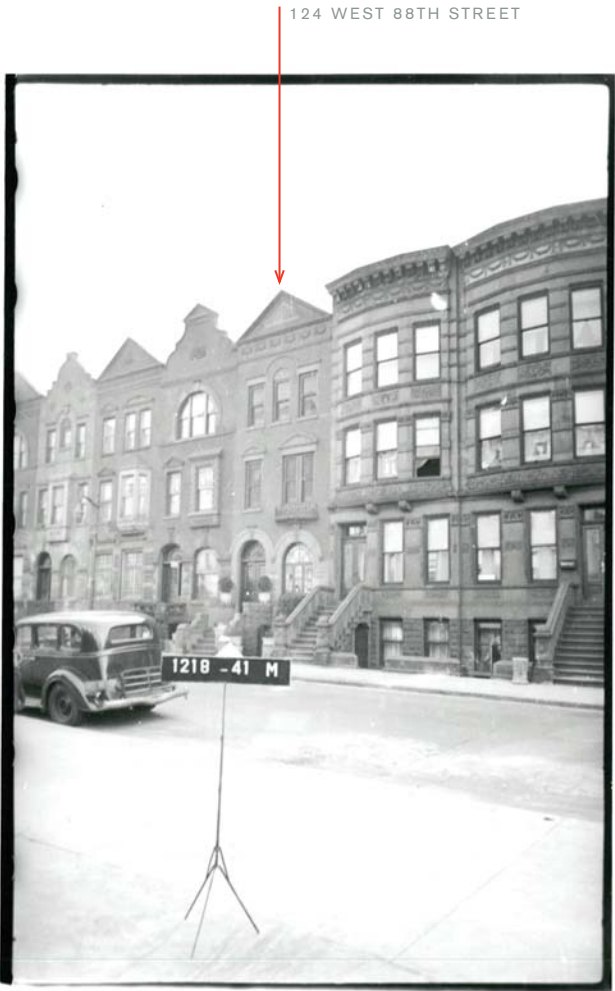


WEST 88TH STREET TOWNHOUSE

LANDMARKS PRESERVATION COMMISSION
AND COMMUNITY BOARD 7
PRESENTATION



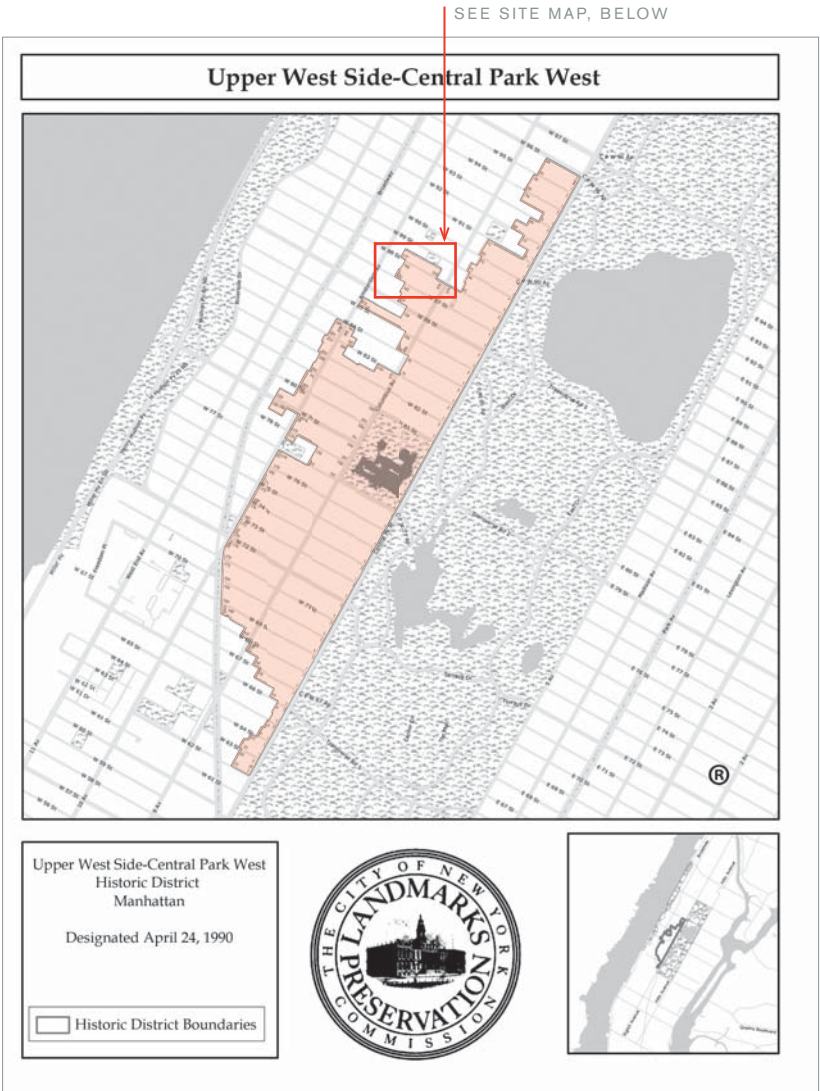
HISTORIC PHOTOGRAPH, c. 1911
THE NEW YORK PUBLIC LIBRARY DIGITAL COLLECTIONS¹



TAX LOT PHOTOGRAPH 1940s
SHOWING THE 1886 REED FACADE



TAX LOT PHOTOGRAPH 1980s
SHOWING THE 1962 IFILL & JOHNSON ALTERATION FACADE



LPC DISTRICT MAP

¹IRMA AND PAUL MILSTEIN DIVISION OF UNITED STATES HISTORY, LOCAL HISTORY AND GENEALOGY, THE NEW YORK PUBLIC LIBRARY. "MANHATTAN: 88TH STREET (WEST) - COLUMBUS AVENUE" THE NEW YORK PUBLIC LIBRARY DIGITAL COLLECTIONS. 1911. [HTTP://DIGITALCOLLECTIONS.NYPL.ORG/ITEMS/510D47DD-13FC-A3D9-E040-E00A18064A99](http://digitalcollections.nypl.org/items/510d47dd-13fc-a3d9-e040-e00a18064a99)

WEST 88TH STREET Between Columbus Avenue and Amsterdam Avenue [South Side]	ALTERATION(S)
112, 114, 116, 118, 120, 122, 124 West 88th Street Tax Map Block/Lots: 1218/136, 38, 138, 39, 139, 40, 41	<u>No. 120 West 88th Street</u> Stoop removed; replaced by metal stairs and platform.
ORIGINAL ROW DATA	<u>No. 124 West 88th Street</u> Stoop removed; new brick and redwood plywood paneling on facade. New window configurations. 1962: Alt 498-1962 [Source: Alteration Application] Architect — Ifill & Johnson Owner — Aaron Wells
DATE: 1886-87 [NB 755-1886]	
TYPE: Rowhouses (7 of 8)	
ARCHITECT: Samuel B. Reed	
OWNER/DEVELOPER: William J. Taylor	
STYLE/ORNAMENT: Romanesque Revival with Renaissance and Flemish Revival elements	
ROW CONFIGURATION: Individualized	
Facade(s): Brick and stone	
Number of Stories: 3 with basement	
Window Type/Material: One-over-one double-hung/Wood	
Multi-light-over-one double-hung/Wood	
Basement Type: Raised	
Stoop Type: Straight	
Method of Construction: Masonry bearing walls	



No. 110

No. 112

No. 114

No. 116

No. 118

No. 120

No. 122

No. 124

No. 128

No. 130

No. 132



No. 110 EXISTING EMPTY LOT
NEW BUILDING PROPOSED, APPROVED
BY DOB AND LPC DOCKET No. 160384

No. 124
EXISTING STREET CONDITIONS PHOTOGRAPHIC MONTAGE



SITE MAP





02 ENLARGED ELEVATION: EXISTING STREET FACADE LOWER AREA
SCALE: 1/2" = 1'-0"

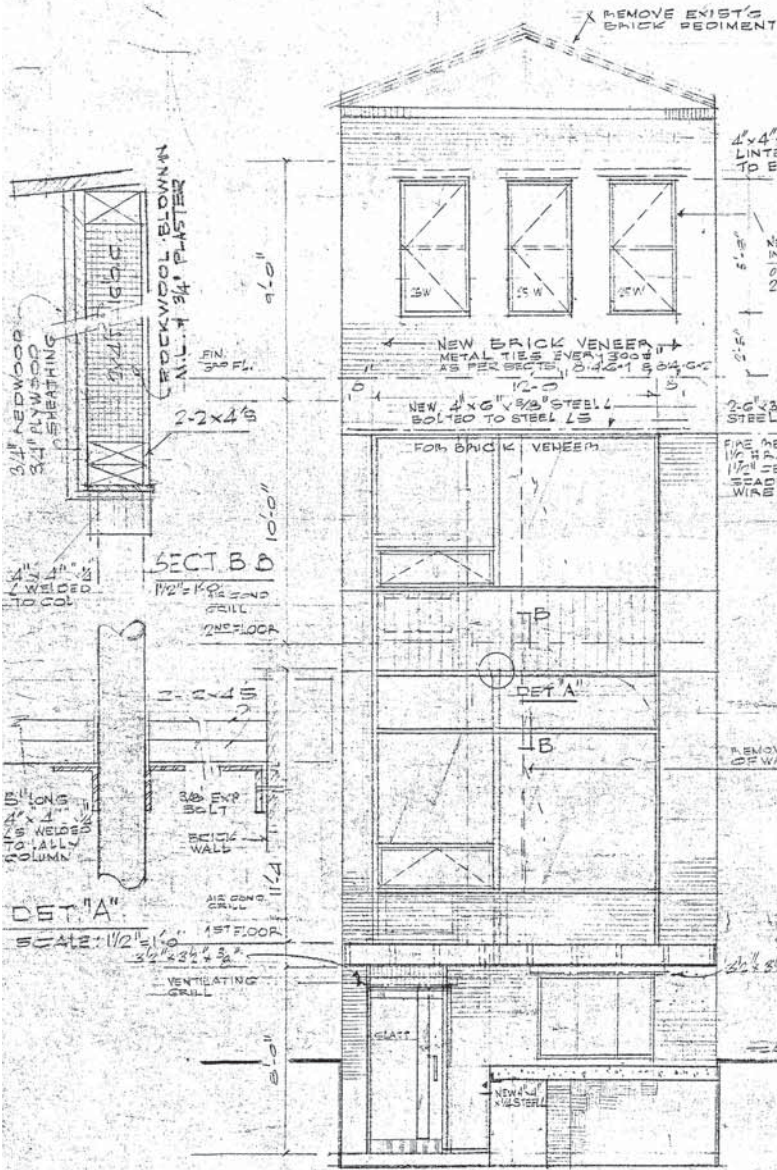


01 ENLARGED ELEVATION: PROPOSED STREET FACADE LOWER AREA
SCALE: 1/2" = 1'-0"

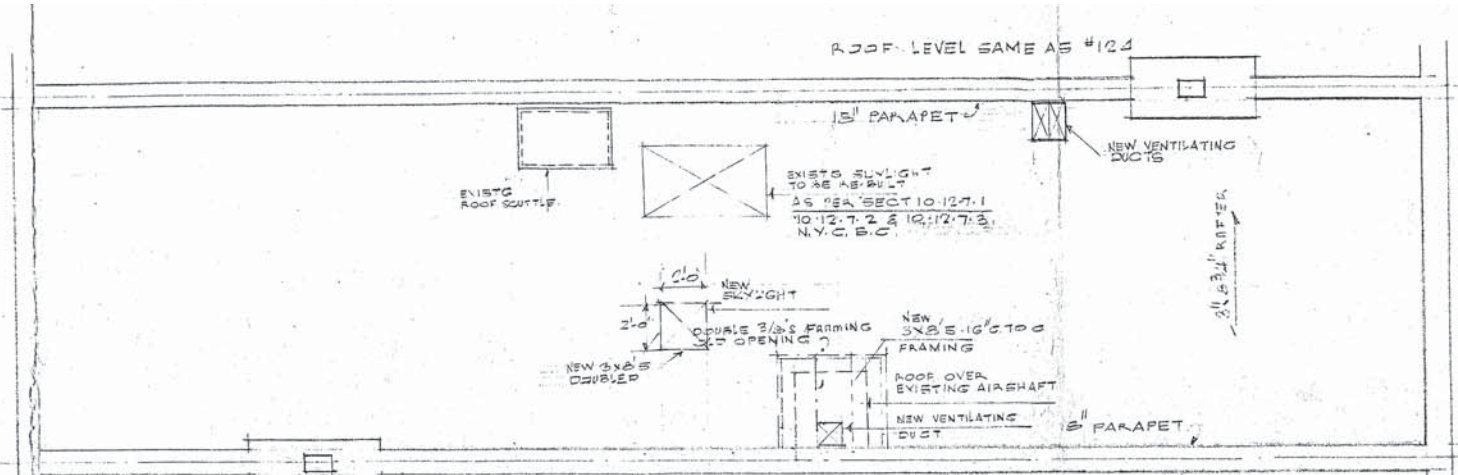
STRUCTURAL COMPUTATIONS

$\frac{1}{2} h \times b \times \frac{1}{2} (6 \times 12) \times 120 \frac{1}{2} = 4,320 = W$
 $M_{(MAX)} \frac{W}{8} = \frac{4,320 \times 12 \cdot 0}{8} = 8,640 \text{'} \#$
 $S_M = \frac{M}{F_r} = \frac{8,640 \times 12}{20,000} = \frac{25,92}{500} = 5.18$
 $S_M = 5.18 - \text{USE } 2 \cdot 6 \times 3 \frac{1}{2} \times 3 \frac{3}{8} \text{ STEEL } L \text{'S}$

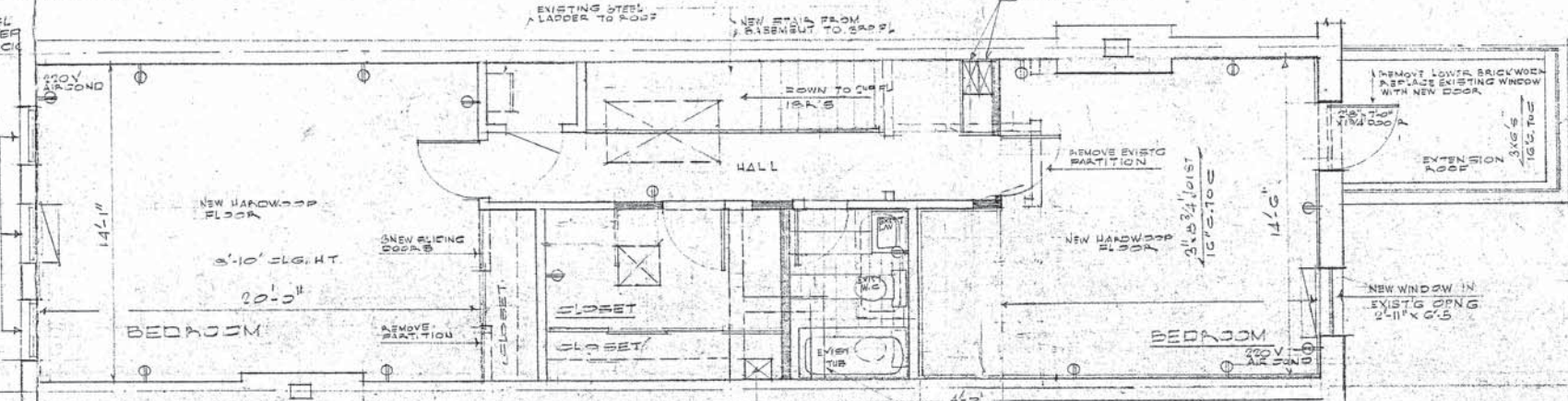
$\frac{1}{2} h \times b \times \frac{1}{2} (6 \times 3) \times 120 \frac{1}{2} = 2,160$
 $M_{(MAX)} \frac{W}{8} = \frac{2,160 \times 6}{8} = 2,160$
 $S_M = \frac{M}{F_r} = \frac{2,160 \times 12}{20,000} = \frac{1,62}{1,000} = 1.29 \text{ SM REQ'D}$
 $\text{USE } 2 \cdot 3 \frac{1}{2} \times 3 \frac{1}{2} \times 3 \frac{3}{8} \text{ L'S } S_M = 2.2$



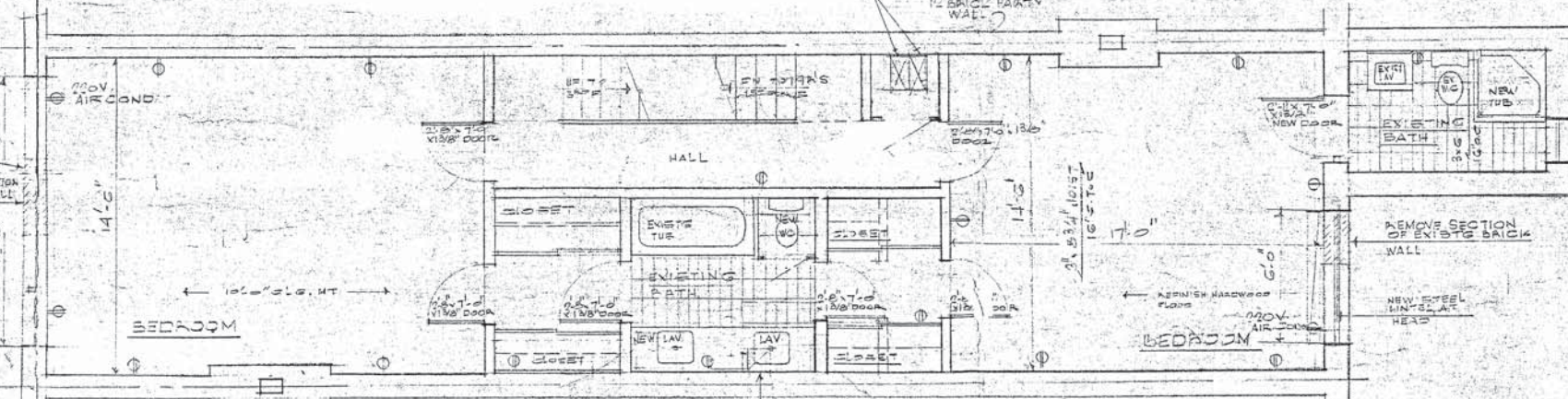
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



3RD FLOOR PLAN - OWNER OCCUPANCY
SCALE: 1/4" = 1'-0"

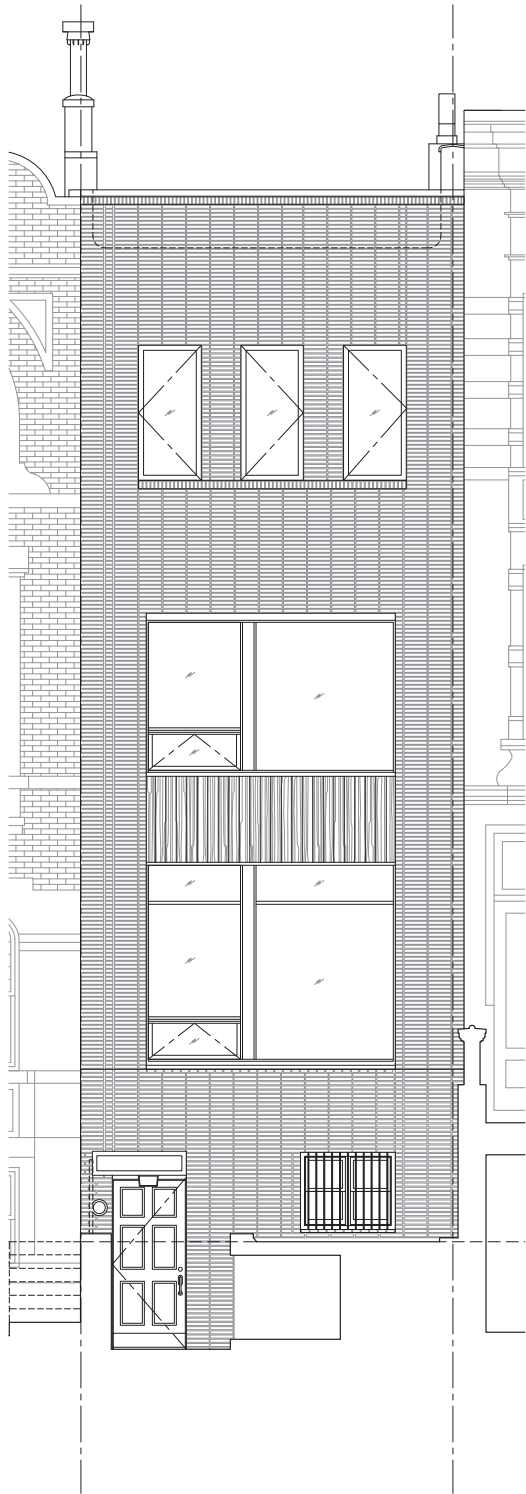


2ND FLOOR PLAN - OWNER OCCUPANCY
SCALE: 1/4" = 1'-0"

FIRE RETARD LINTEL
1/2" RATING
1/2" CEMENT COUC
GRADE 1 ON
WIRE MESH AS RE
SECTS 10-14, 10-26
N.Y.C. B.C.

REVISED 1/6/64
REVISED 6/17/63
REVISED 1/4/63
REVISED 12/27/62
REVISED 11/14/62

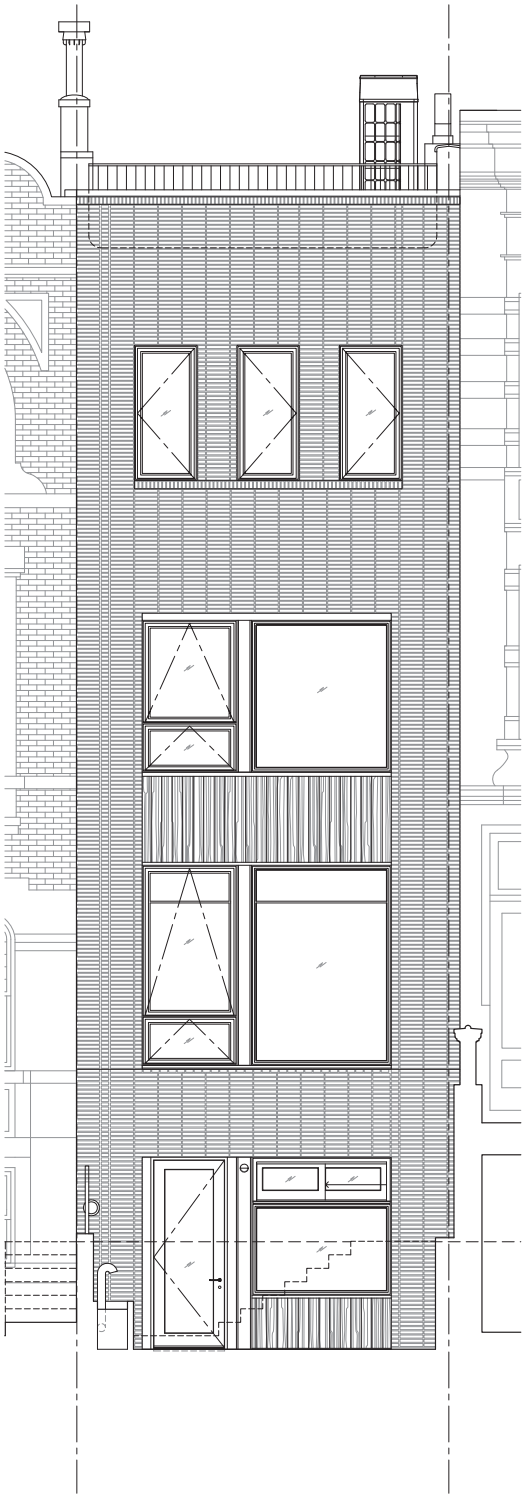
REA
5-4



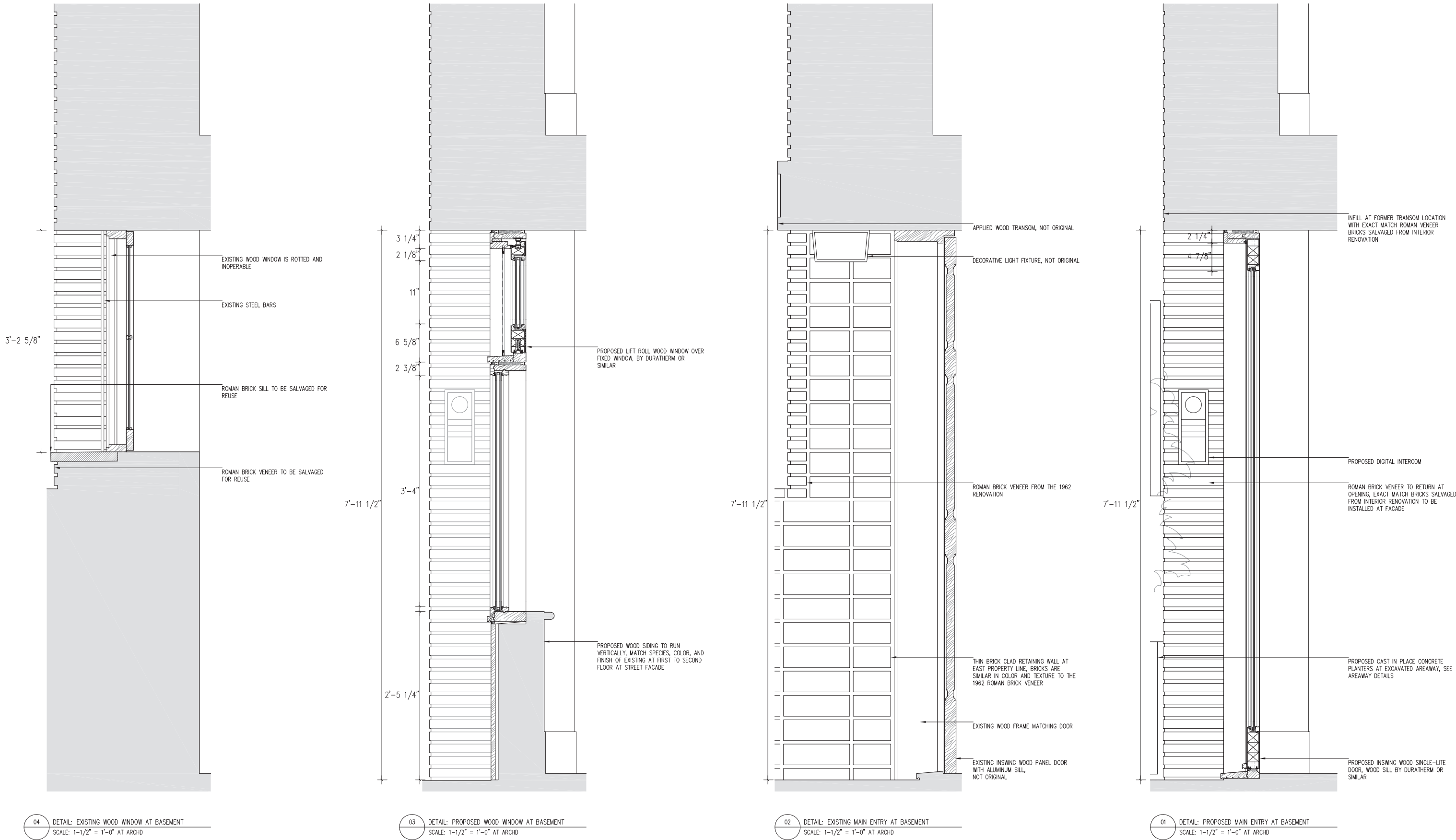
PRESENT-DAY
EXISTING CONDITIONS

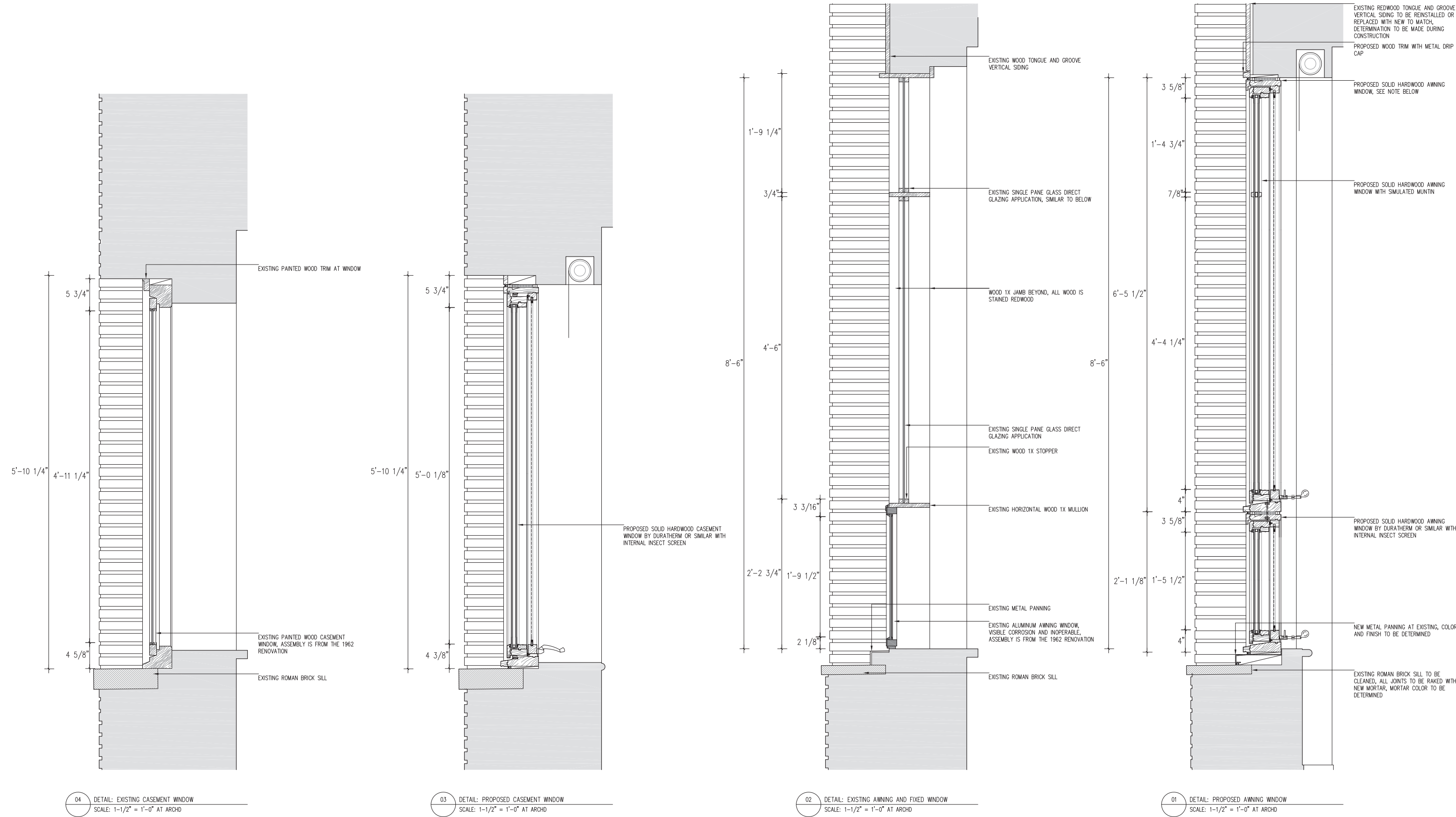


IFILL & JOHNSON
PROPOSED CONDITION
1962



PRESENT-DAY
PROPOSED CONDITION







NEIGHBORING STOOP AT No. 128

PAINTED STEEL BARS
NOT ORIGINAL

PAINTED STEEL FENCE
NOT ORIGINAL

INFILL AREAWAY AT FORMER STAIR
TO BASEMENT
IFILL & JOHNSON RENOVATION

RUBBISH STORAGE AND STEEL GATE
NOT ORIGINAL

WOOD DOOR AND VALENCE ARE NOT
ORIGINAL, NOR PART OF THE IFILL &
JOHNSON RENOVATION

CONCRETE STAIR WITH UNEQUAL
RISERS

124 WEST 88TH STREET EXISTING STREET AREAWAY



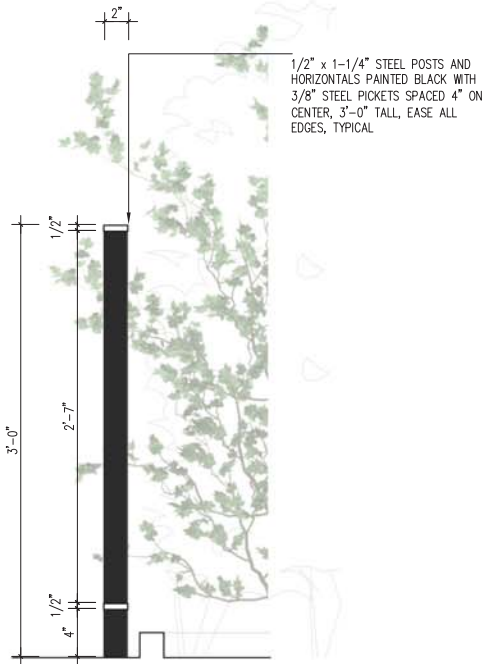
124 WEST 88TH STREET EXISTING STREET FACADE



04 ENLARGED ELEVATION: AREAWAY
SCALE: 1/2" = 1'-0"



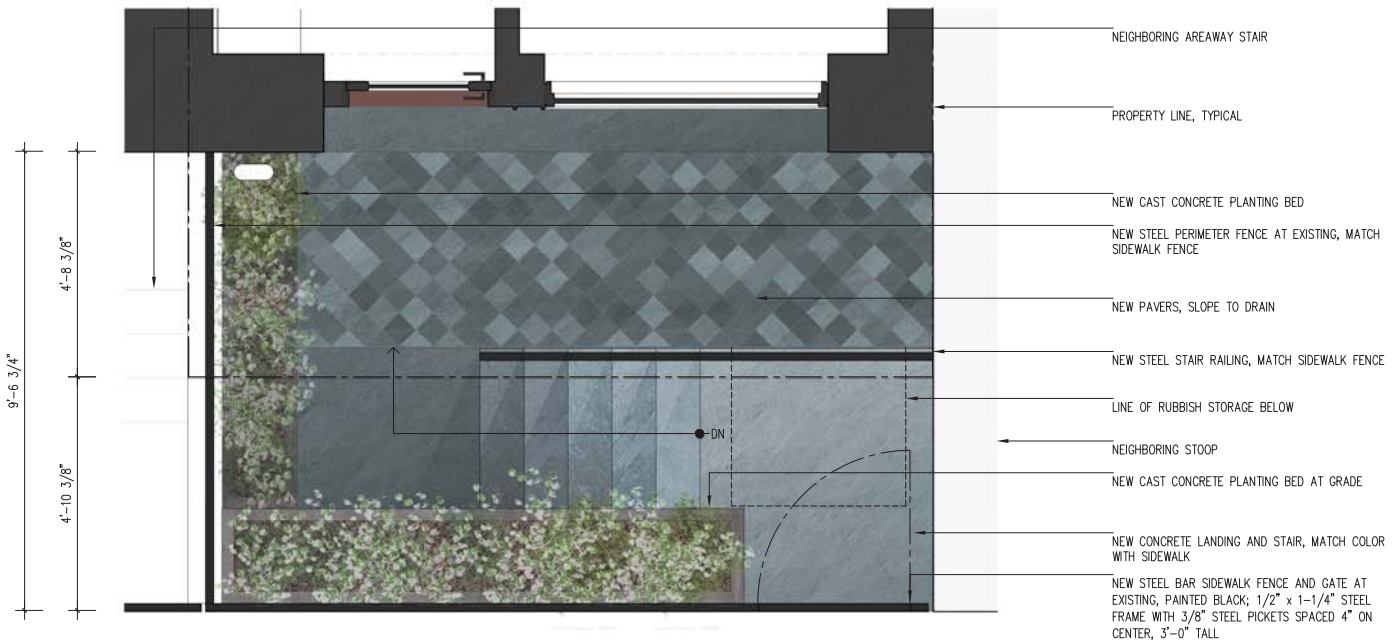
04 ENLARGED ELEVATION: STREET FENCE
SCALE: 1/2" = 1'-0"



03 ENLARGED FENCE SECTION, TYPICAL
SCALE: 1 1/2" = 1'-0"



02 ENLARGED SECTION: AREAWAY FACING EAST
SCALE: 1/2" = 1'-0"



01 ENLARGED PLAN: AREAWAY
SCALE: 1/2" = 1'-0"









120 WEST 88TH STREET
6 OF 8 SAMUEL REED ROWHOUSE



122 WEST 88TH STREET
7 OF 8 SAMUEL REED ROWHOUSE



124 & 122 WEST 88TH STREET
SAMUEL REED ROWHOUSE



134 WEST 88TH STREET



136 WEST 88TH STREET



158 WEST 88TH STREET



164 WEST 88TH STREET



EXISTING WINDOWS IN DISREPAIR, WINDOWS ARE NOT ORIGINAL, TYPICAL

MINOR BRICK REPAIR REQUIRED, NEW FINISH TO MATCH EXISTING

EXISTING WOOD FENCE

EXISTING METAL DECK, STAIR WITH UNEQUAL RISERS, AND UNCONDITIONED ENCLOSED AREA BELOW DECK

EXISTING PAVERS

EXISTING PLANTERS WITH DEAD TREE

EXISTING WOOD PLATFORM



03 EXISTING REAR ELEVATION FACING NORTH
SCALE: 1/4" = 1'-0"

02 PROPOSED REAR ELEVATION FACING NORTH
SCALE: 1/4" = 1'-0"

01 PROPOSED REAR ELEVATION FACING EAST
SCALE: 1/4" = 1'-0"

124 WEST 88TH STREET

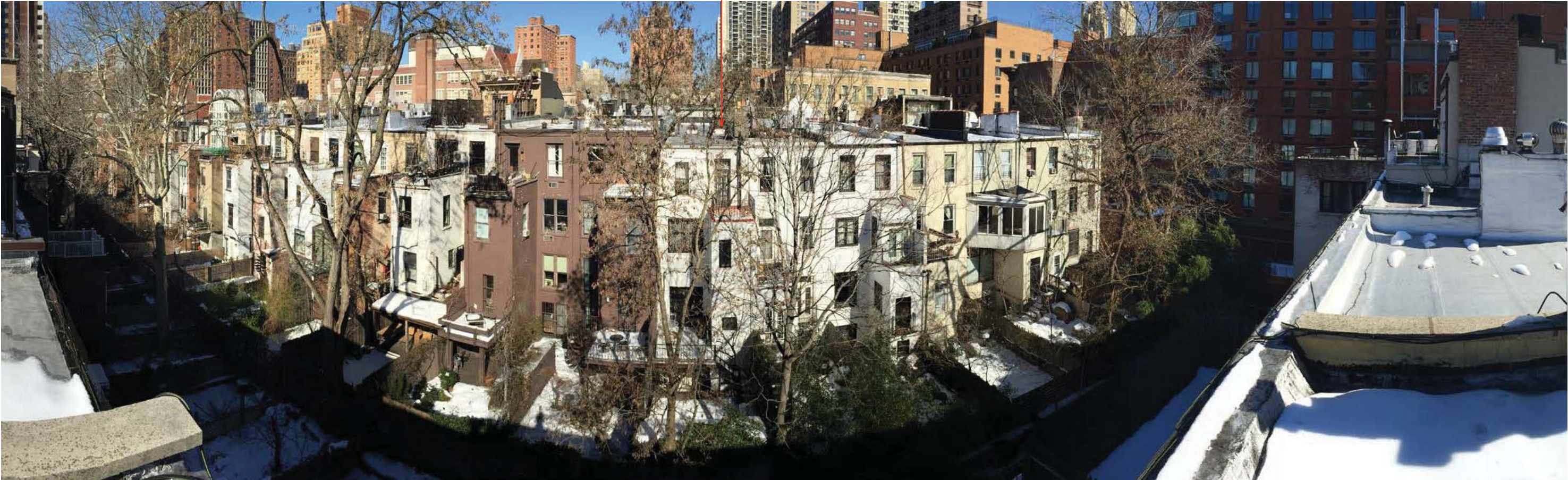
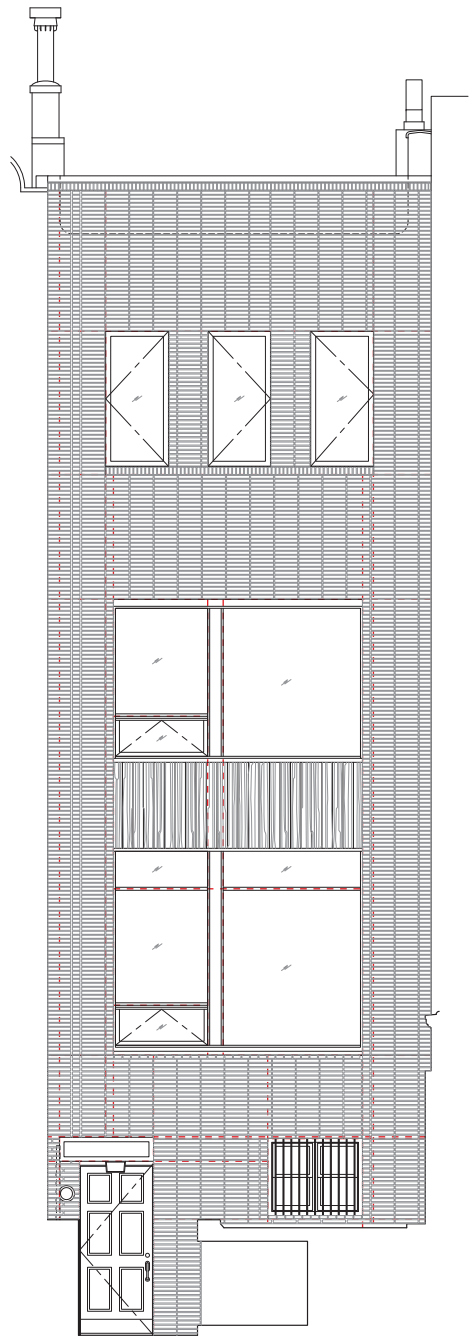
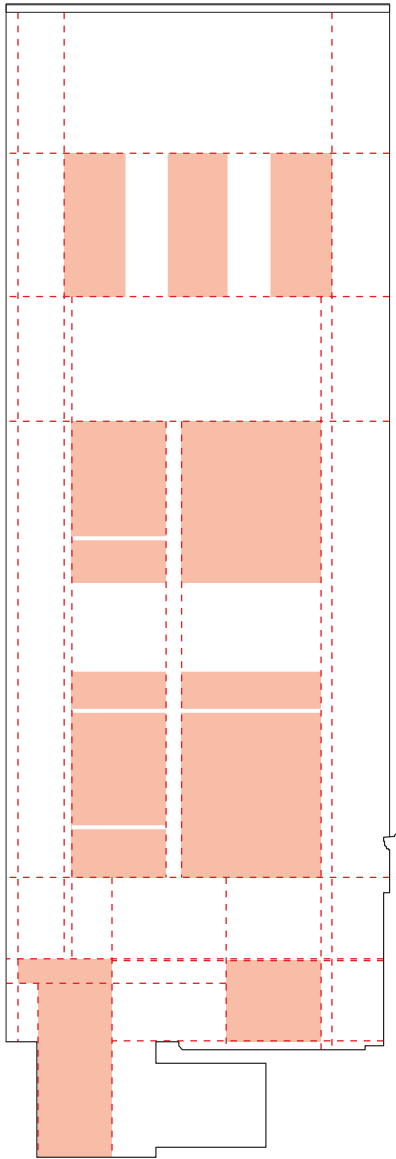


IMAGE CITATION:
OGAWA DEPARDON ARCHITECTS. "125 WEST 87TH STREET NEW YORK, NY 10024 LPC REVIEW,"
125 WEST 87TH STREET NEW YORK, NY 10024 (2016): 10. THE OFFICIAL WEBSITE OF THE
CITY OF NEW YORK. CITY OF NEW YORK, 2 FEB. 2016. WEB. 14 JUNE 2017. <[HTTP://WWW.
NYC.GOV/HTML/LPC/DOWNLOADS/PDF/PRESENTATION-MATERIALS/2_2_16/125%20
WEST%2087TH%20STREET.PDF](http://www.nyc.gov/html/lpc/downloads/pdf/presentation-materials/2_2_16/125%20WEST%2087TH%20STREET.PDF)>.

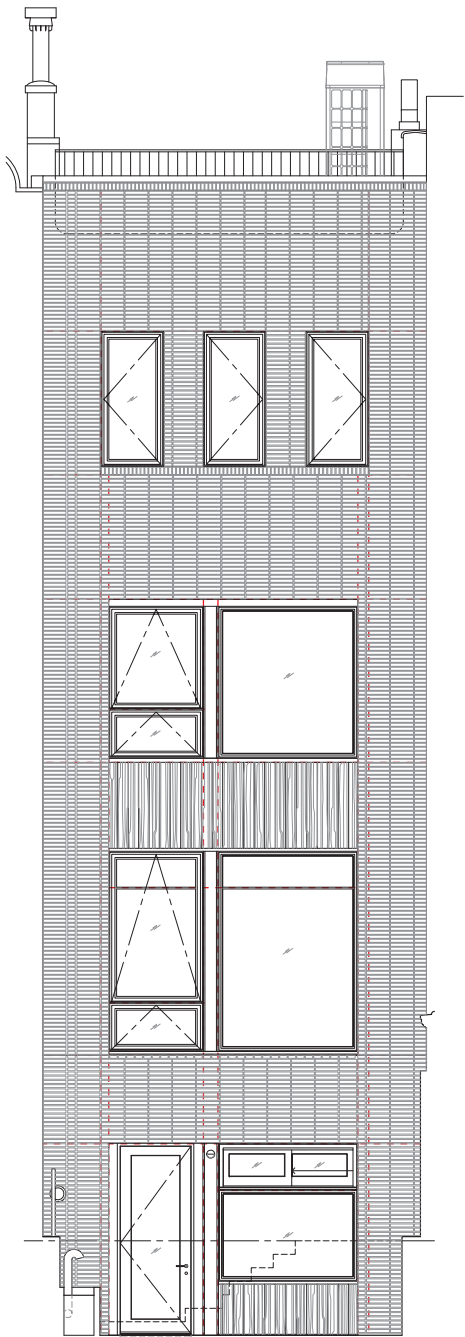
APPENDIX



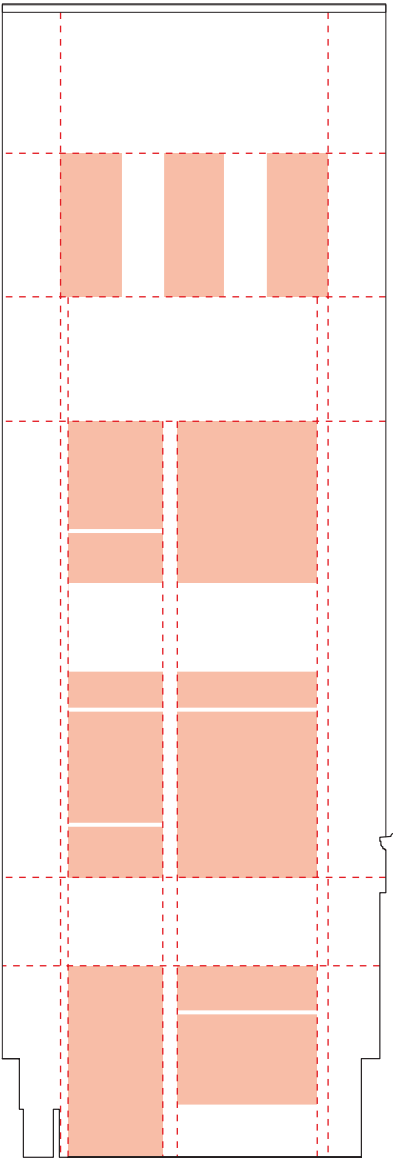
EXISTING CONDITIONS
MISALIGNMENT



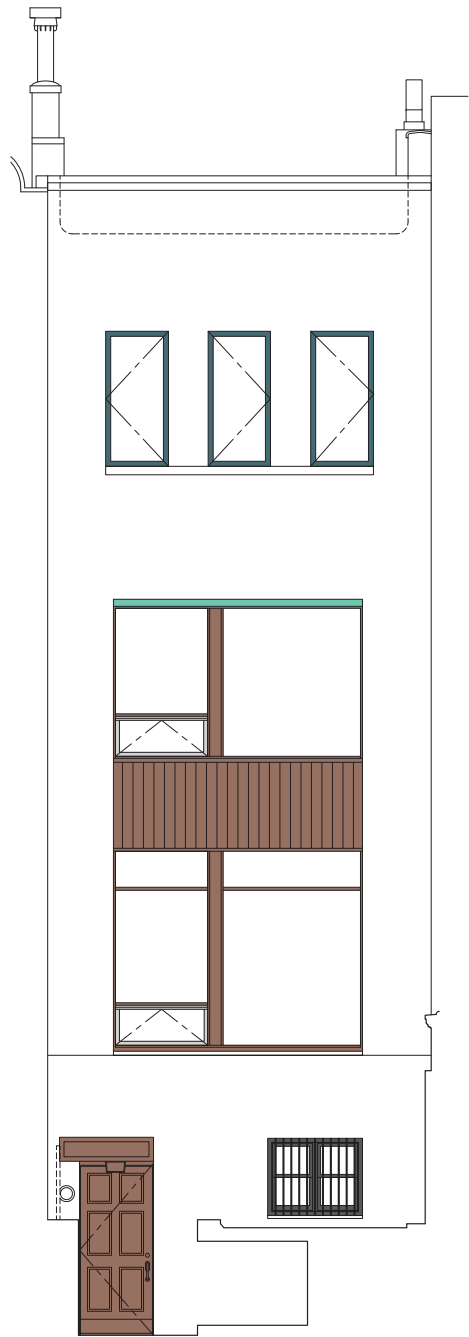
EXISTING CONDITIONS
MISALIGNMENT OF OPENINGS



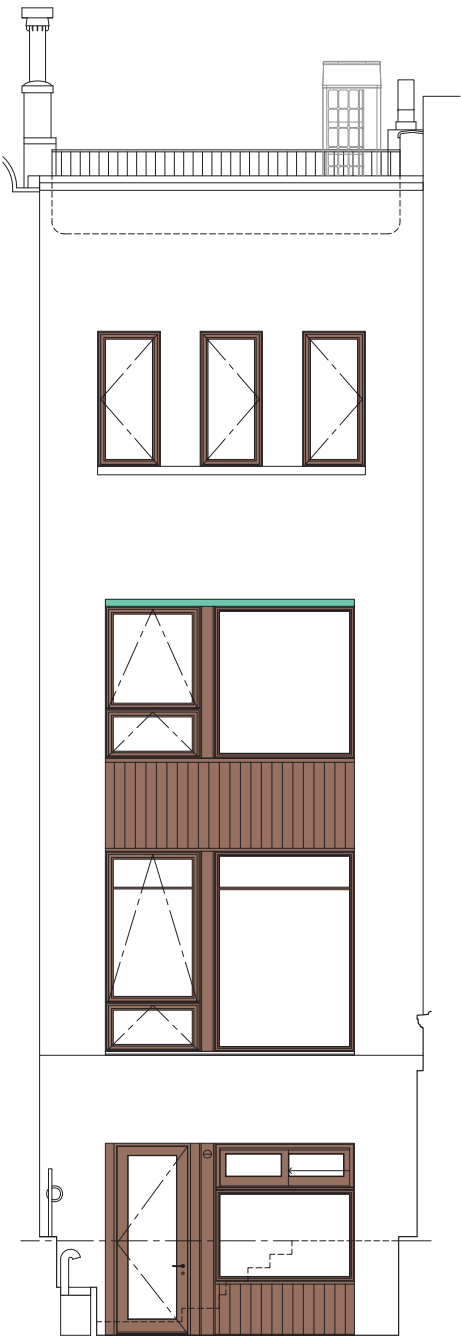
PROPOSED CONDITIONS
ALIGNMENT



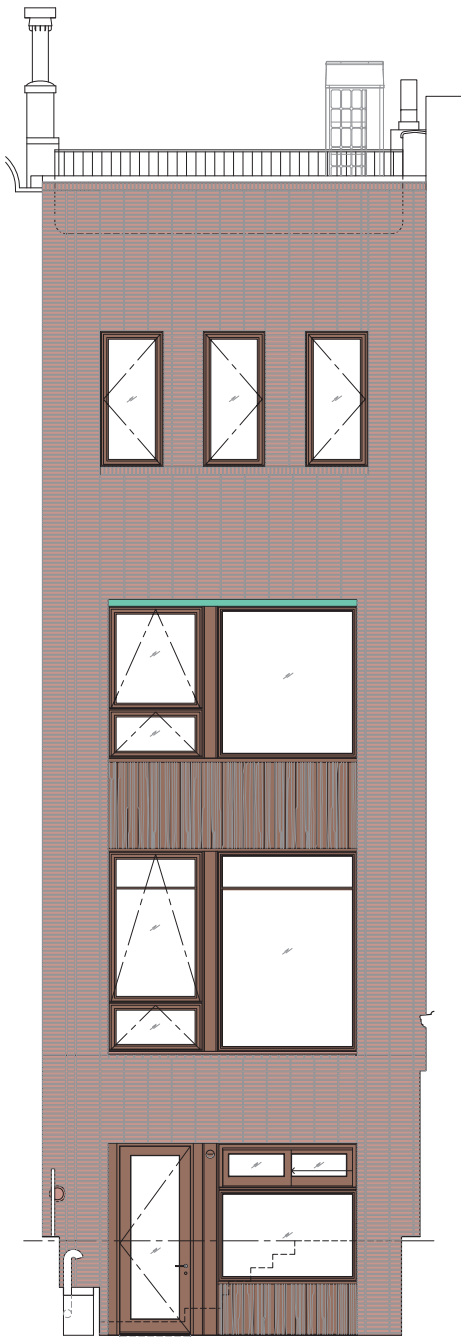
PROPOSED CONDITIONS
ALIGNMENT OF OPENINGS



EXISTING CONDITIONS
MATERIALS AT OPENINGS



PROPOSED CONDITIONS
MATERIAL AT OPENINGS



PROPOSED COMPOSITE
MATERIALS AT FACADE



EXPOSED STRUCTURAL LINTEL WITH
POTENTIAL WATER DAMAGE

EVIDENCE OF MINOR AND
SUPERFICIAL REPAIR WORK BY
PREVIOUS OWNERSHIP

F



E



BRICK SILL WITH OVERSIZED RAKED
MORTAR JOINTS, VISIBLE WATER
DAMAGE

STEPPED VENEER BRICK, VISIBLE
WATER DAMAGE

CONDITION BETWEEN 124 AND 122
WEST 88TH STREET

D



C



CRACKING AT VENEER BRICK
FACADE, TYPICAL NEAR OPENINGS

THIN BRICK VENEER AT THRESHOLD,
WOOD DOOR AND VALENCE ARE NOT
ORIGINAL NOR PART OF THE IFILL &
JOHNSON RENOVATION

B



A



No. 124 WEST 88TH STREET



SUPERFICIAL REPAIR WORK BY
PRIOR OWNERS TO SLOW WATER
INFILTRATION, EXTENSIVE WOOD
ROT AT DIRECT GLAZING

WOOD CASEMENT WINDOW FRAME
AND SILL ARE ROTTING

GAPS AT WINDOW FRAMES AND
BRICK SILL WITH SIGNS OF WATER
PENETRATION

D



C



ALUMINUM AWNING WINDOW DOES
NOT OPERATE UNLESS FORCED,
VISIBLE SIGNS OF ALUMINUM
CORROSION

SUPERFICIAL REPAIR WORK BY
PRIOR OWNERS TO SLOW WATER
INFILTRATION

DIRECT GLAZED WINDOW, WATER
DAMAGE AT INTERIOR OF FRAME

WOOD SILL IS ROTTING

B



A



No. 124 WEST 88TH STREET



No. 110 EXISTING EMPTY LOT
NEW BUILDING PROPOSED
APPROVED BY DOB AND LPC DOCKET No. 160384

IMAGE COURTESY OF DXA STUDIO

No. 124



No. 110 EXISTING EMPTY LOT
NEW BUILDING PROPOSED
APPROVED BY DOB AND LPC DOCKET No. 160384

IMAGE COURTESY OF DXA STUDIO



211 EAST 48TH STREET
WILLIAM LESCAZE



101 E 63RD STREET
PAUL RUDOLPH



130 E 64TH STREET
EDWARD DURRELL STONE



144 EAST 70TH STREET
WILLIAM LESCAZE



242 EAST 52ND STREET
PHILIP JOHNSON



829 GREENWICH STREET
MATTHEW BAIRD ARCHITECTS



252 WEST 75TH STREET
WORKSHOP/APD



324 EAST 51ST STREET
GLUCK+



32 EAST 74TH STREET
WILLIAM LESCAZE



20 WEST 11TH STREET
HARDY HOLZMAN PFEIFFER



LEGEND

- REMOVED STOOP OR VISIBLY ADJUSTED ENTRY SEQUENCE FROM HISTORIC ARCHITECTURE
- LARGER DEVELOPMENTS IMPACTING STREET FABRIC
- UPPER WEST SIDE CENTRAL PARK WEST LANDMARK DISTRICT

