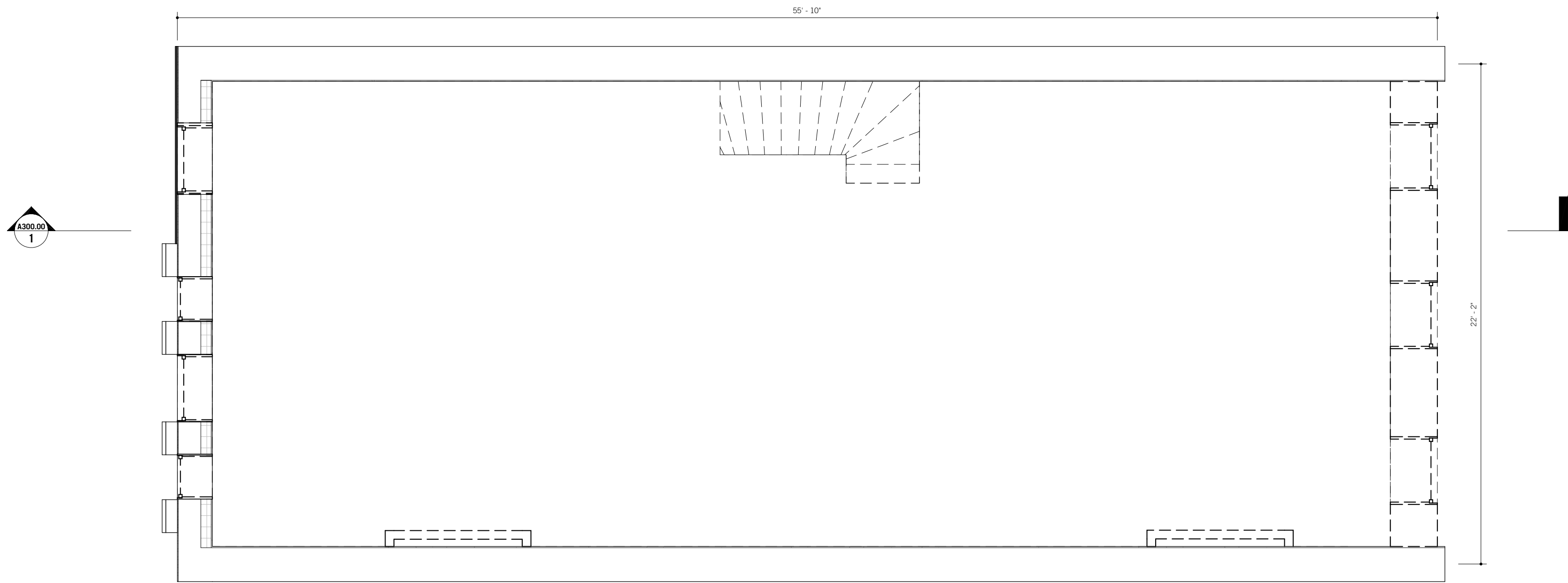
DATE: 08/10/2016

PROJECT NO.: 1412

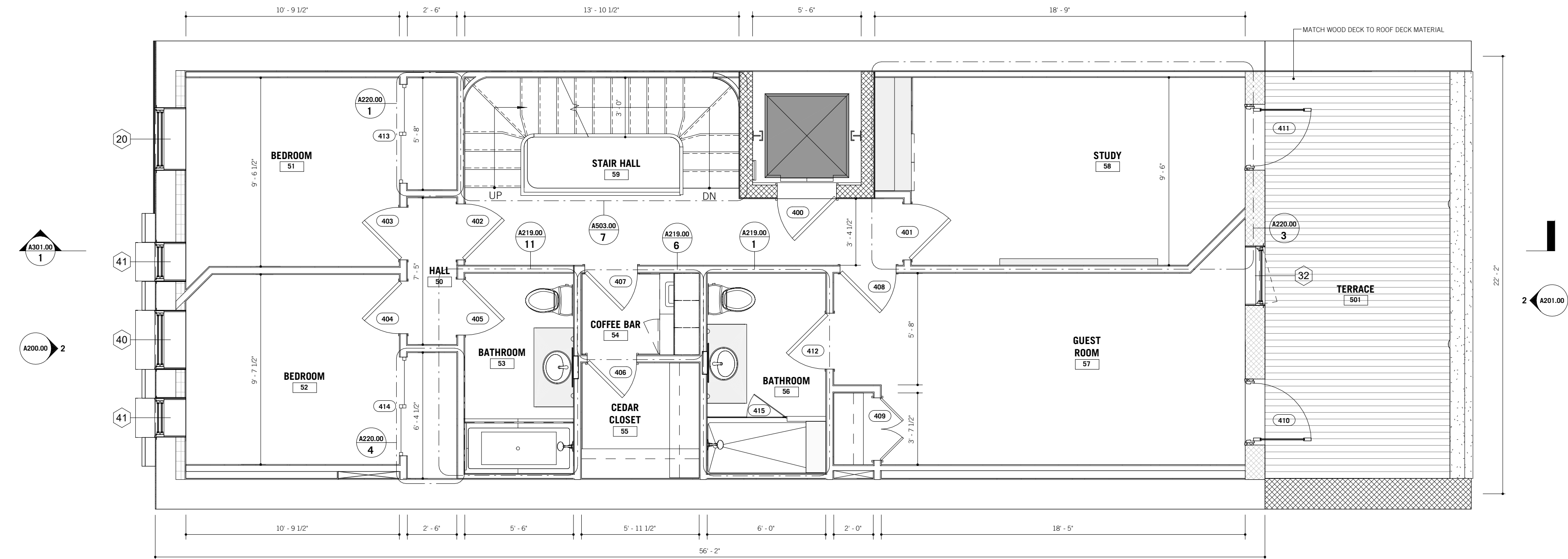
SCALE: 1/4" = 1'-0"

DRAWING NO.: 8 OF 46

A103.00



① **FOURTH FLOOR - EXISTING PLAN**
1/4" = 1'-0"



② **FOURTH FLOOR - CONSTRUCTION PLAN**
1/4" = 1'-0"

WINDOW SIZES			
#	TYPE	WIDTH	HEIGHT
20	WINDOW	3FT 2IN	6FT
21	WINDOW	3FT	7FT
40	WINDOW	3FT	5FT 5IN
41	WINDOW	2FT	5FT 5IN

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NEW 3HR RATED CMU WALL
UL 263

NEW PARTITION

EXISTING

SMOKE/CO2 DETECTOR

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FOURTH FLOOR PLANS

SEAL:

DRAWN: PRP

REVIEWED: Approver

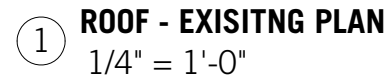
DATE: 08/10/2016

PROJECT NO.: 1412

SCALE: 1/4" = 1'-0"

DRAWING NO.: 9 OF 46

A104.00



*51 IS A SKYLIGHT ON ROOF OF BULKHEAD

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UL 263

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EXISTING

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PROJECT:

BINDER RESIDENCE

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LOCATION: 100 W. 174th St., L.

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NY, NY 10021

ROOF PLAN

SEA

DRAWN	PRP
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REVIEWED:	P&V
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DATE: 08/10/2016

PROJECT NO.:	1412
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SCALE: $1/4" = 1'-0"$

DRAWING NO.:

10 OF 40

A105.00



Revision Schedule

No.	Description	Date

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CLIENT:
120 WEST 74TH LLC

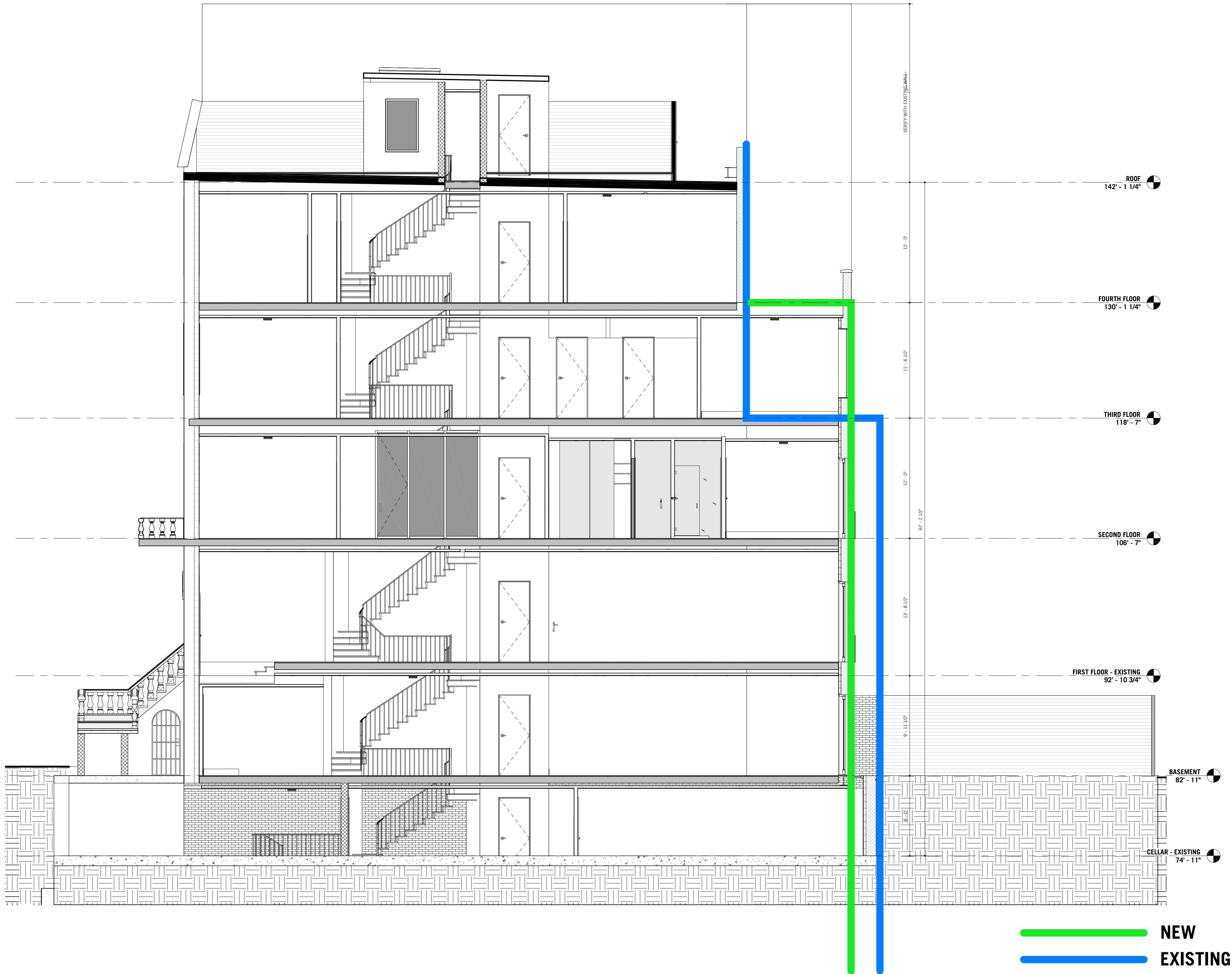
PROJECT:
BINDER RESIDENCE

LOCATION:
120 West 74th Street
NY, NY 10021

SECTION/SIGHT LINE

SEAL:	DRAWN: PRP
	REVIEWED: P&V
	DATE: 08/10/2016
	PROJECT NO.: 1412
	SCALE: 3/16" = 1'-0"
	DRAWING NO.: 4 OF 46

A004.00



Revision Schedule		
No.	Description	Date

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PROJECT:
BINDER RESIDENCE

LOCATION:
120 West 74th Street
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SECTION - EXISTING VS. NEW

SEAL:	DRAWN: PRP
	REVIEWED: P&V
	DATE: 08/10/2016
	PROJECT NO.: 1412
	SCALE: 3/16" = 1'-0"
	DRAWING NO.: 5 OF 46

A005.00