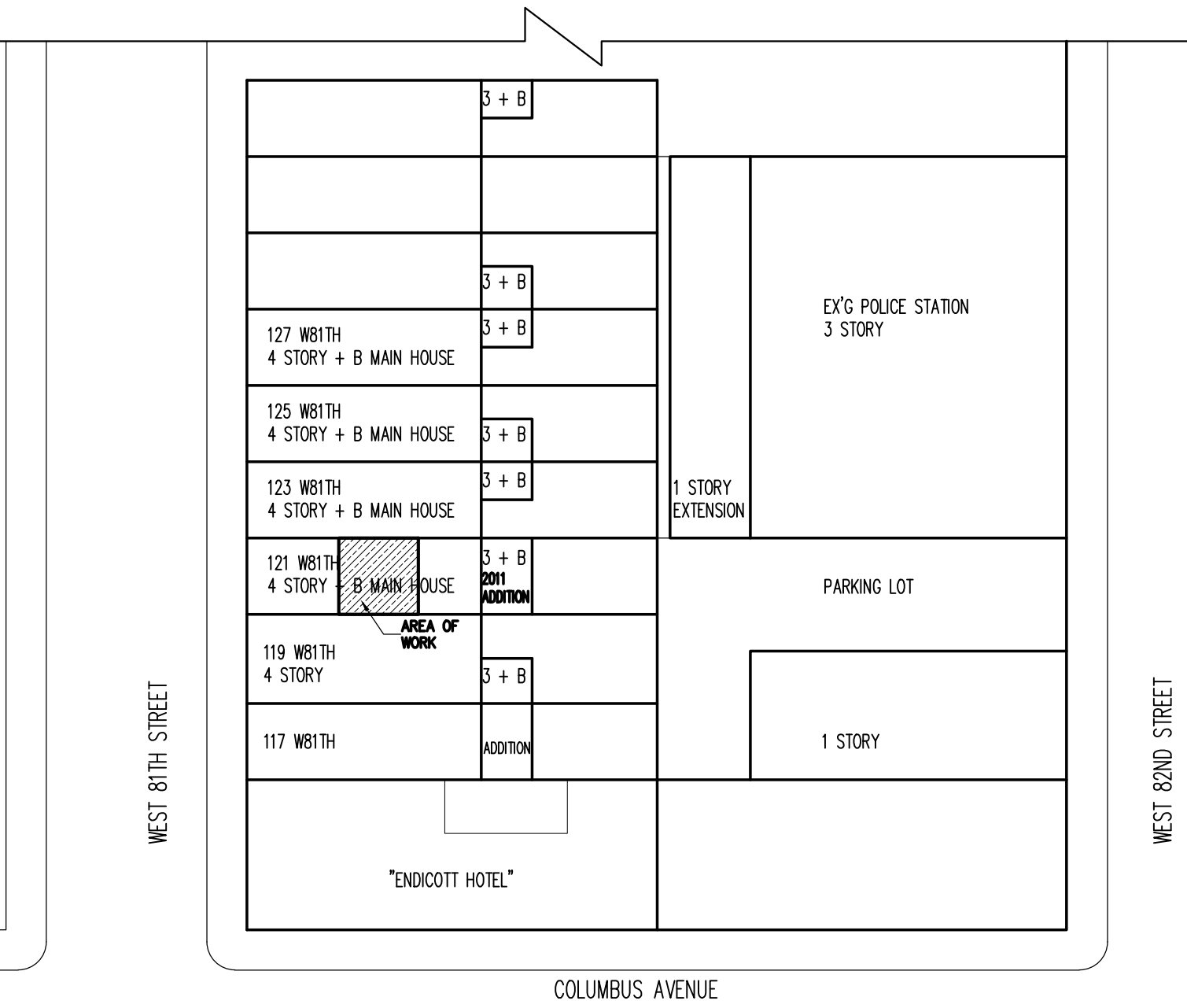
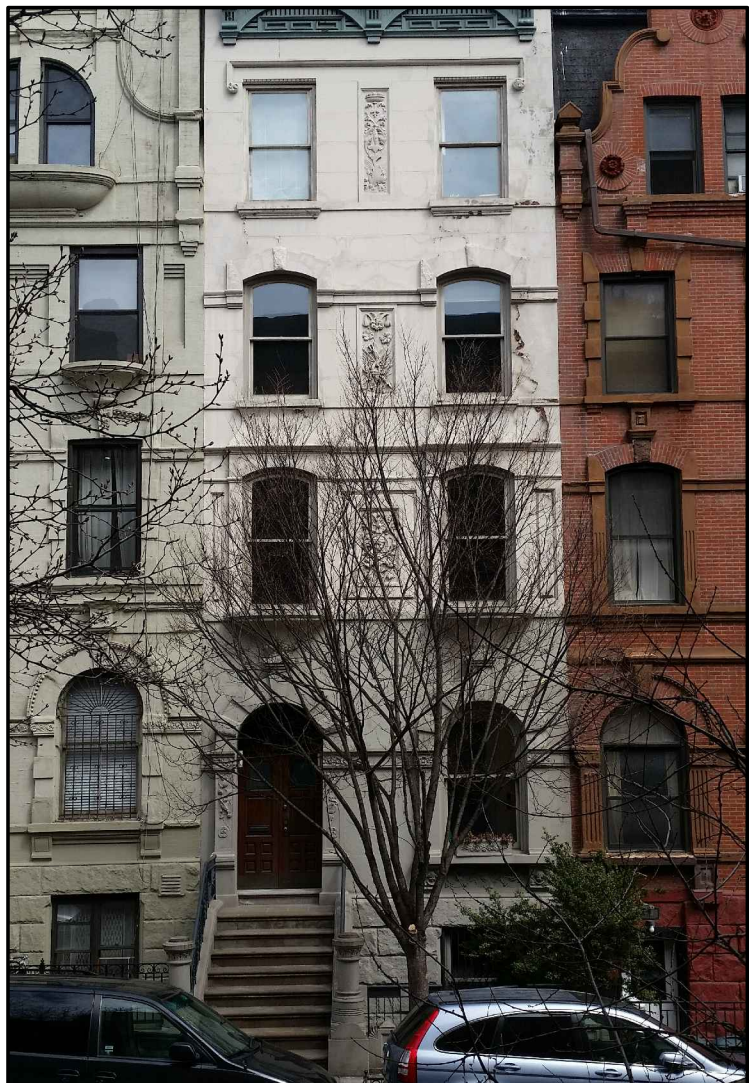


1 HISTORIC DISTRICT PLAN
UPPER WEST SIDE – CENTRAL PARK WEST
NTS



3 SITE PLAN
UPPER WEST SIDE – CENTRAL PARK WEST
NTS



4 FACADE
NTS



5 REAR
NTS

STRUCTURAL STABILITY NOTES (SEC. 16.01)

CONTROLLED INSPECTION OF THE STABILITY AND INTEGRITY OF EXISTING STRUCTURES DURING CONSTRUCTION OPERATIONS SHALL BE IN CONFORMANCE WITH DEPARTMENT OF BUILDINGS MEMORANDUM BY MR. STEWART O'BRIEN, DATED 09/18/92.

- (a) (i) All alterations to existing structures in which loads are transferred from one system of structural elements to another ... shall be conducted under controlled inspection.
- (ii) No plans or amendments thereto describing any work subject to Sec. 16–01 (a) (i) shall be approved by the Department of Buildings unless a TR–1 is filed by the controlled inspection architect or engineer.
- (b) Details of shoring bracing or other construction required and the phasing, staging and sequence of such operation shall be:
- (i) Shown on the structural plans that are submitted to and approved by the Department, or
- (ii) Prepared in the form of shop or detail drawings by a registered architect or professional engineer, and reviewed by the registered architect or professional engineer who prepared the structural plans.
- (c) The controlled inspection architect or engineer shall retain a copy of the documents described in Section 16–01
- (d) in his or her office and shall provide a copy to the contractor or owner to be kept at the construction site.
- (e) The controlled inspection architect or engineer shall determine the frequency of inspections needed and whether he or she should inspect the site personally or send a person under his or her direct supervision. At a minimum, the site must be inspected twice, once during a pre–construction meeting with the contractor and once during construction operations.
- (f) The controlled inspection architect or engineer, for each job which requires the submission of a TR–1 pursuant to Section 16–01 (a) (ii), shall maintain a log in his or her office which includes the following information:
- (i) address of the premises, job number, contractor name and address, and
- (ii) date and time of each inspection, including
- (A) names of personnel who inspected the site, and (B) any significant observations or instructions given relating to any of the following:
- (1) any deviations from the documents described in Sec. 16–01 (b);
- (2) anticipated field conditions;
- (3) proper execution of the work;
- (4) good engineering practice;
- (5) safe job–site conditions;
- (6) precautions taken to maintain safe conditions if work is stopped for any reason.
- (iii) date of and participants in any conversations with the controlled inspection architect or engineer occurring off–site and relating to any significant observations or instructions specified in Sec. 16–01 (e)ii(B)(1–6).
- (g) The controlled inspection architect or engineer responsible for controlled inspection shall report unsafe conditions to the Department of Buildings and any other affected parties or agencies.
- (h) Upon request of the Department, the controlled inspection architect or engineer shall make available for review the documents and log described in Sec. 16–01 (b) and (e).
- (i) Frame structures are exempt except for alterations of arches, rigid frames, trusses and the creation of openings exceeding 10 feet in length in bearing walls.

SMOKE DETECTOR NOTES

01. ALL ELECTRICAL WIRING SHALL BE IN CONFORMANCE WITH THE NEW YORK CITY ELECTRICAL CODE.
02. SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE BUT IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS.
03. SMOKE DETECTOR SHALL HAVE INTEGRAL TEST MEANS TO PERMIT OCCUPANT TO CHECK OPERATION.
04. SMOKE DETECTORS SHALL BE LOCATED WITHIN 15' OF ALL ROOMS USED FOR SLEEPING AND ON ALL LEVELS OF A MULTIPLE LEVEL DWELLING UNIT.
05. CEILING MOUNTED SMOKE DETECTOR SHALL BE MIN. 4" FROM ANY WALL.
06. WALL MOUNTED SMOKE DETECTORS SHALL BE MOUNTED A MIN. OF 4" AND A MAX. OF 12" FROM THE CEILING.

ENERGY ANALYSIS FOR ALTERATIONS – TABULAR FORMAT CLIMATE ZONE 4A (NYCECC)

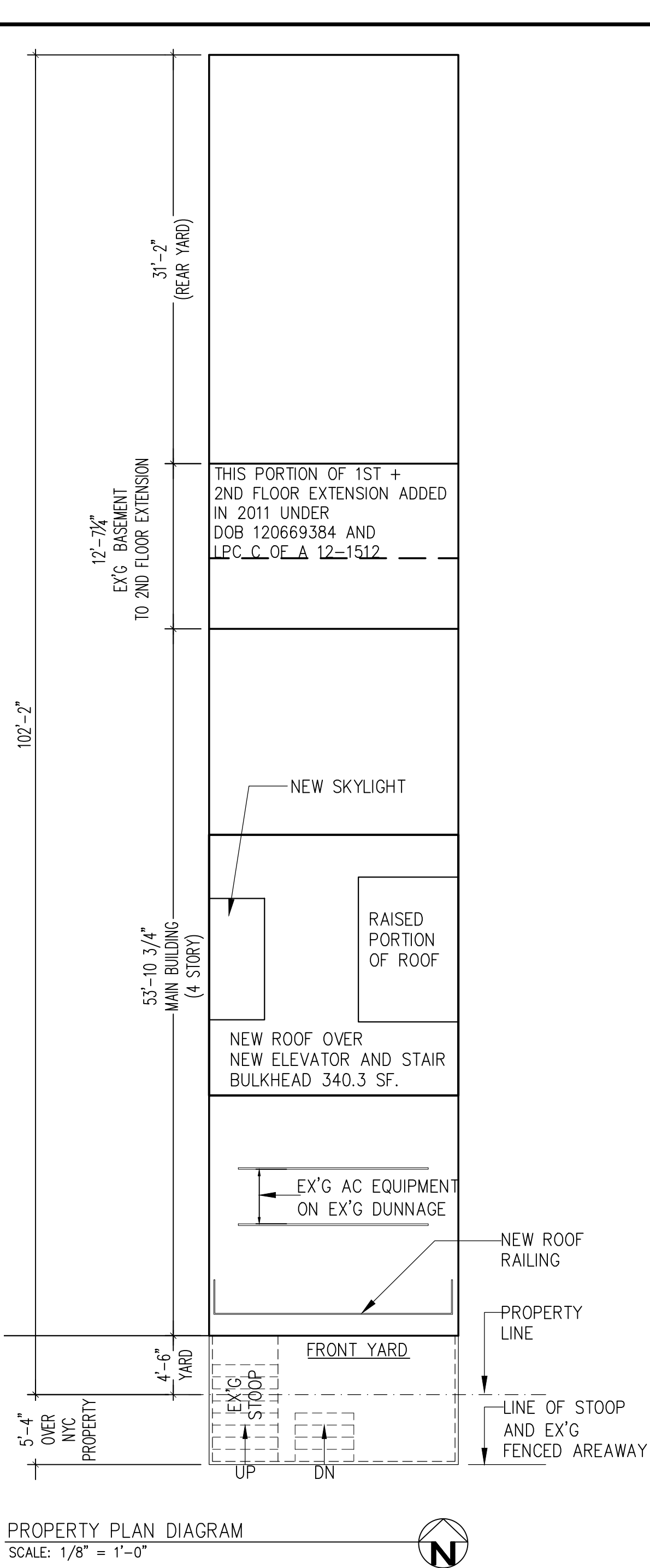
ITEM DESCRIPTION	PROPOSED DESIGN VALUE	ITEM DESCRIPTION
LIGHTING IN DWELLING UNITS	LIGHTING WITHIN DWELLING UNITS MAY HAVE A MIN. OF 50% OF THE PERMANENTLY INSTALLED INTERIOR LIGHT FIXTURES FITTED WITH HIGH-EFFICACY LAMPS AS AN ALTERNATE TO SECTION 505.5.2	TABLE 505.5.3
INSULATION PLACEMENT AND R VALUES	MASS WALL ABOVE GRADE = R–11.4G METAL FRAME ABOVE GRADE = R–13 + R–7G MASS WALL BELOW GRADE = R–10.4G JOIST/FRAMING BELOW GRADE = R–30	TABLE 502.2(1)
FENESTRATION THERMAL VALUES AND RATINGS	CURTAIN WALL/STOREFRONT U-FACTOR = 0.50 ENTRANCE DOOR U-FACTOR = 0.85	TABLE 502.3
FENESTRATION RATINGS FOR AIR LEAKAGE	AIR LEAKAGE OF WINDOW & SLIDING OR SWINGING DOORS SHALL NOT EXCEED 0.3 CFM PER FT ² & SWINGING DOORS NO MORE THAN 0.5 CFM PER FT ² .	502.4
FENESTRATION AREAS	THE VERTICAL FENESTRATION AREA(NOT INCLUDING OPAQUE DOORS) SHALL NOT EXCEED THE PERCENTAGE OF THE GROSS WALL AREA SPECIFIED IN TABLE 502.3	502.3.1
AIR SEALING AND INSULATION – VISUAL	THE AIR LEAKAGE OF WINDOW AND SLIDING OR SWINGING DOOR ASSEMBLIES SHALL NOT EXCEED 0.3 CFM PER SQ.FT. & SWINGING DOORS NO MORE THAN 0.5 CFM PER SQ.FT.	502.4.1
HVAC EQUIPMENT PERFORMANCE REQUIREMENTS	EQUIPMENT SHALL MEET THE MIN. EFFICIENCY REQUIREMENTS OF TABLES 503.2.3(1), 503.2.3(2), 503.2.3(3), 503.2.3(4), 503.2.3(5), 503.2.3(6) & 503.2.3(7) WHEN TESTED & RATED IN ACCORDANCE WITH THE APPLICABLE TEST PROCEDURE.	503.2.3
HVAC SYSTEM CONTROLS	EACH HEATING AND COOLING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS AS REQUIRED IN SECTION 503.2.4.1, 503.2.4.2, 503.2.4.3, 503.2.4.4, 503.4.1, 503.4.2, 503.4.3, OR 503.4.4	503.2.4
PIPING INSULATION & SEALING	FOR AUTOMATIC CIRCULATING HOT WATER SYSTEMS, PIPING SHALL BE INSULATED WITH 1" OF INSULATION. NONCIRCULATING SYSTEMS WITHOUT INTEGRAL HEAT TRAPS SHALL BE INSULATED WITH .5".	504.5

NYCECC (EXCEPTIONS):

101.4.3 ADDITIONS, ALTERATIONS OR RENOVATIONS.
1) ALTERATIONS, RENOVATIONS OR REPAIRS TO ROOF/ CEILING, WALL OR FLOOR CAVITIES WHICH ARE INSULATED TO FULL DEPTH WITH INSULATION HAVING A NOMINAL VALUE OF R–3.0/INCH.
2) ALTERATIONS, RENOVATIONS OR REPAIRS TO WALLS AND FLOORS, WHERE THE EXIST'G STRUCTURE IS WITHOUT FRAMING CAVITIES AND NO NEW FRAMING CAVITIES ARE CREATED.

PROFESSIONAL STATEMENT ENERGY ANALYSIS IN ACCORDANCE WITH § 28–1001.2 NYC AMENDMENTS

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NYCECC."



ZONING CALCULATIONS: ALL EXISTING, NO CHANGES PROPOSED

4	EX'G 1,022.04	NEW ELEVATOR & STAIR BULKHEAD 340.3 SF.
3	EX'G 1,022.04	EX'G 2–STORY ADDITION ADDED UNDER DOB 120669384 AND LPC C OF A 12–1512 136.95 SF/FLOOR
2	EX'G 1,226.54	30'–0" MIN.
1	EX'G 1,226.54	EX'G BALCONY
B	EX'G 1,263.50	YARD: 592 SF. LOT COVERAGE AT BASEMENT: 65.09 %
LOT	1,941.16 SF.	
EX'G TOTAL:	5,560.66 SF. (FAR 2.86)	
2011 ADDITION:	7'–2½" X 19'–0" = 136.95 X 2 = 273.91 SF.	
TOTAL:	5,834.58 SF. (FAR 3.00)	
NEW BULKHEAD	340.3 SF.	
HOWEVER NEW BULKHEAD NOT OCCUPIED SPACE THUS NOT INCLUDED IN FLOOR AREA TOTAL		
1. QUALITY HOUSING FAR: 4 (SEC. 23.145 ZR); 70% LOT COVERAGE MAX.–OK>65% EX'G LOT COVERAGE		
2. W/O QUALITY HOUSING FAR. 3.14 (= 6,095.26 S.F.)=> MIN OS = 414.478 SF.<592 SF. EX'G YARD		

SPRINKLER SYSTEM WAS LAST MODIFIED AS PER # 02697912 (SO 01/17/2001), AND INVOLVED THE RELOCATION OF 11 HEADS ON 4 LEVELS. TOTAL HEADS LISTED ON SCHEDULE B SHOWS 3 IN CEL, 3 IN BAS, 5 ON 1FL, 2 ON 2FL, 2 ON 3FL, NO WORK UNDER THIS APPLICATION. 3 OR 4 HEADS WILL HAVE TO BE RELOCATED AND 4 HEADS ADDED – TO BE FILED SEPARATELY BY SPRINKLER ENGINEER.

GENERALNOTES:

01. This building is a Class 3 Non–Fireproof Structure under the Old (1938) Code. It is a 4–story, basement and cellar structure 56'–0" high occupied as a one–family house. The building has a single wood stair that extends to the roof by a metal ladder.
02. Occupancy as a one–family was established under C of O #101663816 issued 04/04/01 at the completion of an ALT. 1 application under the same number. A new Certificate of Occupancy will be not be filed for after completion of the work since no change of use or addition of a floor will be part of this application. This application will be under Directive 14.
03. The building will conform with the Old (1938) Administrative Code, the Housing Maintenance Code, and Department Rules and Regulations.
04. Contractor shall comply with all requirements of New York City Building Codes, New York State Labor Law and all regulations of New York City and State. All permits shall be properly displayed.
05. Contractor shall check and verify all conditions and dimensions and report any discrepancies to architect prior to start of work.
06. Contractor shall obtain and pay for all the required Department of Buildings permits prior to start of construction.
07. Controlled inspections will include final inspection, structural stability, energy code compliance and fire–stopping.
08. An asbestos inspection has been performed and this application was determined to be a non–asbestos project. Form ACP–5 filed herewith.
09. Building is exempt from compliance with Local Law 58–87 (adaptability to use by the disabled) et seq. as it is a one–family house. The work would not trigger any new compliance anyhow, as it involves only an enlargement of a single room. Building is not now accessible from the street as the entrance is by a stoop to the 1st floor and several steps down to the basement floor.
10. Natural lighting and ventilation of residential spaces complies with C26–261.0; bathroom and toilet ventilation will continue to comply with C26–262.0 (3) or (5); individual ducts or mechanical exhaust to provide 25 CFM min. for each interior bathroom.
12. Existing ladder to roof will remain.
13. Building is partially sprinklered (at stair) and will remain so. Sprinkler changes will be minor and will be separately filed.
14. All window dimensions shown on plans are between stop beads (BSB).

TENANT PROTECTION PLAN:

AS PER 2008 CODE (BC 28–104.8.4) UPDATED TO COMPLY WITH 2014 CODE

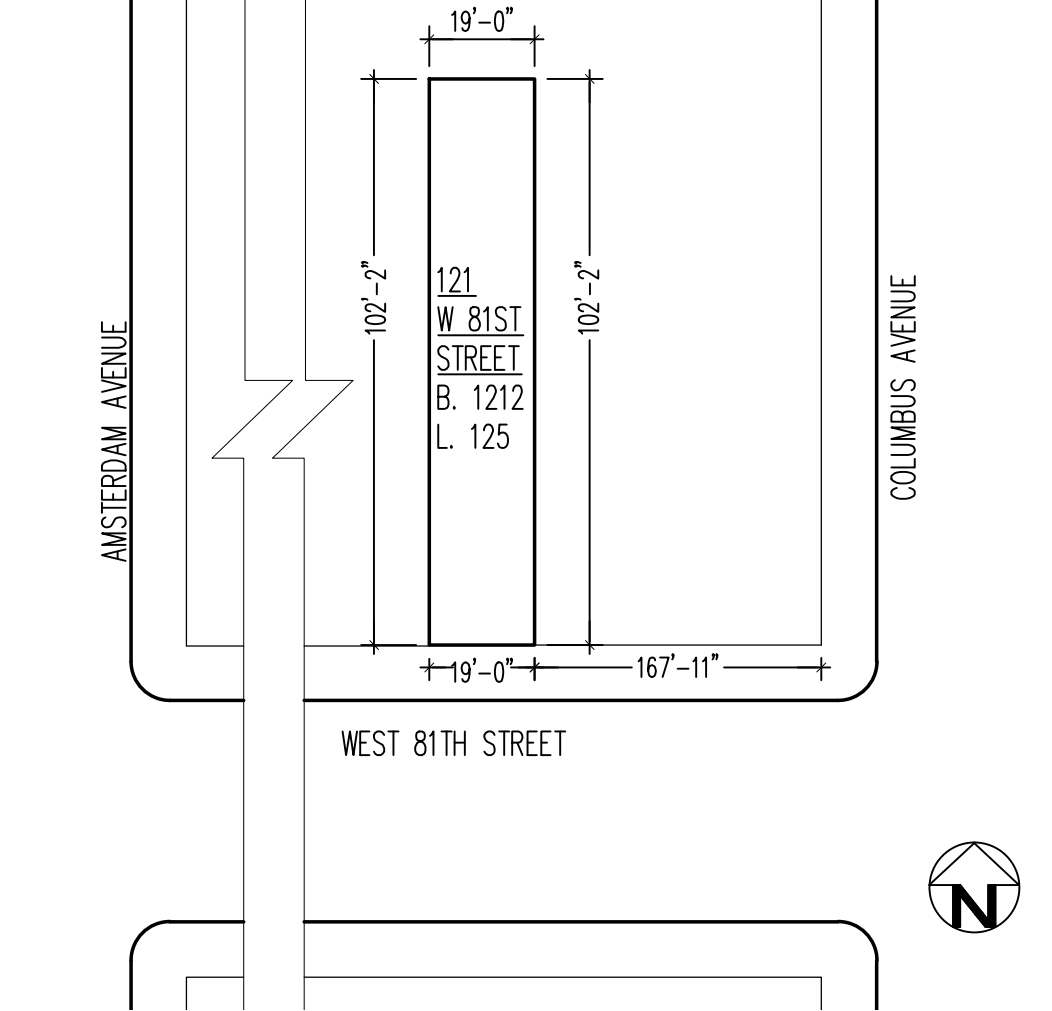
ALL RESIDENTIAL AND COMMERCIAL TENANTS WILL REMAIN IN OCCUPANCY DURING THE WORK WITH THE EXCEPTION OF THE UNIT(S) DIRECTLY AFFECTED BY THIS APPLICATION FOR LIMITED TIME SPANS IF MADE NECESSARY BY THE WORK. During the course and duration of the work covered by this application, it shall be the responsibility of the owner, contractor and their representatives to assure each of the following:

1. Egress: adequate and code–compliant egress from all occupied spaces in the building to be maintained at all times during the work. If any change to the normal egress route is made, tenant protection plan shall identify the alternate egress that will be provided. Required egress shall not be obstructed at any time.
2. Fire Safety: all necessary laws and controls, including those with respect to occupied dwellings, as well as additional safety measures necessitated by the construction, shall be strictly observed to maintain fire safety. No fire safety devices to be disconnected without providing alternate means. In particular, sprinkler system coverage shall not to be interrupted or diminished.
3. Health Requirements: Dust to be kept to a minimum and to be removed after each work day by vacuuming and wiping/washing down surfaces; construction debris not to be allowed to accumulate, and to be disposed at the end of each week of construction; pest control and sanitary facilities to be maintained; construction noise to be limited to acceptable levels; lead point and asbestos abatement to comply will all applicable provisions of the law.
4. Compliance with Housing Standards: the requirements of the NYC Housing Maintenance Code and the NYS Multiple Dwelling Law shall be strictly observed.
5. Structural Safety: no structural work shall be done that may endanger the occupants; the building's structural integrity to be protected.
6. Noise Restrictions: construction noise will cease after normal working hours, and where the NYC noise control code limits the hours of the day or days of the week in which construction work may be undertaken, such limitations shall be stated.
7. Security of the building shall be maintained.

LEGEND OF SYMBOLS

EXISTING PARTITION TO REMAIN	EXISTING SPRINKLER HEAD
EXISTING 1 HOUR FIRE–RATED PARTITION TO REMAIN 1 LAYER ¾" GYPSUM BOARD ON BOTH SIDES OF METAL OR WOOD STUDS AS PER BSA CAL 171 – 52 SM & 301–60 SM, OR ¾" CEMENT PLASTER OVER WIRE LATHE OVER WOOD STUDS, AS PER C26–636.14(b) OLD CODE, OR 4" HOLLOW CINDER BLOCKS OR CLAY TILES.	ILLUMINATED, EXIT SIGN
EXISTING 1 HOUR FIRE–RATED PARTITION TO REMAIN 1 LAYER ¾" GYPSUM BOARD ON BOTH SIDES OF METAL OR WOOD STUDS AS PER BSA CAL 171 – 52 SM & 301–60 SM, NO WOOD STUDS IN CELLAR	W/ BATTERY BACK UP
EXISTING OR NEW 2 HOUR FIRE–RATED PARTITION TO REMAIN 2 LAYERS ¾" GYPSUM BOARD ON BOTH SIDES OF METAL OR WOOD STUDS AS PER BSA CAL 171 – 52 SM & 301–60 SM OR 4" SOLID CINDER BLOCKS. NO WOOD STUDS IN CELLAR	
NEW CMU WALL MIN. 2 HR RATED (OR 3 HR IF STATED)	
EXISTING MASONRY WALL TO REMAIN: 4" SOLID OR HOLLOW BRICK OR 3" SOLID CINDER CONCRETE BLOCKS, OR 3" HOLLOW CONCRETE BLOCKS PLASTERED BOTH SIDES AS PER C26–636.1, 3 & 8 OLD CODE. ALL TO BE AT LEAST 2 HOUR FIRE–RATED, AND 3 HOUR RATED IS SO STATED.	
EXISTING PARTITION TO BE REMOVED	
EDGE OF CONSTRUCTION ABOVE (OR HIDDEN EDGE BELOW)	
NEW SPRINKLER HEAD CONNECTED TO EXISTING SYSTEM	
SMOKE DETECTOR/CARBON MONOXIDE DETECTOR	
EMERGENCY LIGHTS W/ BATTERY BACK UP	
CEILING	
1 HOUR RATED AS FOLLOWS: ¾"GYPSUM BOARD SCREWED DIRECTLY TO UNDERSIDE OF WOOD JOISTS OR ¾" GYPSUM BOARD ON CHICAGO BARS, HUNG ON BLACK IRON CHANNELS SUSPENDED PARALLEL TO JOISTS, SEAMS CAULKED	

SITE PLAN DIAGRAM



ZONING NOTES: NO CHANGES ARE PROPOSED

1. FAR, LOT COVERAGE AND DEPTH OF YARD DO NOT EXCEED LIMITS (MINIMUM OR MAXIMUM).
- a – FAR 3 DOES NOT EXCEED A CALCULATED WITH OR WITHOUT QUALITY HOUSING GUIDLINES
- b – LOT COVERAGE IS COMPLIANT WITH QUALITY HOUSING LIMITS AS WELL AS OPEN SPACE MINIMUMS.
- c – DEPTH OF REAR YARD IS REMAINS 30'–0" DEPTH; BALCONIES DO NOT PROJECT INTO REQUIRED DEPTH (BELOW 3RD FLOOR, BALCONIES ARE NOT ALLOWED TO PROJECT INTO YARD DEPTH; PLANTERS PERMITTED TO PROJECT INTO YARD AS PER SEC 23–12 (g) 2R.
2. BUILDING HEIGHT, DENSITY AND USE ARE NOT BEING AFFECTED.
3. EXISTING HEIGHT (55'–7½" MEASURED, 56'–0" AS PER C OF O) DOES NOT EXCEED MAXIMUM BASE HEIGHT IN TABLE THAT IS PART OF SEC. 23–633 2R; REAR SETBACK IS THEREFORE NOT REQUIRED AS NO PART OF BUILDING IS OVER MAX. BASE HEIGHT (SEC. 23–663 2R).
4. NEW BULKHEAD IS NOT OCCUPIED SPACE THEREFORE IS NOT INCLUDES IN BUILDING'S TOTAL FLOOR AREA OR HEIGHT.

PROJECT DISCRIPTION

THIS IS AN AMENDMENT TO AN ALTERATION TYPE 2 APPLICATION, FILED FOR THE INSTALLATION OF A BULKHEAD FOR A NEW ELEVATOR AND A NEW EXTENSION OF THE BUILDING STAIR TO THE ROOF. BULKHEAD WILL INCLUDE STORAGE, MECHANICAL SPACE AND A PANTRY ACCESSORY TO THE ROOF TERRACE. AN ELEVATOR SHAFT AND RELATED INTERIOR CHANGES: NEW BATHROOMS AND A RENOVATED KITCHEN WILL BE INSTALLED.

NO CHANGE TO USE, EGRESS OR OCCUPANCY WILL BE PART OF THIS APPLICATION.

EXTERIOR WORK WILL BE AT PART OF THIS APPLICATION: ROOF TERRACE RAILINGS, PLANTERS; TWO LOT–LINE WINDOWS AT 1ST FLOOR EXTENSION.

CONTROLLED INSPECTIONS: FIRESTOPPING, ENERGY CODE COMPLIANCE, STRUCTURAL STABILITY AND FINAL INSPECTION.

REAR EXTENSION WAS INSTALLED IN 2011 UNDER DOB #120669384 AND LPC C OF A 12–1512.

SPRINKLER SYSTEM COVERAGE NOT TO BE INTERRUPTED

EX'G C OF O 101663816 ISSUED 04/04/2001 SHOWS A 4–STORY AND BASEMENT ONE – FAMILY DWELLING WITH STORAGE, BOILER ROOM AND GAME ROOM IN CELLAR.

REVISED

DATE ISSUE/REVISION

ALEXANDR NERATOFF ARCHITECT

57 PRINCE STREET
NEW YORK, NY 10012
212 431 0011

Hickey Residence

121 West 81th Street
New York, NY 10024

Block: 1212 Lot: 125 CB: 107
Zoning: R8–B Map:6d BIN: 1032047

SITE PLAN, NOTES AND DIAGRAMS

SEAL & SIGNATURE

DATE: June 23, 16.

PROJECT NO. :

DRAWING BY: J. Oh

CHK BY: Alexandr Neratoff

DWG.NO.

T-001.02

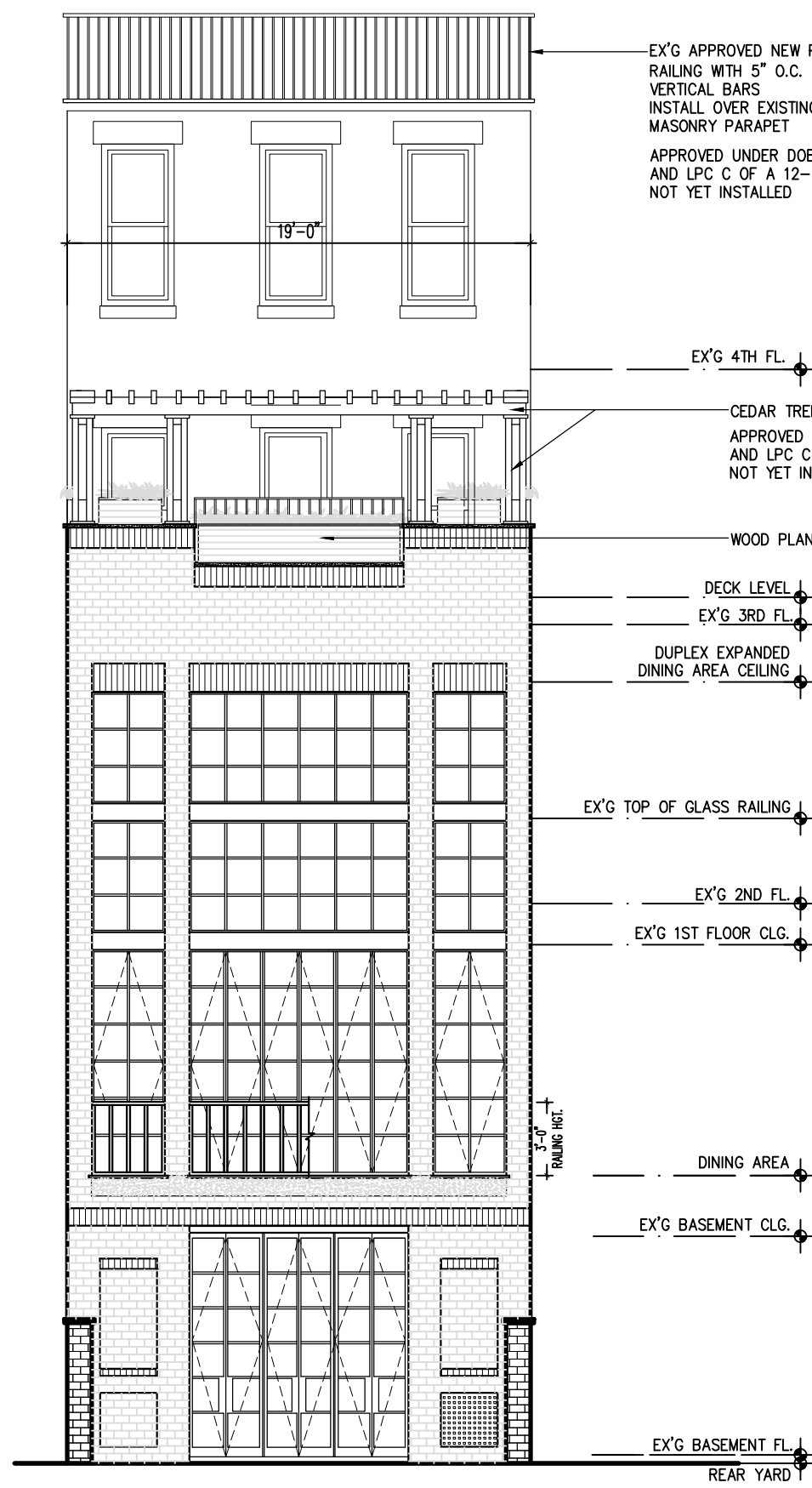
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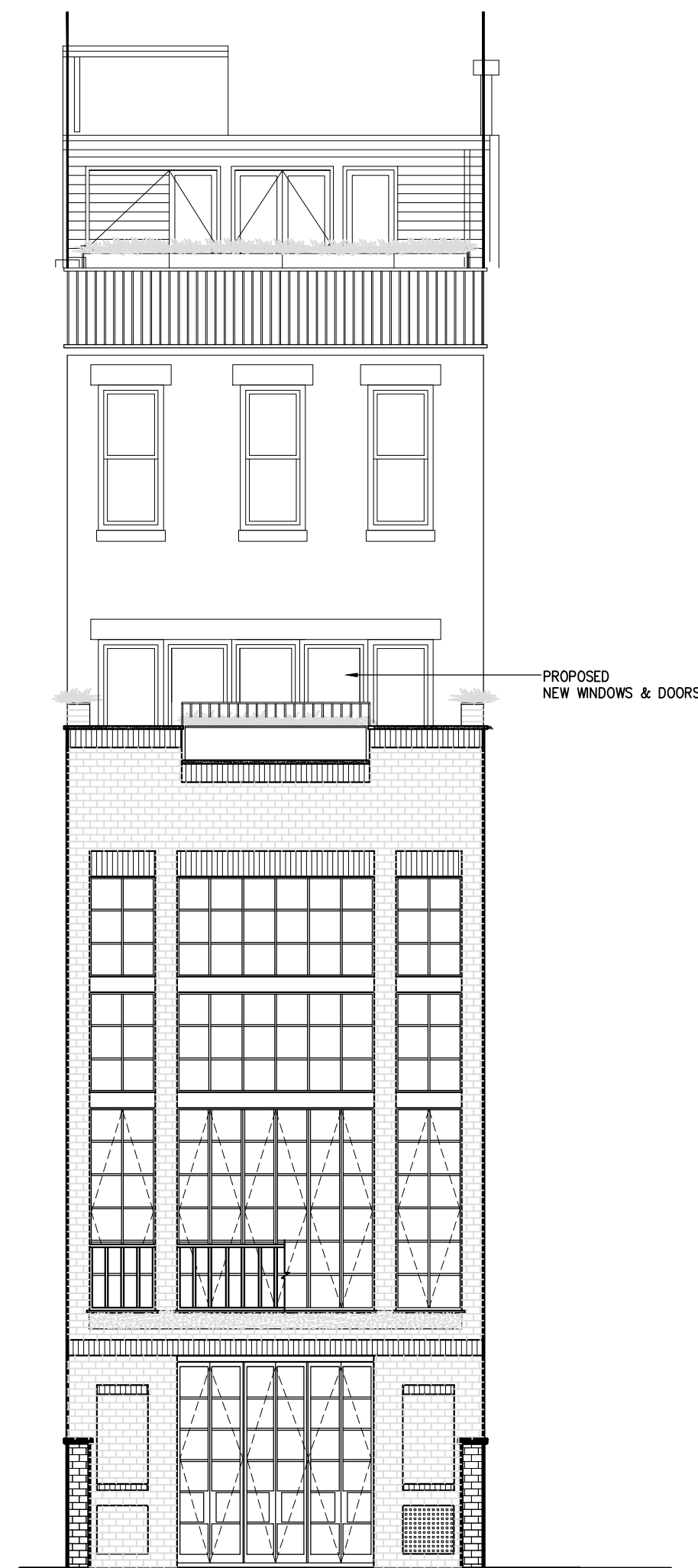


1 EX'G SOUTH SIDE EXTERIOR ELEVATION
1002 NTS

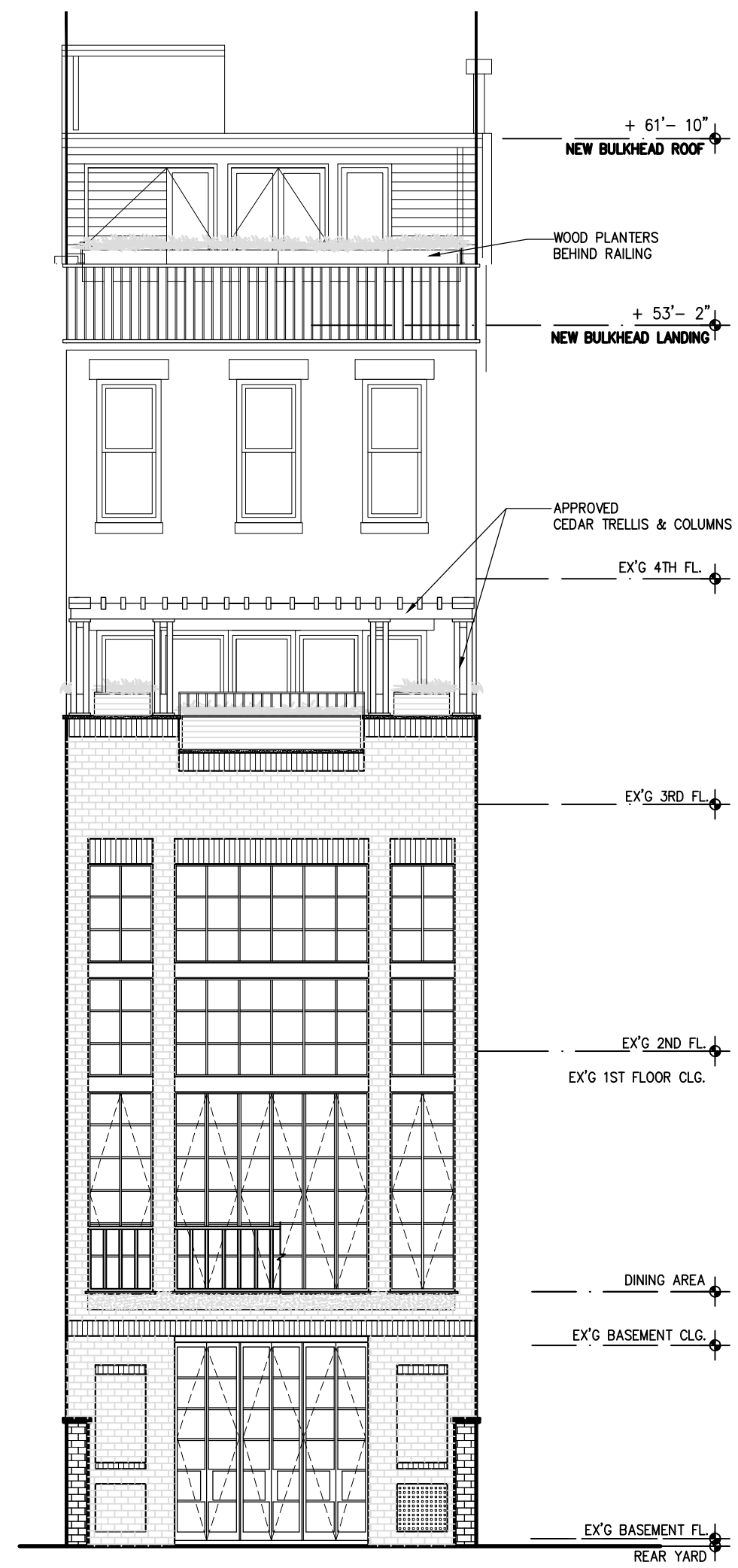
2 PROPOSED SOUTH SIDE EXTERIOR ELEVATION
1002 NTS



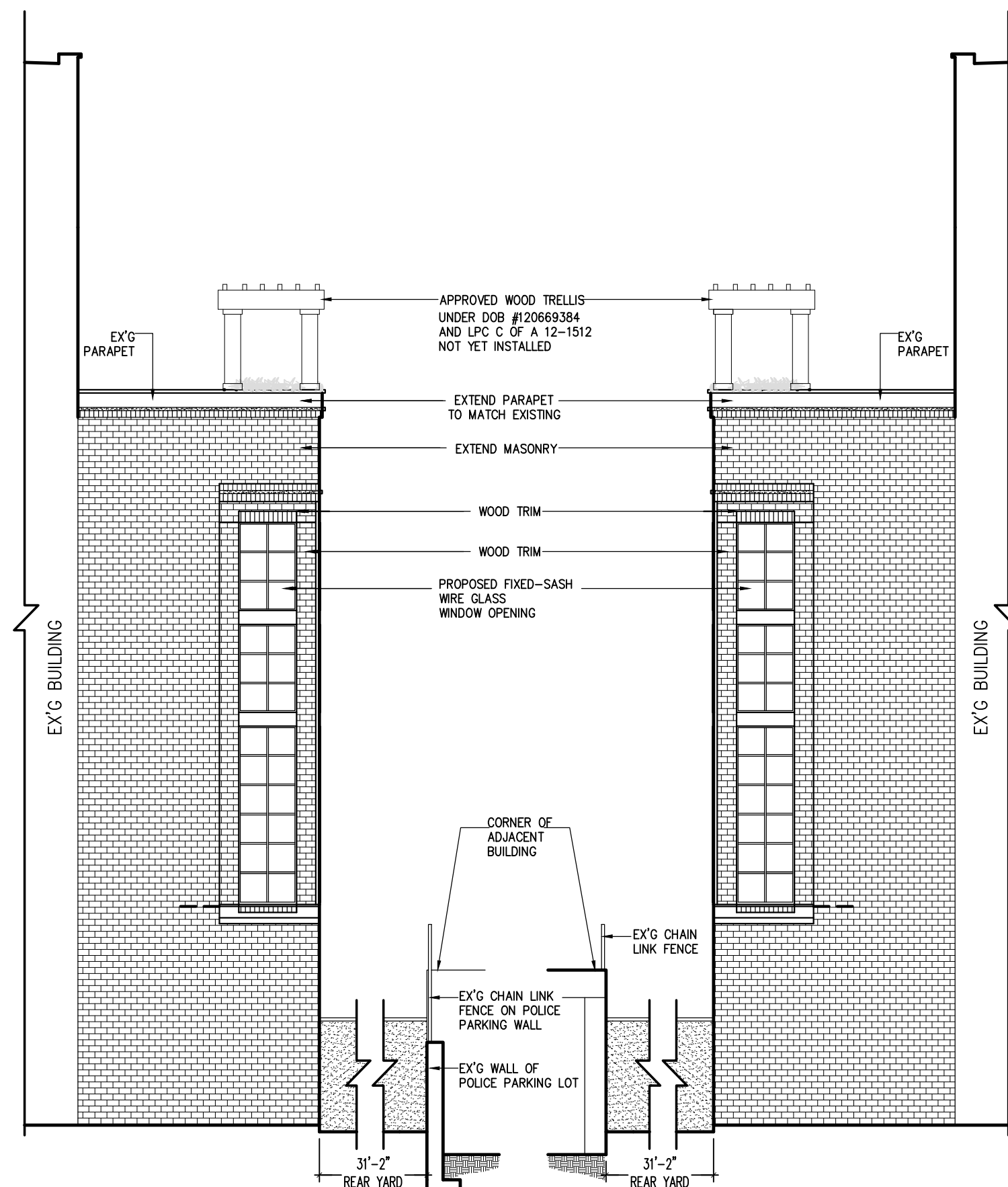
3 "AS APPROVED" EXISTING NORTH SIDE EXTERIOR ELEVATION
1002 NTS
SHOWN WITH TRELLIS



4 PROPOSED NORTH SIDE EXTERIOR ELEVATION
1002 NTS
SHOWN WITHOUT TRELLIS FOR CLARITY



5 PROPOSED NORTH SIDE EXTERIOR ELEVATION
1002 NTS
SHOWN WITH TRELLIS



6 PROPOSED WEST SIDE EXTERIOR ELEVATION
1002 NTS

7 PROPOSED EAST SIDE EXTERIOR ELEVATION
1002 NTS

REVISED	
DATE	ISSUE/REVISION

ALEXANDR NERATOFF ARCHITECT

57 PRINCE STREET
NEW YORK, NY 10012
212 431 0011
Hickey Residence

121 West 81th Street
New York, NY 10024
Block: 1212 Lot: 125 CB: 107
Zoning: R8-B Map: 5d BIN: 1032047

EXTERIOR ELEVATIONS

Existing & Proposed

SEAL & SIGNATURE	DATE: June 23, 16.
	PROJECT NO. :
	DRAWING BY: J. Oh
	CHK BY: Alexandr Neratoff
	DWG.NO.
	T-002.00
	JOB FILE NAME:
	HICKEY

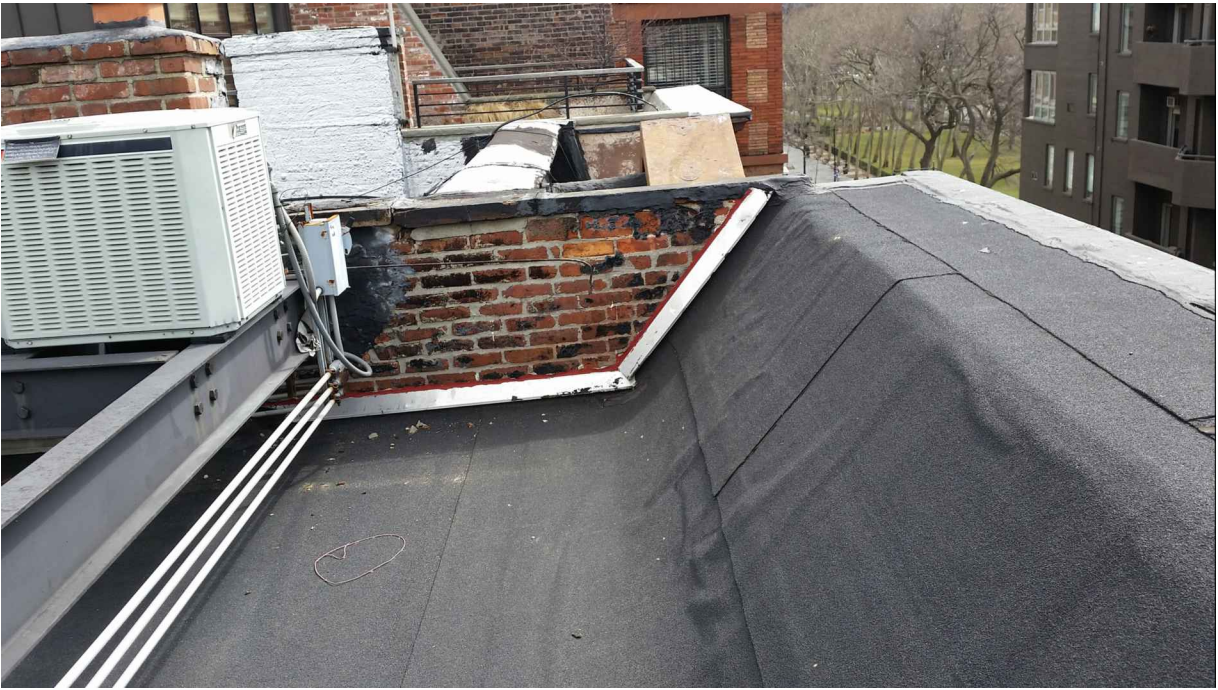
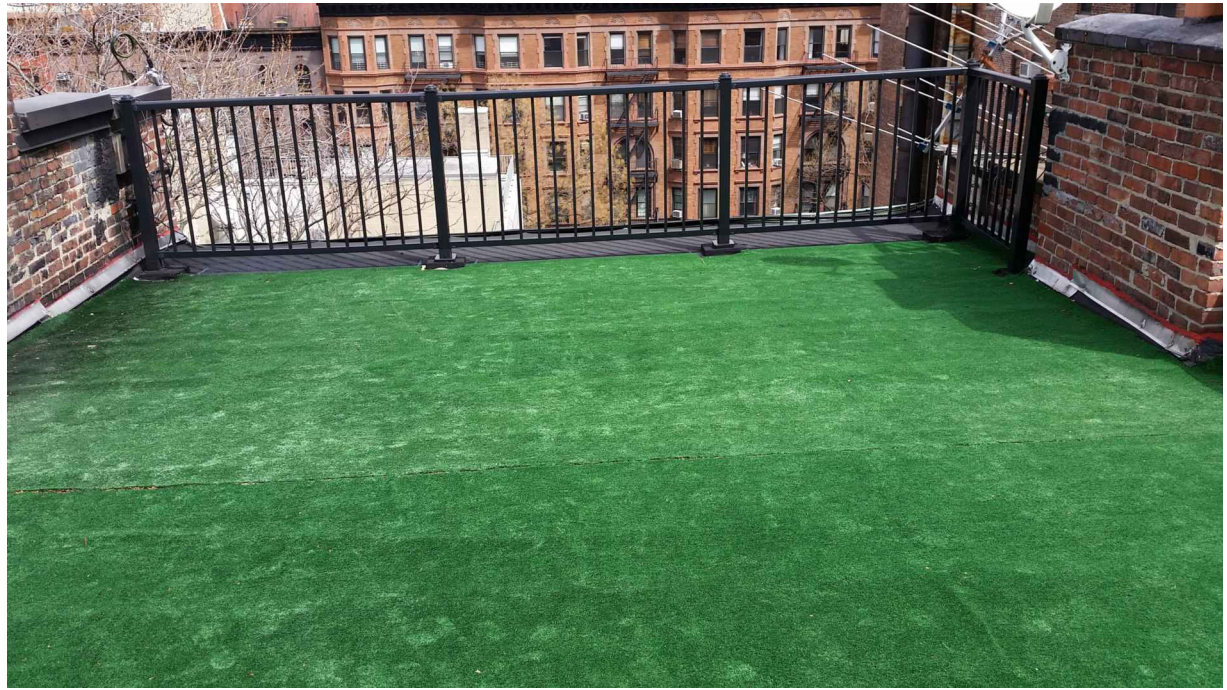


1 STREET VIEWS
T003 NTS



2 FRONT FACADE
T003 NTS

3 REAR VIEWS
T003 NTS



4 ROOF
T003 NTS

REVISED	
DATE	ISSUE/REVISION

ALEXANDR NERATOFF ARCHITECT

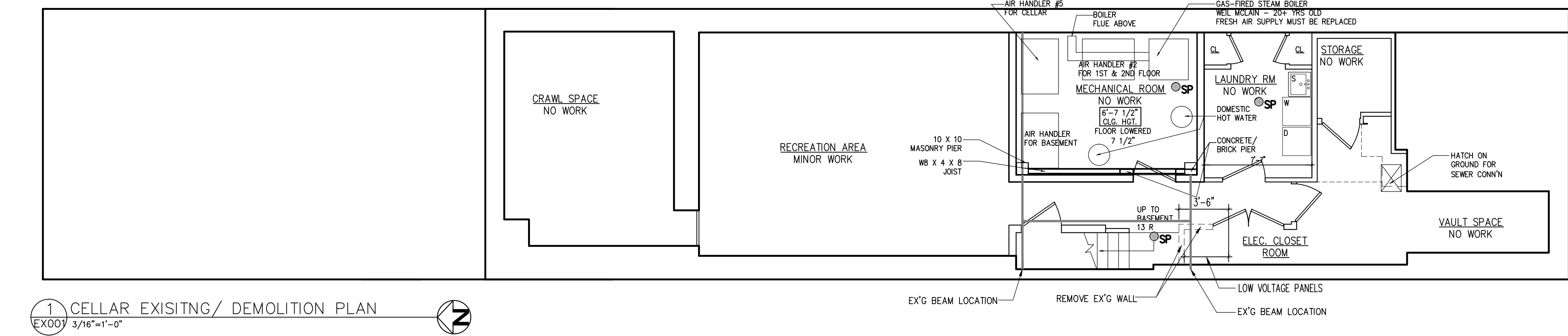
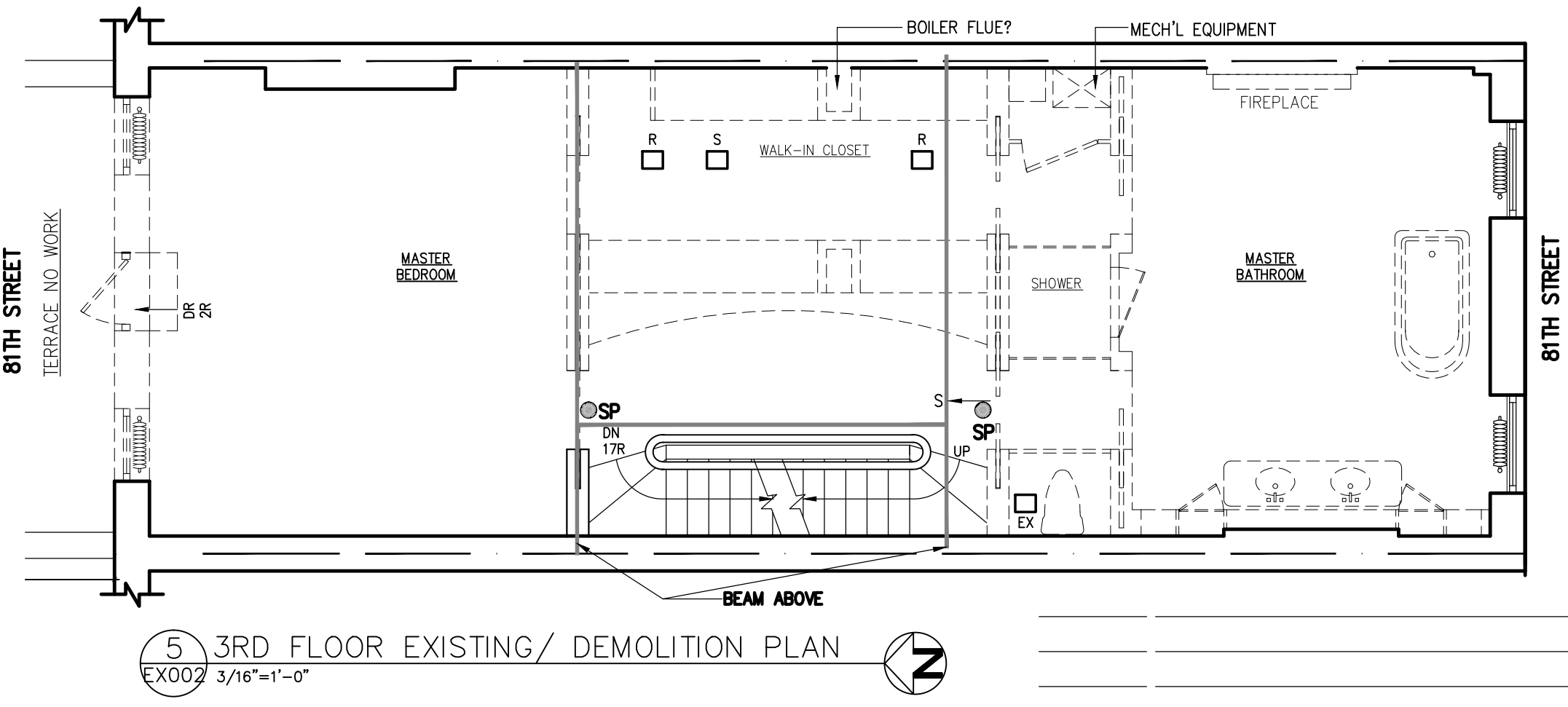
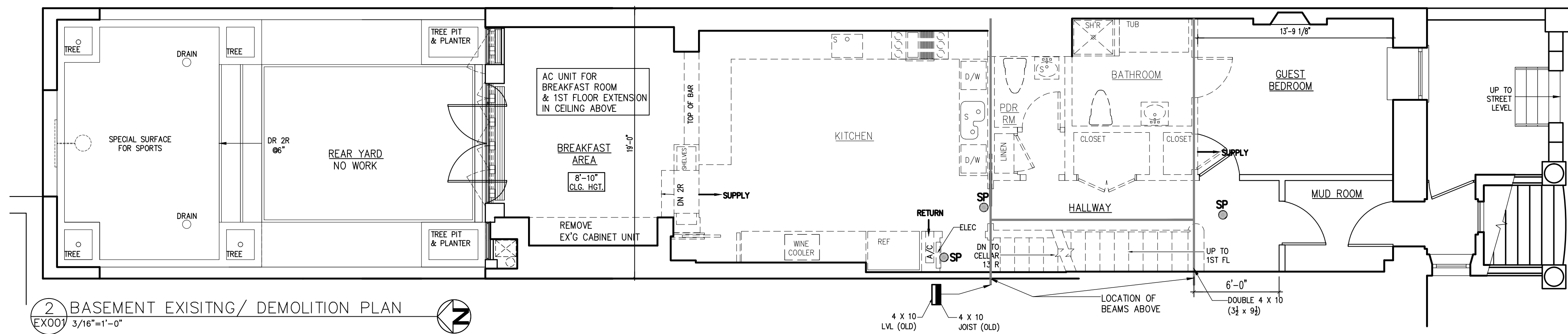
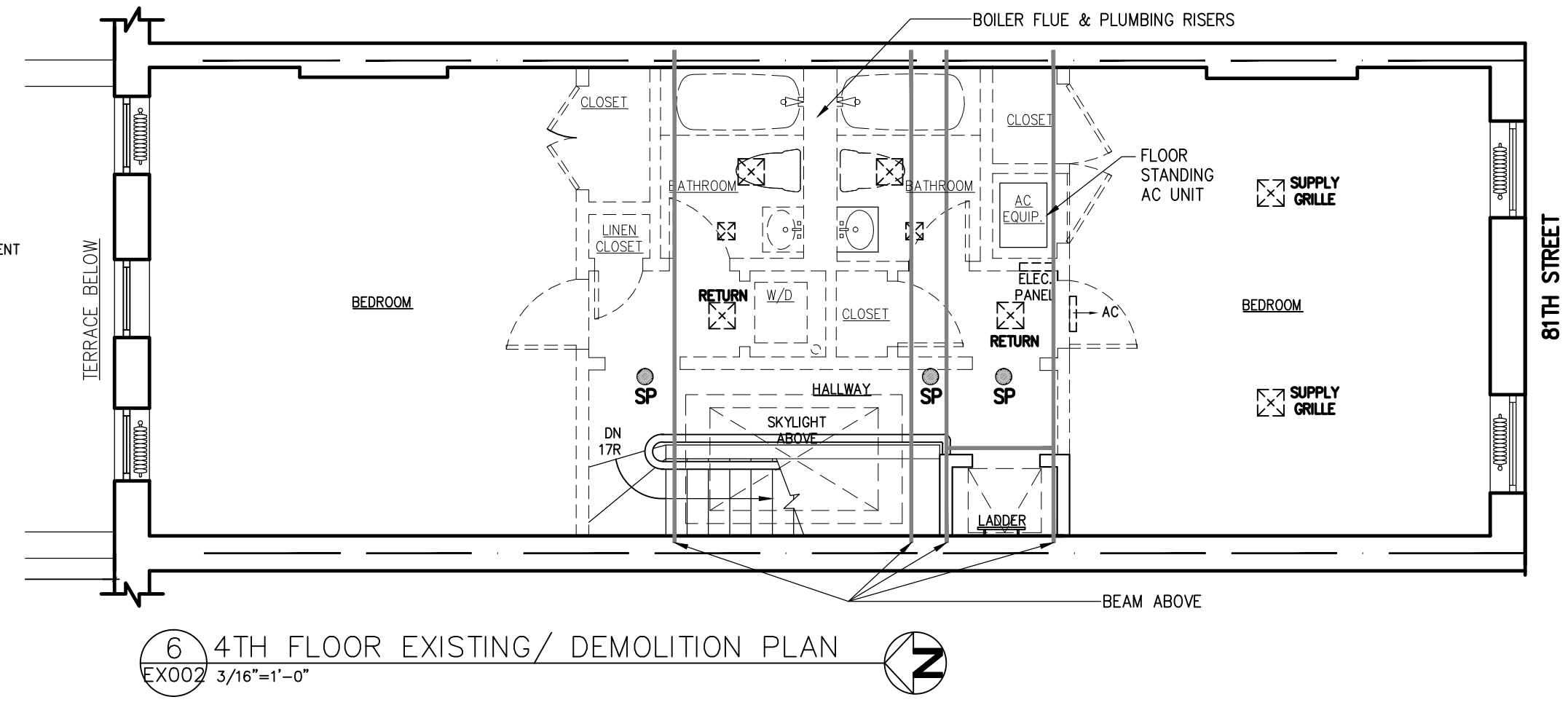
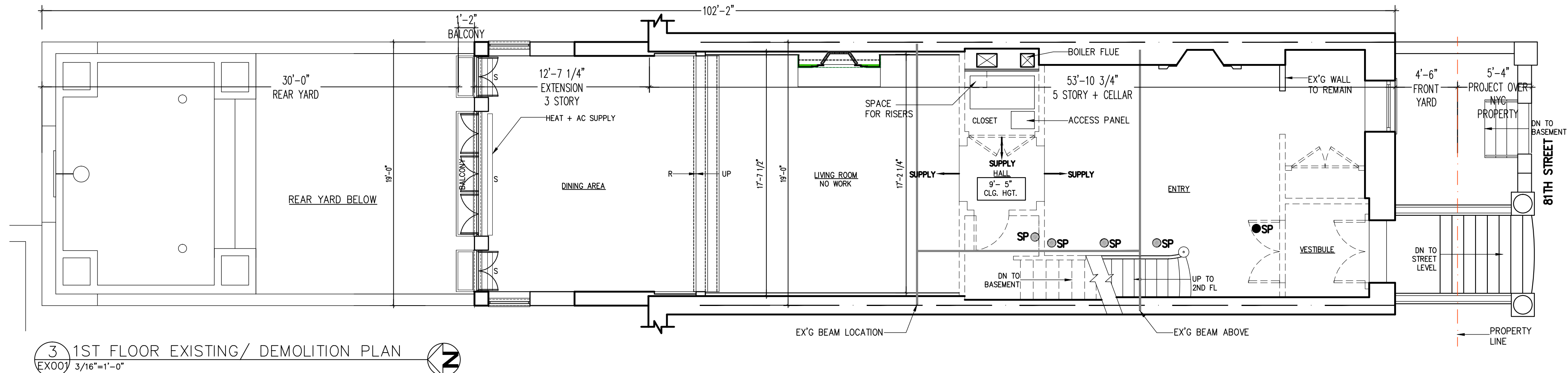
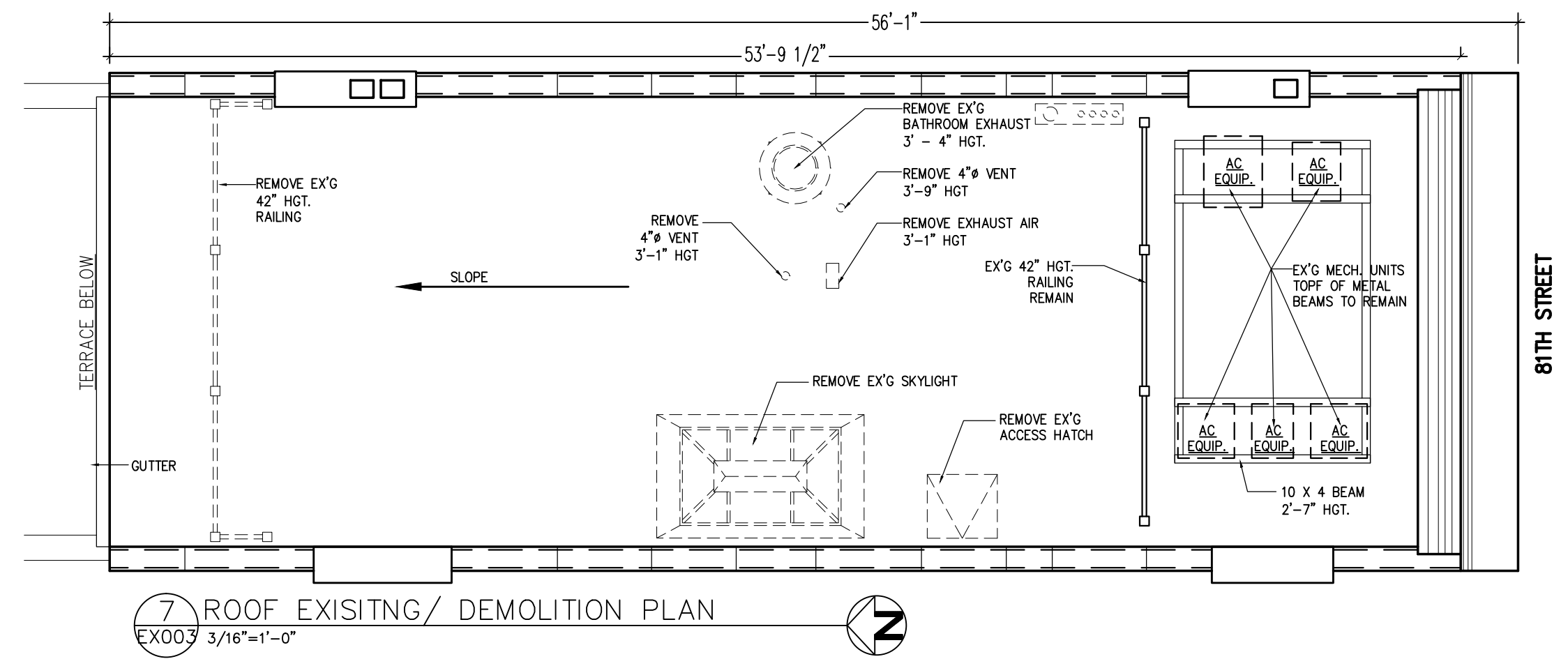
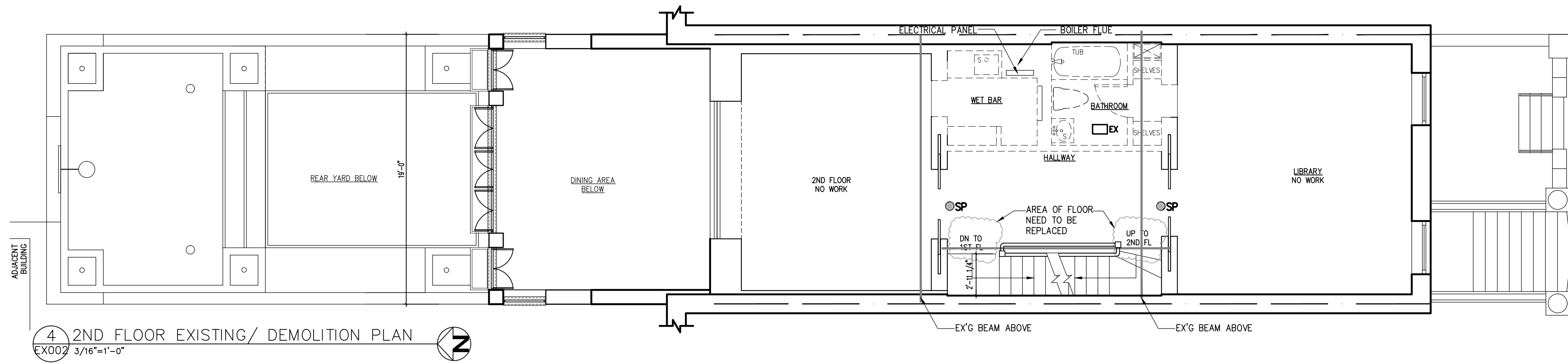
57 PRINCE STREET
NEW YORK, NY 10012
212 431 0011
Hickey Residence

121 West 81th Street
New York, NY 10024
Block: 1212 Lot: 125 CB: 107
Zoning: R8-B Map:5d BIN: 1032047

PHOTOS

Front, Back, Roof & Street Views

SEAL & SIGNATURE	DATE: June 23, 16.
	PROJECT NO. :
	DRAWING BY: J. Oh
	CHK BY: Alexandr Neratoff
	DWG.NO.
T-003.00	
JOB FILE NAME: HICKEY	



DATE _____ ISSUE/REVISION _____

ALEXANDR NERATOFF ARCHITECT

57 PRINCE STREET
NEW YORK, NY 10012
212 431 0011

Hickey Residence

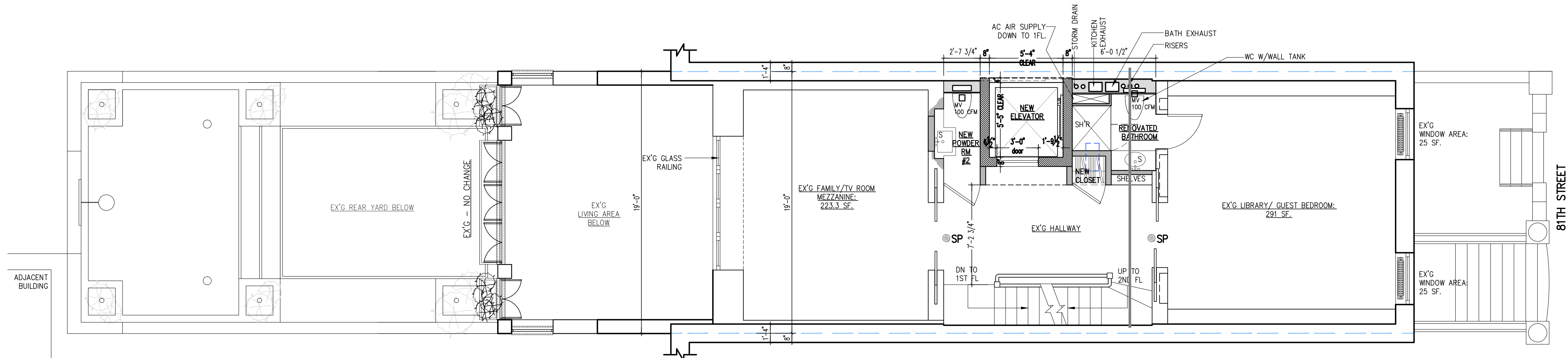
121 West 81th Street
New York, NY 10024

Block: 1212 Lot: 125
Zoning: Map: BIN: 1032047
UPPER WEST SIDE - CENTRAL PARK WEST DISTRICT

EXISTING PLANS	
SEAL & SIGNATURE	DATE: June 23, 16
	PROJECT NO. :
	DRAWING BY: J. Oh
	CHK BY: Alexandr Neratoff
	DWG.NO.
	EX001
JOB FILE NAME: HICKEY	1 of



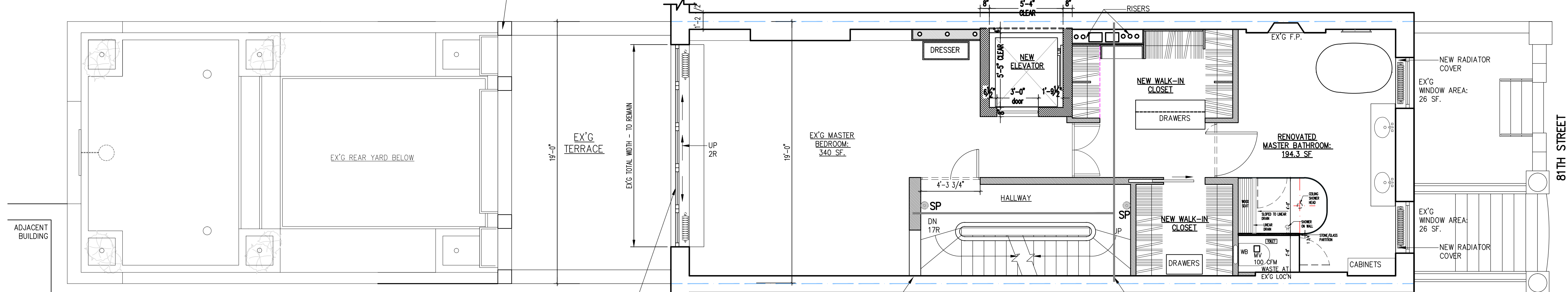
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57 PRINCE STREET NEW YORK, NY 10012 212 431 0011	
NT =====	
Hickey Residence	
121 West 81th Street New York, NY 10024	
Block: 1212	Lot: 125
Zoning: _____	Map: _____
BIN: 1032047	
=====	
UPPER WEST SIDE - CENTRAL PARK WEST DISTRICT	
PROPOSED PLANS	
Cellar, Basement & 1st Fl.	
=====	
SEAL & SIGNATURE	DATE: June 23, 2016
	PROJECT NO. : _____
	DRAWING BY: J. Oh
	CHK BY: Alexandr Neratoff
	DWG.NO. _____
JOB FILE NAME: _____	
81TH	1 of _____



4 PROPOSED 2ND FL
A002 1/4"=1'-0"



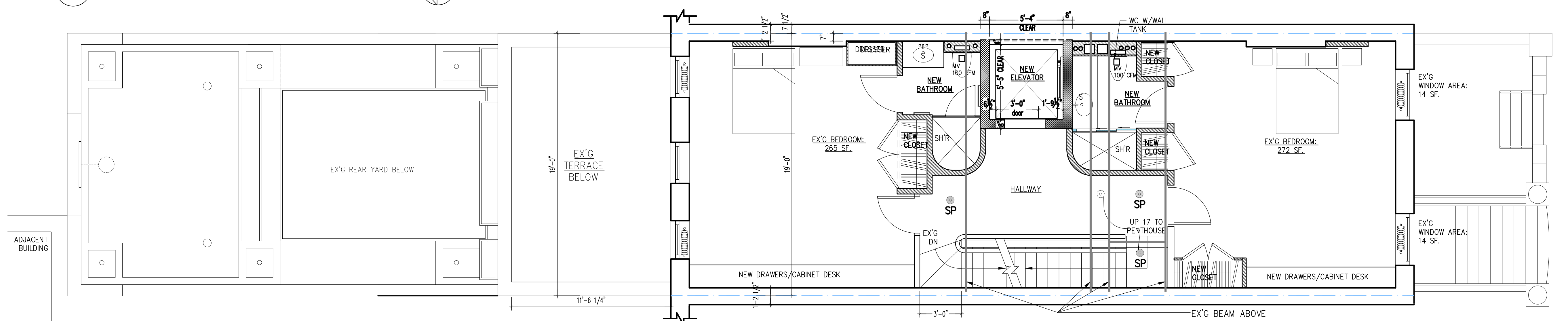
TRELLIS AS APPROVED UNDER DOB #120669384
AND LPC C OF A 12-1512
INSTALLATION TO BE COMPLETED
DURING THIS PROJECT



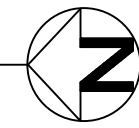
5 PROPOSED 3RD FL
A002 1/4"=1'-0"



NEW FULL WIDTH OPENING
WITH SLIDING GLASS DOORS
(2 FIXED, 3 OPERABLE)
EX'G HEIGHT TO REMAIN



6 PROPOSED 4TH FL
A002 1/4"=1'-0"



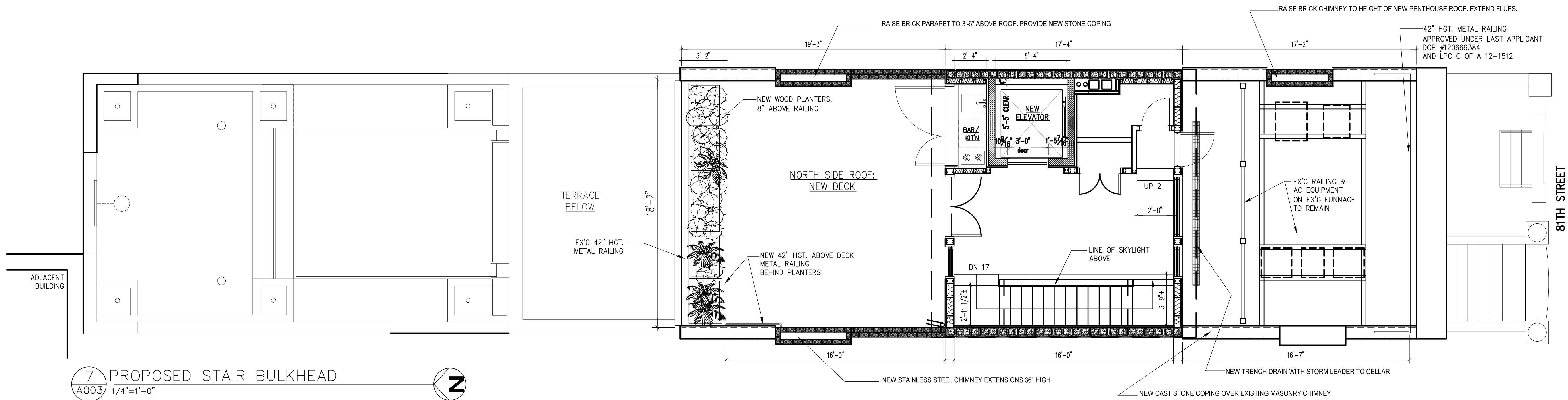
DATE	ISSUE/REVISION

ALEXANDR NERATOFF ARCHITECT
67 PRINCE STREET
NEW YORK, NY 10012
212 431 0011
Hickey Residence

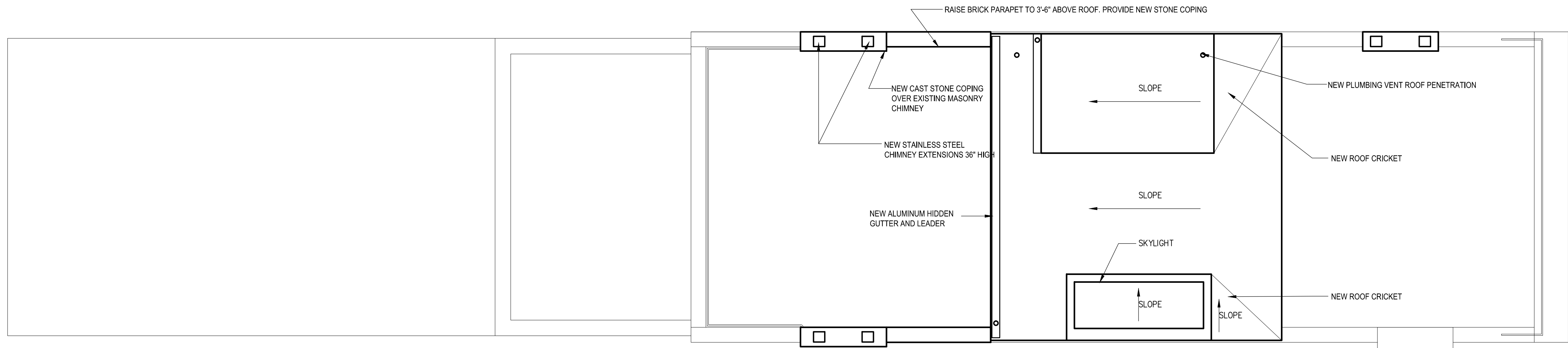
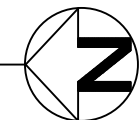
121 West 81th Street
New York, NY 10024
Block: 1212 Lot: 125
Zoning: Map: BIN: 1032047
UPPER WEST SIDE - CENTRAL PARK WEST DISTRICT

PROPOSED PLANS - STRUCTURAL
2nd fl to 4th Floors

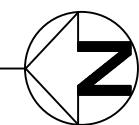
SEAL & SIGNATURE	DATE: June 23, 2016
	PROJECT NO. :
	DRAWING BY: J. Oh
	CHK BY: Alexandr Neratoff
	DWG.NO.
	A002
JOB FILE NAME: 81TH	1 of



7 PROPOSED STAIR BULKHEAD
A003 1/4"=1'-0"



8 PROPOSED ROOF
A003 1/4"=1'-0"



DATE	ISSUE/REVISION
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ALEXANDR NERATOFF ARCHITECT

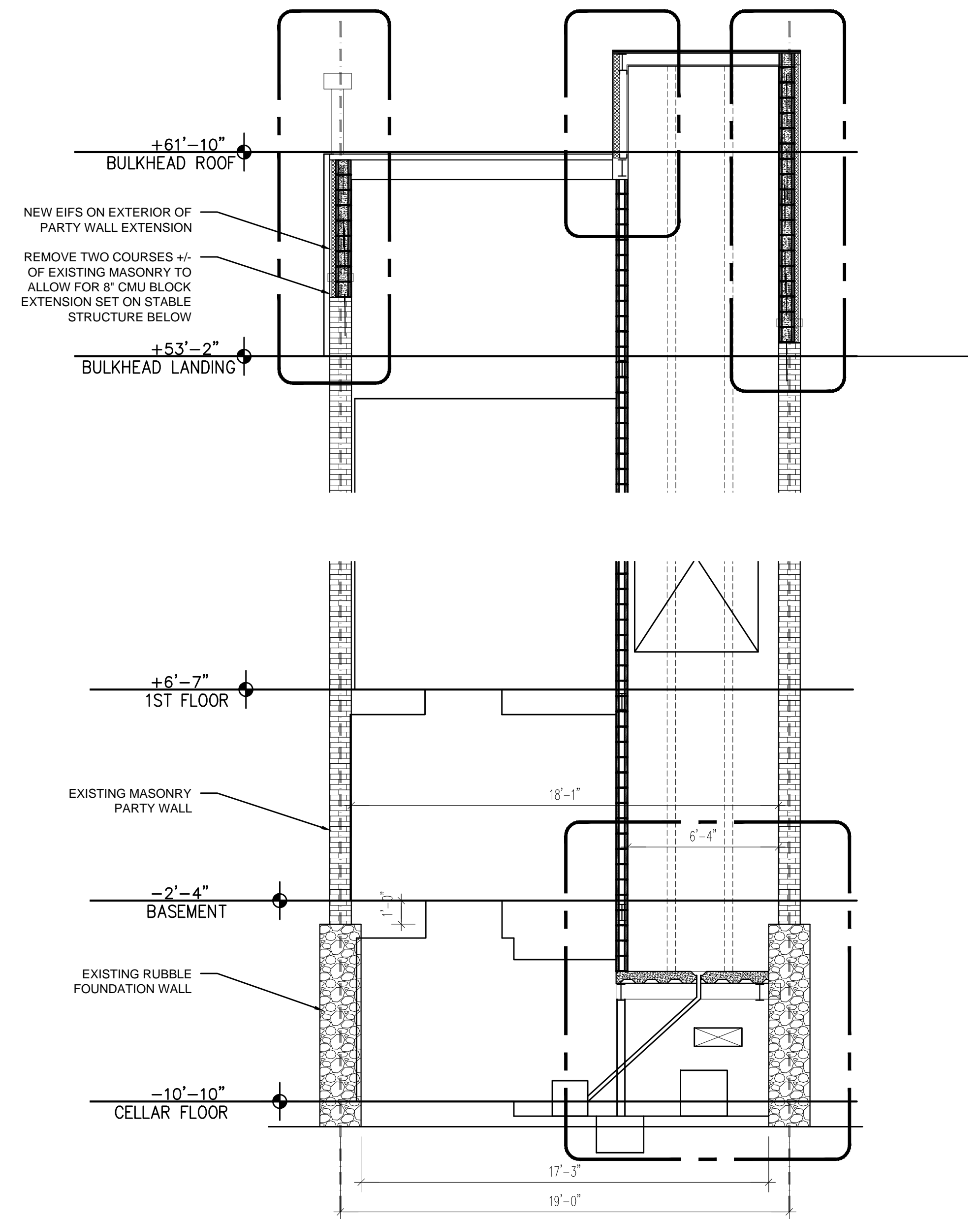
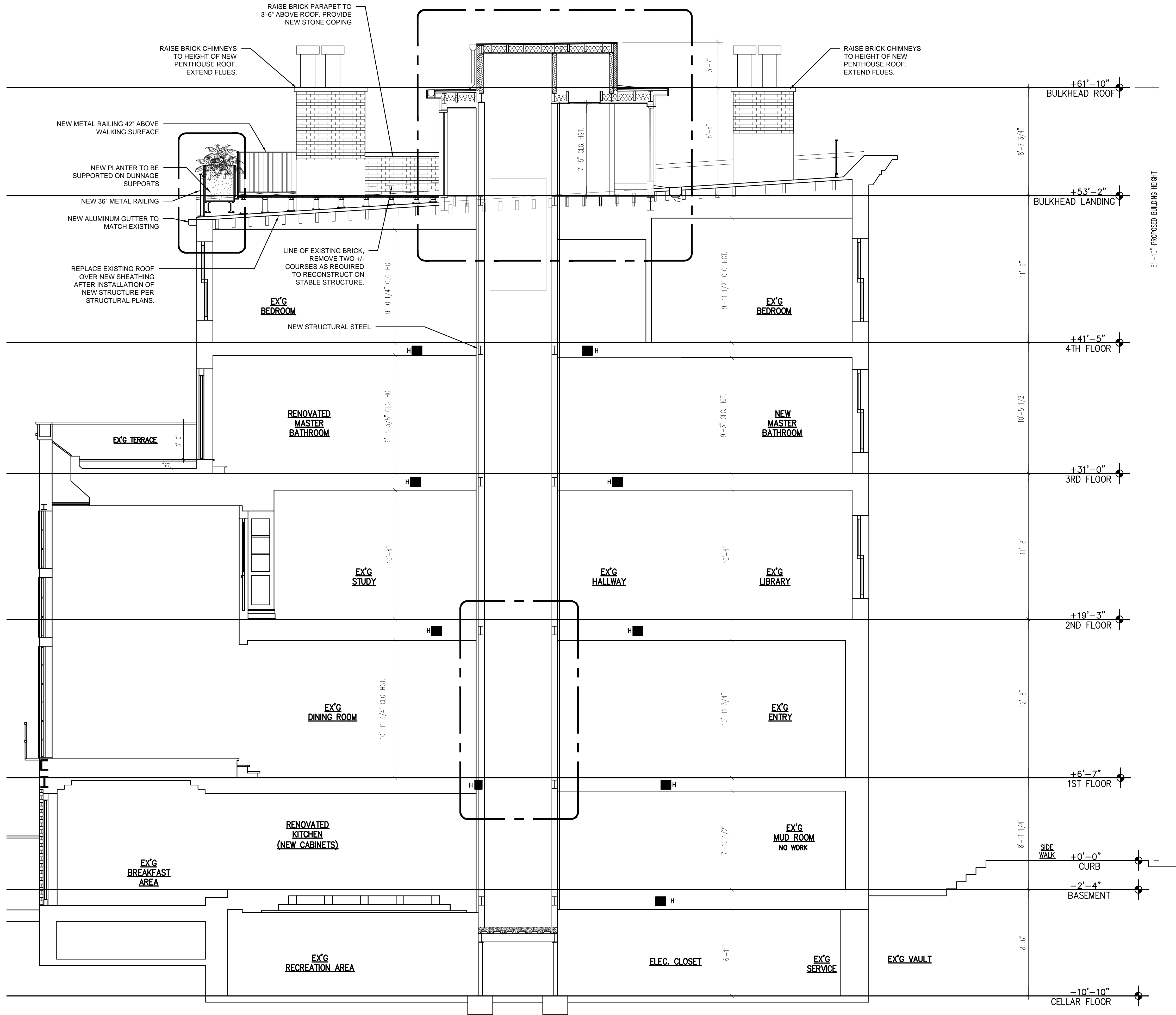
57 PRINCE STREET
NEW YORK, NY 10012
212 431 0011
Hickey Residence

121 West 81th Street
New York, NY 10024

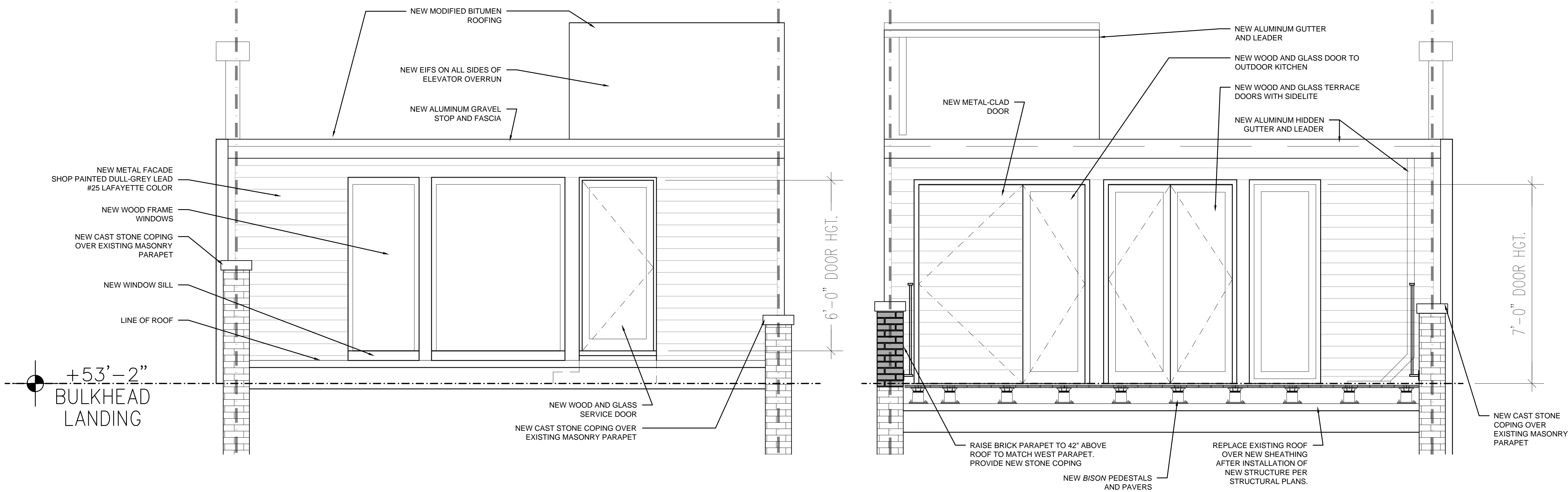
Block: 1212 Lot: 125
Zoning: Map: BIN: 1032047
UPPER WEST SIDE - CENTRAL PARK WEST DISTRICT

PROPOSED PLANS Bulkhead/Stairs & Roof

SEAL & SIGNATURE	DATE: June 23, 2016
	PROJECT NO. :
	DRAWING BY: J. Oh
	CHK BY: Alexandr Neratoff
	DWG.NO.
	A003
JOB FILE NAME: 81TH	1 of



06/21/16 REVIEW	
06/03/16 REVIEW	
DATE	ISSUE/REVISION
ALEXANDR NERATOFF ARCHITECT	
57 PRINCE STREET NEW YORK, NY 10012 212 431 0011	
Hickey Residence	
121 West 81th Street New York, NY 10024	
Block: 1212	Lot: 125
Zoning:	Map: BIN: 1032047
UPPER WEST SIDE - CENTRAL PARK WEST DISTRICT	
PROPOSED SECTION	
NEW BULKHEAD & STAIR	
SEAL & SIGNATURE	DATE: June 23, 2016
PROJECT NO. :	
DRAWING BY: J. Oh	
CHK BY: Alexandr Neratoff	
DWG.NO.	
A004	
JOB FILE NAME:	
81TH	



DATE	ISSUE/REVISION
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ALEXANDR NERATOFF ARCHITECT

57 PRINCE STREET
NEW YORK, NY 10012
212 431 0011
Hickey Residence

121 West 81th Street
New York, NY 10024

Block: 1212 Lot: 125
Zoning: Map: BIN: 1032047

UPPER WEST SIDE - CENTRAL PARK WEST DISTRICT
PROPOSED EXTERIOR ELEVATIONS

NEW BULKHEAD & STAIR

SEAL & SIGNATURE	DATE: June 23, 2016
	PROJECT NO. :
	DRAWING BY: J. Oh
	CHK BY: Alexandr Neratoff
	DWG.NO.
	A005
	JOB FILE NAME:
	81TH