

38 WEST 76TH ST WINDOW & ENTRY STAIR REPLACEMENT

GENERAL NOTES	GENERAL NOTES CONTINUED	GENERAL NOTES CONTINUED
<p>THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.</p> <p>1. SCOPE OF WORK: ARCHITECTURAL AND PLUMBING MODIFICATIONS PER PLANS. NO CHANGE IN USE, EGRESS, OR OCCUPANCY</p> <p>2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF NEW YORK CITY BUILDING CODE, LANDMARKS PRESERVATION COMMISSION FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.</p> <p>3. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE GOVERNING NEW YORK CITY AGENCIES.</p> <p>4. MINOR DETAILS USUALLY SHOWN OR SPECIFIED, BUT REGARD FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.</p> <p>5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES AND BUILDING LAWS.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.</p> <p>7. THE CONTRACTOR SHALL LAYOUT HIS WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES, PLUMBING, ELECTRICAL ETC.</p> <p>8. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR ALL INSPECTIONS AND OBTAIN REQUIRED SIGN OFF.</p> <p>9. THE CONTRACTOR SHALL DO ALL CUTTING AND PATCHING REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.</p> <p>10. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED AND PLUGGED.</p> <p>11. THE ARCHITECT HAS NOT BEEN RETAINED TO PROVIDE SUPERVISION OR INSPECTION. ALL CONTROLLED INSPECTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>12. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND/OR BUILDING.</p>	<p>13. THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THROUGH THE FACILITIES INSPECTION DIVISION OF THE AUTHORITY.</p> <p>14. COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.</p> <p>15. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.</p> <p>16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.</p> <p>17. THE TERM "FINISH FLOOR" SHALL MEAN THE NORMAL FINISHED SURFACE OF THE FLOOR LEVEL. ALL ELEVATIONS GIVEN FOR EXISTING BUILDINGS ARE TO FINISHED FLOOR. THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS FOR EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.</p> <p>18. THE CONTRACTOR SHALL CORRECT ANY VARIATIONS IN FLOOR ELEVATIONS CREATED BY THE REMOVAL OF PARTITIONS AND/OR FOR THE INSTALLATION OF NEW DOOR OPENINGS.</p> <p>19. THE CONTRACTOR SHALL NOT CONSTRUCT, UNLESS OTHERWISE NOTED, INTERIOR PARTITION WALLS TO FULL HEIGHT UNTIL ALL PIPES, DUCTS, ETC. ARE IN PLACE.</p> <p>20. THE CONTRACTOR SHALL PATCH AND REPAIR ALL FLOORS, WALLS CEILINGS, ETC. DAMAGED OR EXPOSED DUE TO WORK OR REMOVALS AND FINISH TO MATCH ADJOINING SURFACES.</p> <p>21. FLOORS IN TOILETS WITH FLOOR DRAINS SHALL BE PITCHED TO THE FLOOR DRAIN.</p> <p>22. ALL PIPE SPACES FOR TOILETS SHALL HAVE A CEMENT FINISHED FLOOR 1" HIGHER THAN THE FINISHED FLOOR OF THE TOILET. THE PARTITION BETWEEN THE PIPE SPACE AND THE TOILET SHALL HAVE WEEP HOLES FROM THE PIPE SPACE TO THE TOILET.</p> <p>23. THE CONTRACTOR SHALL NOT INSTALL SUSPENDED OR FURRED CEILINGS IN AREAS WHERE PIPES ARE TO BE CONCEALED (HEATING,PLUMBING) UNTIL THE PIPING HAS BEEN TESTED.</p>	<p>24. ALL VERTICAL SHAFTS SHALL HAVE A MINIMUM FIRE RATING OF 2-HOURS UNLESS REQUIRED OTHERWISE BY CODES DUE TO OCCUPANCY ADJACENCIES.</p> <p>25. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF PLUMBING FIXTURES PRIOR TO THE CONSTRUCTION OF PARTITIONS BEHIND SUCH FIXTURES.</p> <p>26. THE DISTANCE FROM DOOR JAMBS TO ADJACENT PARTITIONS, BUILT-IN FURNITURE OR OTHER FURNISHINGS SHALL NOT BE LESS THAN 6" UNLESS OTHERWISE NOTED ON THE DRAWINGS.</p> <p>27. THE CONTRACTOR SHALL INSTALL FLOORING MATERIAL INTO ALL CLOSETS IN AREAS WHERE NEW FLOORING IS INDICATED.</p> <p>28. ALL ELECTRICAL INDICATIONS ON ARCHITECTURAL DRAWINGS ARE FOR LOCATION PURPOSES ONLY.</p> <p>29. THE CONTRACTOR SHALL EXTEND ALL WALL FINISHES A MINIMUM OF 6" ABOVE THE SUSPENDED OR FURRED CEILING.</p>
DRAWING LIST		
	ARCHITECTURAL	
1	T-000.00	TITLE SHEET - GENERAL NOTES
2	T-001.00	TITLE SHEET - GENERAL NOTES CNTD
3	T-002.00	TITLE SHEET - GENERAL NOTES CNTD
4	T-003.00	TITLE SHEET - GENERAL NOTES CNTD
5	T-004.00	TITLE SHEET - PHOTOS
6	T-005.00	TITLE SHEET - TAX PHOTOS
7	A-001.00	SITE SURVEY
8	A-002.00	PLOT PLAN
9	DM-100.00	BASEMENT DEMO PLAN
10	DM-101.00	FIRST FLOOR DEMO PLAN
11	A-100.00	BASEMENT FLOOR PLAN
12	A-101.00	FIRST FLOOR PLAN
13	A-200.00	EXISTING AND PROPOSED ELEVATIONS
14	A-300.00	SECTION NORTH-SOUTH
15	A-301.00	SECTION - STAIR
16	A-302.00	SECTION EAST-WEST
17	A-400.00	DETAIL WINDOW TYPE A
18	A-401.00	DETAIL WINDOW TYPE B - EXISTING
19	A-402.00	DETAIL WINDOW TYPE B - PROPOSED
20	A-403.00	DETAIL WINDOW TYPE C
21	A-404.00	DETAIL WINDOW TYPE D
22	A-405.00	DETAIL WINDOW TYPE E
23	A-406.00	DETAIL WINDOW TYPE F
24	EN-100.00	ENERGRY ANALYSIS
24	TOTAL NUMBER OF DRAWINGS	

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T 718.596.7984
ARCHITECT

AKARI HOUSE INC
38 WEST 76TH ST
NEW YORK, NY 10023
OWNER

PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:

38 WEST 76TH STREET

ADDRESS:

38 WEST 76TH STREET
NEW YORK, NY 10023

DRAWING TITLE:

TITLE SHEET AND GENERAL NOTES

SCALE: NTS

PROJECT NO. 1505

T-000.00

DRAWING NO.

GENERAL NOTES CONT.	BUILDING DEPARTMENT NOTES CONT.	2014 CODE SMOKE/CARBON MON. NOTES CONT.
<div><div>30. WHERE MANUFACTURES' NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.</div><div>31. FIRE STOPPING SHALL BE INSTALLED AT ALL PENETRATIONS OF FIRE RATED CONSTRUCTIONS AS PER SPECIFICATIONS.</div><div>32. THE CONTRACTOR SHALL COORDINATE AND INSTALL ALL CLEANOUT AND ACCESS DOORS IN PARTITIONS AND HUNG CEILINGS AS REQUIRED BY THE CONTRACT DOCUMENTS.</div><div>33. DIMENSIONS ON PLANS ARE INDICATED FROM SURFACE TO SURFACE BETWEEN WALLS, PARTITIONS AND OTHER ITEMS EXCLUSIVE OF FINISHES.</div><div>34. SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.</div><div>35. PROVIDE WATERPROOFING AT FLOORS IN ALL WET AREAS SUCH AS KITCHENS, TOILETS, LAUNDRY, SHOWER AREAS, ETC.</div></div>	<div><div>4. ALL EXISTING CONDITIONS INDICATED ARE AS FOUND IN THE FIELD SURVEY OF THE PREMISES BY THE ARCHITECT OF RECORD. EXISTING CONDITIONS NOT IN COMPLIANCE WITH RECORDS OF THE DEPARTMENT OF BUILDINGS ARE THE SOLE RESPONSIBILITY OF THE BUILDING OWNER OF RECORD.</div><div>5. THE BUILDING OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES.</div><div>6. REQUIREMENTS FOR CONTROLLED INSPECTION ARE TO BE COMPILED WITH AS REQUIRED BY THE BUILDING CODE FOR THIS PROJECT.</div><div>7. ALL MATERIALS, STRUCTURAL STABILITY, MECHANICAL & VENTILATION ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:<div><div>A. IS ACCEPTABLE BY THE BUILDING CODE, OR</div><div>B. HAS BEEN ACCEPTED FOR USE BY THE M.E.A. UNDER THE METHOD APPROVED BY THE COMMISSIONER OF BUILDINGS, OR</div><div>C. HAS BEEN APPROVED FOR USE BY "THE BOARD OF STANDARDS AND APPEALS"</div></div></div><div>8. ALL ELECTRICAL WORK TO BE INSTALLED BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH THE NYC ELECTRICAL CODE AND ALL APPLICABLE NYC CODES AND REGULATIONS.</div><div>9. ALL PLUMBING WORK TO BE INSTALLED BY A LICENSED PLUMBER IN ACCORDANCE WITH NYC PLUMBING CODE AND ALL APPLICABLE NYC CODES AND REGULATIONS.</div></div>	<div><div>5. 907.2.11.3. INTERCONNECTED. WHERE MORE THAN ONE SMOKE ALARM OR DETECTORS IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN GROUP R-2, R-3 OR WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT IN GROUP R-1, THE SMOKE ALARMS OR DETECTORS SHALL BE INTERCONNECTED IN SUCH MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARMS OR DETECTORS IN THE INDIVIDUAL UNIT. THE ALARM OR DETECTOR SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.</div><div>6. 907.2.11.4. ACCEPTANCE TESTING. WHEN THE INSTALLATION OF THE ALARM DEVICES IS COMPLETE, EACH DETECTOR AND INTERCONNECTING WIRING FOR MULTIPLE-STATION ALARM DEVICES SHALL BE TESTED IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.</div><div>7. 907.2.11.4. GROUP R-2 OCCUPANCY. SMOKE ALARMS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH ICC/ANSI A117.1.</div><div>8. ADDITIONAL NOTES:<div><div>8.1. SMOKE DETECTORS WITHIN DWELLING UNITS SHALL NOT RECEIVE ELECTRIC ENERGY FROM BRANCH CIRCUITS PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS.</div><div>8.2. A "CERTIFICATE OF SATISFACTORY INSTALLATION FOR SMOKE/CARBON MONOXIDE DETECTORS" MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT H.P.D., 10 DAYS AFTER INSTALLATION.</div><div>8.3. WRITTEN INFORMATION OF TESTING AND MAINTENANCE OF THE DEVICES SHALL BE PROVIDED TO THE DWELLING UNIT OWNER.</div></div></div></div>
<div><div>BUILDING DEPARTMENT NOTES</div><div><div>1. APPLICATION IS HEREBY MADE FOR THE APPROVAL OF ARCHITECTURAL PLANS AND SPECIFICATIONS TO PREMISES HEREIN DESCRIBED.</div><div>2. JENNIFER GILLETTE, REGISTERED ARCHITECT STATES:<div><div>2.1. THAT SHE HAS OFFICES AT 52 BERGEN STREET, BOROUGH OF BROOKLYN, STATE OF NEW YORK.</div><div>2.2. THAT SHE IS MAKING APPLICATION FOR THE APPROVAL OF ARCHITECTURAL PLANS AND SPECIFICATIONS HEREIN SUBMITTED.</div><div>2.3. THAT SHE IS A REGISTERED ARCHITECT, HOLDER OF THE NEW YORK STATE LICENSE NO. 034011.</div><div>2.4. THAT SHE HAS BEEN DULY AUTHORIZED BY THE BUILDING OWNER TO FILE PLANS AND SPECIFICATIONS FOR THE BUILDING PROJECT HERewith SUBMITTED FOR 38 WEST 76TH STREET, LOCATED IN THE BOROUGH OF MANHATTAN.</div><div>2.5. THAT SHE HAS PREPARED AND/OR SUPERVISED, UNDER HIS DIRECT SUPERVISION, THE PREPARATION OF THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR THIS APPLICATION.</div></div></div><div>3. THIS APPLICATION IS TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK: INCLUDING ALL RULES AND REGULATIONS. TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NYCECC.</div></div></div>	<div><div>2014 CODE SMOKE/CARBON MONOXIDE NOTES</div><div><div>1. 907.2.11. SINGLE - AND MULTIPLE STATIONS SMOKE ALARMS. LISTED SINGLE AND MULTIPLE - STATIONS SMOKE AALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72.</div><div>2. 907.2.11.1. WHERE REQUIRED, SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN THE LOCATION DESCRIBED IN SECTIONS 907.2.10.1.1.</div><div>3. 907.2.10.1.1. SMOKE ALARMS IN GROUPS R-2, R-3, I-1. SINGLE-OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-3, AND I-1, REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS WITHIN A DWELLING UNIT:<div><div>3.1. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING, PURPOSES WITHIN 15 FEET FROM THE DOOR TO SUCH ROOM.</div><div>3.2. IN EACH ROOM FOR SLEEPING PURPOSES.</div></div></div><div>4. 907.2.11.2. POWER SOURCE. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM A DEDICATED BRANCH CIRCUIT OR THE UN-SWITCHED POSITION OF A BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT PROTECTION.</div></div></div>	<div><div>ELECTRICAL WORK NOTES</div><div><div>1. ALL ELECTRICAL WORK MUST BE PERFORMED BY A LICENSED ELECTRICIAN.</div><div>2. DUPLEX OUTLETS IN KITCHEN AND BATHROOM ARE TO BE GFI TYPE.</div></div></div>

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52 BERGEN ST
BROOKLYN, NY 11201
T 718.596.7984
ARCHITECT

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NEW YORK, NY 10023
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PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:
38 WEST 76TH STREET

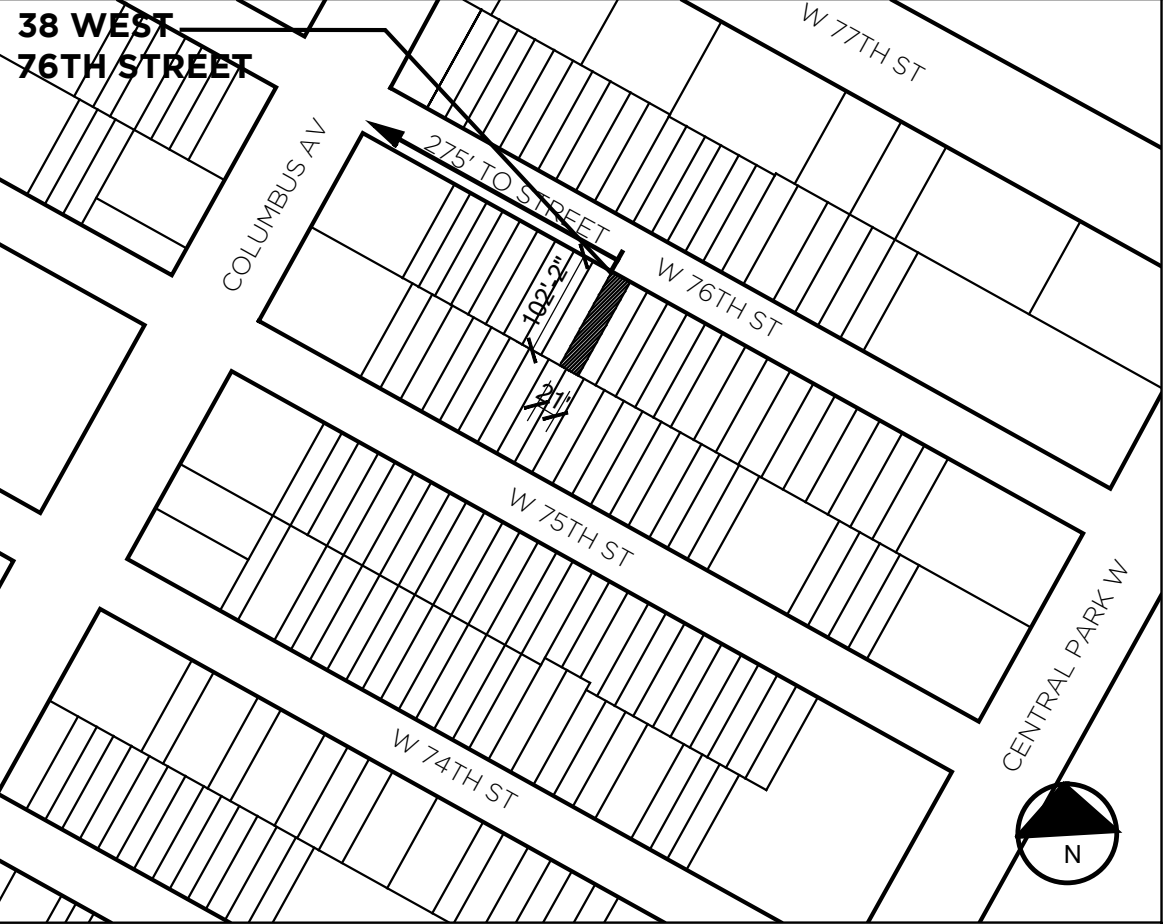
ADDRESS:
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NEW YORK, NY 10023

DRAWING TITLE:
TITLE PAGE
GENERAL NOTES CNTD

SCALE: NTS
PROJECT NO. 1505
T-001.00
DRAWING NO.

DEMOLITION NOTES		DEMOLITION NOTES CONTINUED	TENANT PROTECTION PLAN - 2014 CODE: PER BC 28.104.8.4.
<div>1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.</div> <div>2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.</div> <div>3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. CONTRACTOR SHALL LEGALLY DISPOSE OF MATERIALS OFF-SITE. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.</div> <div>4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED OR ALTERED.</div> <div>5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT OFF TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. MAINTAIN EXISTING UTILITIES TO REMAIN AND PROTECT AGAINST DAMAGE DURING DEMOLITION. DO NOT INTERRUPT EXISTING BUILDING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY BUILDING MANAGEMENT.</div> <div>6. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY THE DEPARTMENT OF BUILDINGS' RULES AND REGULATIONS.</div> <div>7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.</div> <div>8. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.</div> <div>9. THE CONTRACTOR SHALL NOT USE CUTTING TORCHES FOR REMOVALS.</div> <div>10. IF UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS CONFLICT WITH DEMOLITION, REPORT THE NATURE AND EXTENT OF THE CONFLICT TO THE ARCHITECT IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF INSTRUCTIONS, REARRANGE DEMOLITION SCHEDULE TO MAINTAIN PROGRESS.</div> <div>11. IF ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER AND BUILDING MANAGEMENT. CEASE DEMOLITION WORK IN THE AFFECTED AREA UNTIL BUILDING MANAGEMENT ISSUES INSTRUCTION TO RESUME WORK.</div>		<div>12. PROTECT FROM DAMAGE EXISTING WORK THAT IS TO REMAIN IN PLACE.</div> <div>13. MAINTAIN EXISTING UTILITIES TO REMAIN, AND PROTECT AGAINST DAMAGE DURING DEMOLITION. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER OR BUILDING MANAGEMENT.</div> <div>14. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF REQUIREMENTS. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.</div> <div>15. CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO PERFORM THE WORK DESCRIBED HEREIN.</div> <div>16. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCING WORK.</div> <div>17. MINOR WORK NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE INCLUDED AS IF IT WAS INDICATED ON THE DRAWINGS.</div> <div>18. AVOID EXCESSIVE NOISE AT ALL TIMES.</div> <div>19. CONTRACTOR SHALL HAVE AN ADEQUATE NUMBER OF FIRE EXTINGUISHING DEVICES AT THE SITE AT ALL TIMES.</div>	<div>1. THE BUILDING CONTAINS 169 DWELLING UNITS AND THE 6TH FLOOR CONTAINS 18 DWELLING UNITS. ALL UNITS EXCEPT APARTMENTS 616 WILL BE OCCUPIED DURING CONSTRUCTION.</div> <div>2. THE CONSTRUCTION WORK IS CONFINED TO APARTMENT 616 ON THE 6TH FLOOR</div> <div>3. THERE WILL BE NOBODY OCCUPYING THE PROPOSED CONSTRUCTION AREA TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.</div> <div>4. EGRESS: REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME. EGRESS AT EXISTING CORRIDORS, FIRE STAIRS, ETC. MUST BE MAINTAINED AT ALL TIMES.</div> <div>5. ALL EXISTING MEANS OF EGRESS MAY NOT BE USED TO STORE MATERIAL, EQUIPMENT, AND DEBRIS. TRANSPORTATION OF ALL MATERIALS, EQUIPMENT, AND DEBRIS MUST BE COORDINATED WITH THE BUILDING SUPERINTENDENT.</div> <div>6. EXISTING FIRE SAFETY FOR ALL OCCUPIED DWELLING UNITS SHALL BE MAINTAINED AND NOT DIMINISHED. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS IS TO BE CONTROLLED BY THE BUILDING OWNER AND/OR GENERAL CONTRACTOR.</div> <div>7. THE GENERAL CONTRACTOR SHALL ENSURE THAT DUST IS CONTROLLED, AND THAT DISPOSAL OF CONSTRUCTION DEBRIS IS PERFORMED IN SUCH A MANNER AS TO NOT INTERFERE WITH OCCUPIED DWELLING UNITS. DEBRIS, DIRT, AND DUST ARE TO BE KEPT TO A MINIMUM AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA, AND BE CLEANED UP AND CLEARED FROM THE BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.</div> <div>8. THE GENERAL CONTRACTOR SHALL ENSURE THAT NOISE IS LIMITED TO ACCEPTABLE LEVELS IN ACCORDANCE WITH THE NEW YORK CITY NOISE CONTROL CODE.</div> <div>9. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS 9AM TO 5PM, MONDAYS THRU FRIDAYS, EXCEPT LEGAL HOLIDAYS, UNLESS AN AFTER-HOURS WORK PW.</div>
		PROGRESS INSPECTIONS	
		<div>1. ENERGY CODE COMPLIANCE INSPECTIONS BC 110.3.5</div> <div>2. FINAL 28-116.2.4.2, BC 110.5, DIRECTIVE 14 OF 1975, AND 1 RCNY 101-10</div>	
		SPECIAL INSPECTIONS	
		<div>1. STRUCTURAL STEEL-WELDING (BC1704.3.1)</div> <div>2. STRUCTURAL STEEL - DETAILS (BC 1704.3.2)</div> <div>3. STRUCTURAL STEEL - HIGH STRENGTH BOLTING (BC 1704.3.3)</div> <div>4. POST-INSTALLED FASTENERS</div>	
		ENERGY CODE PROGRESS INSPECTION	
		<div>1. FENESTRATION U-FACTOR AND PRODUCT RATING (IA3)</div> <div>2. FENESTRATION AIR LEAKAGE (IA4)</div> <div>3. AIR SEALING AND INSULATION - VISUAL (IA6)</div>	
		<div><div>bergen streetstudio</div><div>52 BERGEN STREET · BROOKLYN, NY 11201 · T718.596.7984</div><div>AFFIX BIS JOB NUMBER LABEL HERE</div></div> <div><div>BERGEN STREET STUDIO 52 BERGEN ST BROOKLYN, NY 11201 T 718.596.7984 ARCHITECT</div><div>AKARI HOUSE INC 38 WEST 76TH ST NEW YORK, NY 10023 OWNER</div></div> <div><div>PROGRESS SET DESCRIPTION</div><div>05.27.15 DATE</div></div> <div>PROJECT: 38 WEST 76TH STREET</div> <div>ADDRESS: 38 WEST 76TH STREET NEW YORK, NY 10023</div> <div>SEAL & SIGNATURE:</div> <div>DRAWING TITLE: GENERAL NOTES CONTINUED</div> <div>SCALE: NTS PROJECT NO. 1505 T-002.00 DRAWING NO.</div>	

**38 WEST
76TH STREET**



PLOT PLAN INFORMATION:
HEIGHT: 48FT
STORIES: 4
CONSTRUCTION CLASS: 3 NON-FIREPROOF
OCCUPANCY GROUP: R8B (2008 CODE)
BLOCK: 1128
LOT: 53
ZONING MAP: 8C
ZONING DISTRICTS EC2, R8B

ADDRESS:
38 WEST 76TH STREET
NEW YORK, NY 10023

NOTE:
NO NEW FLOOR AREA PROPOSED UNDER THIS APPLICATION

NO CHANGE IN USE, EGRESS OR OCCUPANCY.

PREMISES NOT LOCATED IN AN SFHA

[illegible]

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SEAL & SIGNATURE:

DRAWING TITLE:

GENERAL NOTES CONTINUED

SCALE: **AS NOTED**
PROJECT NO. **1505**

T-003.00

DRAWING NO.

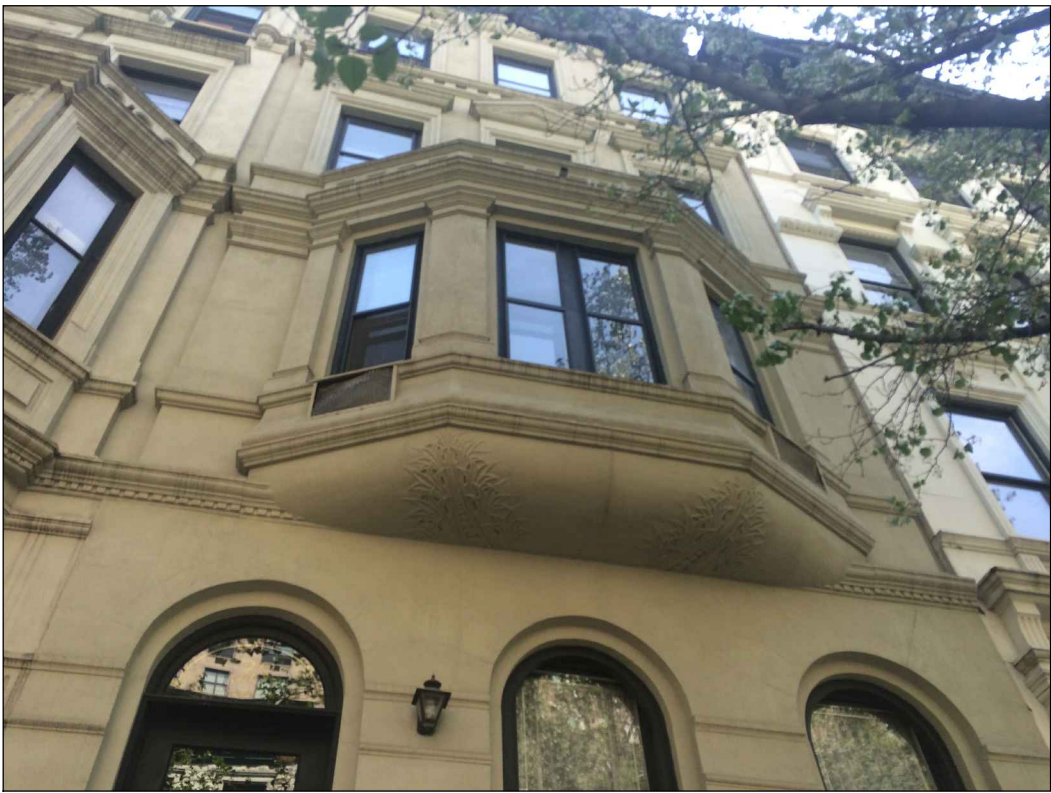
SHEET 4 OF 18



FRONT ELEVATION - EXISTING

SCALE: NTS

11



PHOTOS OF EXISTING CONDITIONS

SCALE: NTS

10

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PROJECT:
38 WEST
76TH STREET

ADDRESS:
38 WEST 76TH STREET
NEW YORK, NY 10023

SEAL & SIGNATURE:

DRAWING TITLE:
EXISTING CONDITIONS
PHOTOGRAPHS

SCALE: NTS
PROJECT NO. 1505

T-004.00
DRAWING NO.



TAX PHOTO-1940

SCALE: NTS

11



TAX PHOTO-1980

SCALE: NTS

10

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52 BERGEN ST
BROOKLYN, NY
11201
T 718.596.7984
ARCHITECT

AKARI HOUSE INC
38 WEST 76TH ST
NEW YORK, NY
10023

OWNER

PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:

38 WEST
76TH STREET

ADDRESS:

38 WEST 76TH STREET
NEW YORK, NY 10023

SEAL & SIGNATURE:

DRAWING TITLE:

TITLE SHEET
TAX PHOTOS

SCALE: NTS

PROJECT NO. 1505

T-005.00

DRAWING NO.

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AKARI HOUSE INC
38 WEST 76TH ST
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OWNER

BERGEN STREET
STUDIO
52 BERGEN ST
BROOKLYN, NY
11201
T 718.596.7984
ARCHITECT

05.27.15
DATE

PROGRESS SET
DESCRIPTION

PROJECT:

38TH WEST
76TH ST

ADDRESS:

38 WEST 76TH STREET
NEW YORK, NY 10023

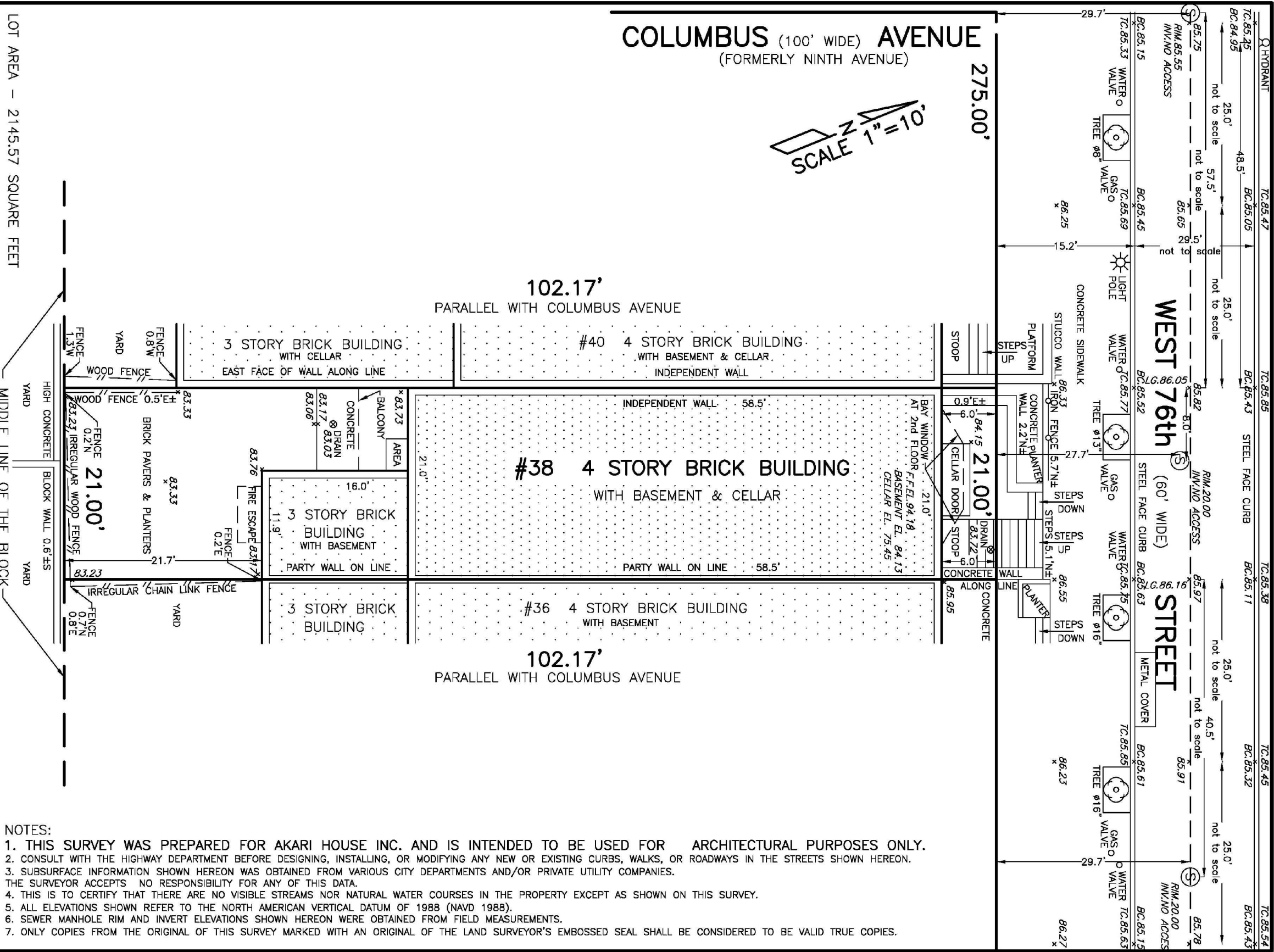
SEAL & SIGNATURE:

DRAWING TITLE:

SITE SURVEY

SCALE: AS NOTED
PROJECT NO. 1505

A-001.00
DRAWING NO.



NOTES:

1. THIS SURVEY WAS PREPARED FOR AKARI HOUSE INC. AND IS INTENDED TO BE USED FOR ARCHITECTURAL PURPOSES ONLY.
2. CONSULT WITH THE HIGHWAY DEPARTMENT BEFORE DESIGNING, INSTALLING, OR MODIFYING ANY NEW OR EXISTING CURBS, WALKS, OR ROADWAYS IN THE STREETS SHOWN HEREON.
3. SUBSURFACE INFORMATION SHOWN HEREON WAS OBTAINED FROM VARIOUS CITY DEPARTMENTS AND/OR PRIVATE UTILITY COMPANIES. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR ANY OF THIS DATA.
4. THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS NOR NATURAL WATER COURSES IN THE PROPERTY EXCEPT AS SHOWN ON THIS SURVEY.
5. ALL ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).
6. SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON WERE OBTAINED FROM FIELD MEASUREMENTS.
7. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

LOT AREA - 2145.57 SQUARE FEET

CERTIFIED TO:

NEW YORK CITY DEPARTMENT OF BUILDINGS

DATE SURVEYED: JUNE 4, 2015

GERALD T. O'BUCKLEY

PROFESSIONAL LAND SURVEYORS AND ENGINEERS
43-14 162nd STREET, FLUSHING, N.Y. 11358
TELEPHONE (718) 321-1231 FAX (718) 321-8076
MANAGER: GEORGE STAROBINSKIY
TELEPHONE (646) 441-7355 FAX (212) 624-0240

TAX MAP SECTION BLOCK 1128 LOT 53
FILED MAP SECTION BLOCK LOT

BOROUGH OF MANHATTAN
COUNTY OF NEW YORK
STATE OF NEW YORK

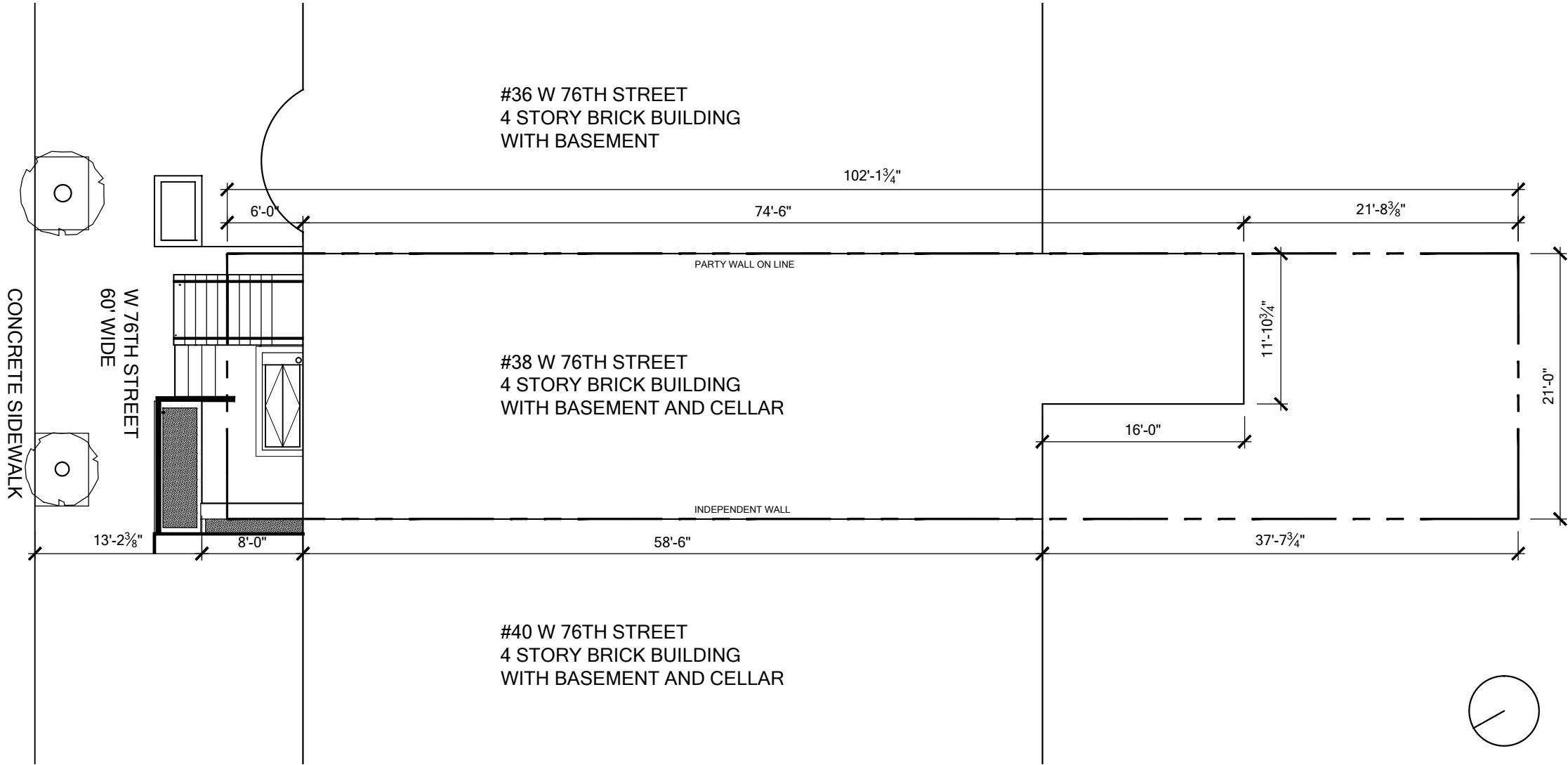
GEORGE

GERALD T. O'BUCKLEY, P.L.S.
NEW YORK LICENSE 039834

SURVEY - EXISTING

NTS

10



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PROGRESS SET	05.27.15
DESCRIPTION	DATE

PROJECT:
**38 WEST
76TH STREET**

ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

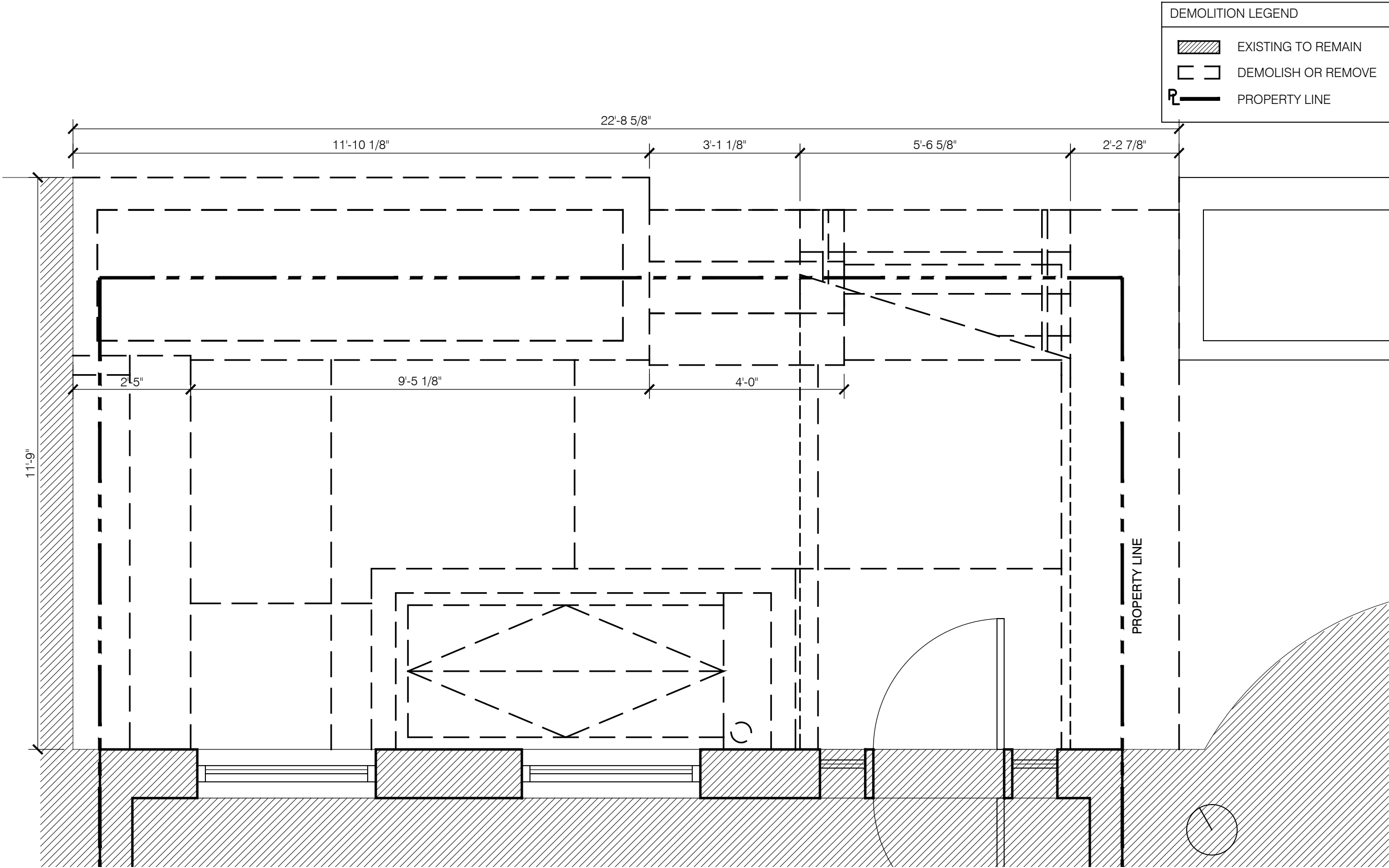
PLOT PLAN
SCALE: 3/32" = 1'-0"

10

DRAWING TITLE:
PLOT PLAN

SCALE: **3/32" = 1'**
PROJECT NO. **1505**

A-002.00
DRAWING NO.



DEMOLITION LEGEND

EXISTING TO REMAIN

DEMOLISH OR REMOVE

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38 WEST 76TH ST
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OWNER

PROGRESS SET

05.27.15

DESCRIPTION

DATE

PROJECT:

38 WEST 76TH STREET

ADDRESS:

38 WEST 76TH STREET
NEW YORK, NY 10023

SEAL & SIGNATURE:

DRAWING TITLE:

DEMOLITION PLANS
BASEMENT FLOOR

SCALE: 1/2"=1'

PROJECT NO. 1505

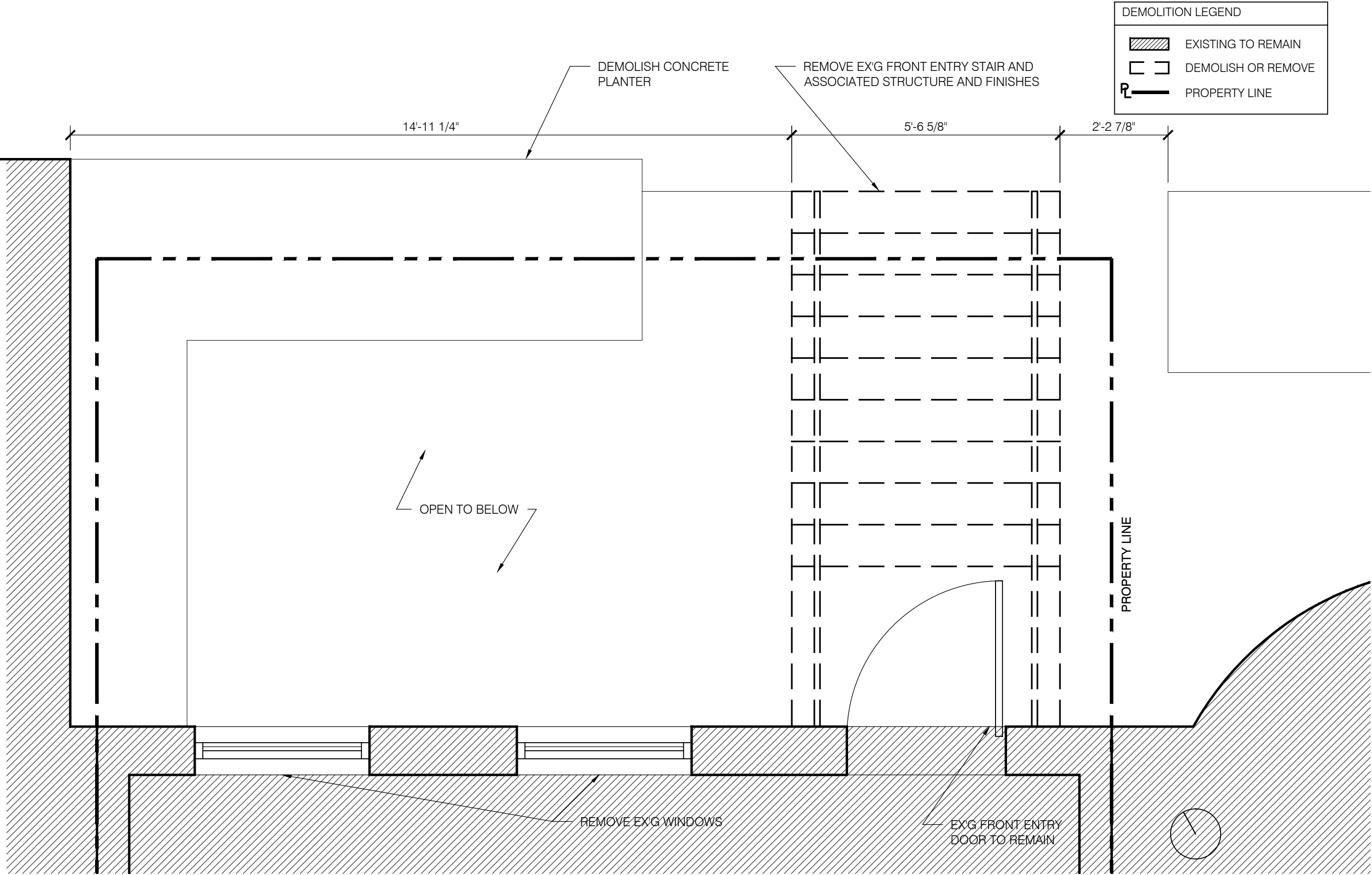
DM-100.00

DRAWING NO.

DEMOLITION BASEMENT PLAN

SCALE: 1/2" = 1'-0"

10



DEMOLITION FIRST FLOOR

SCALE: 1/2" = 1'-0"

10

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OWNER

PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:
38 WEST
76TH STREET

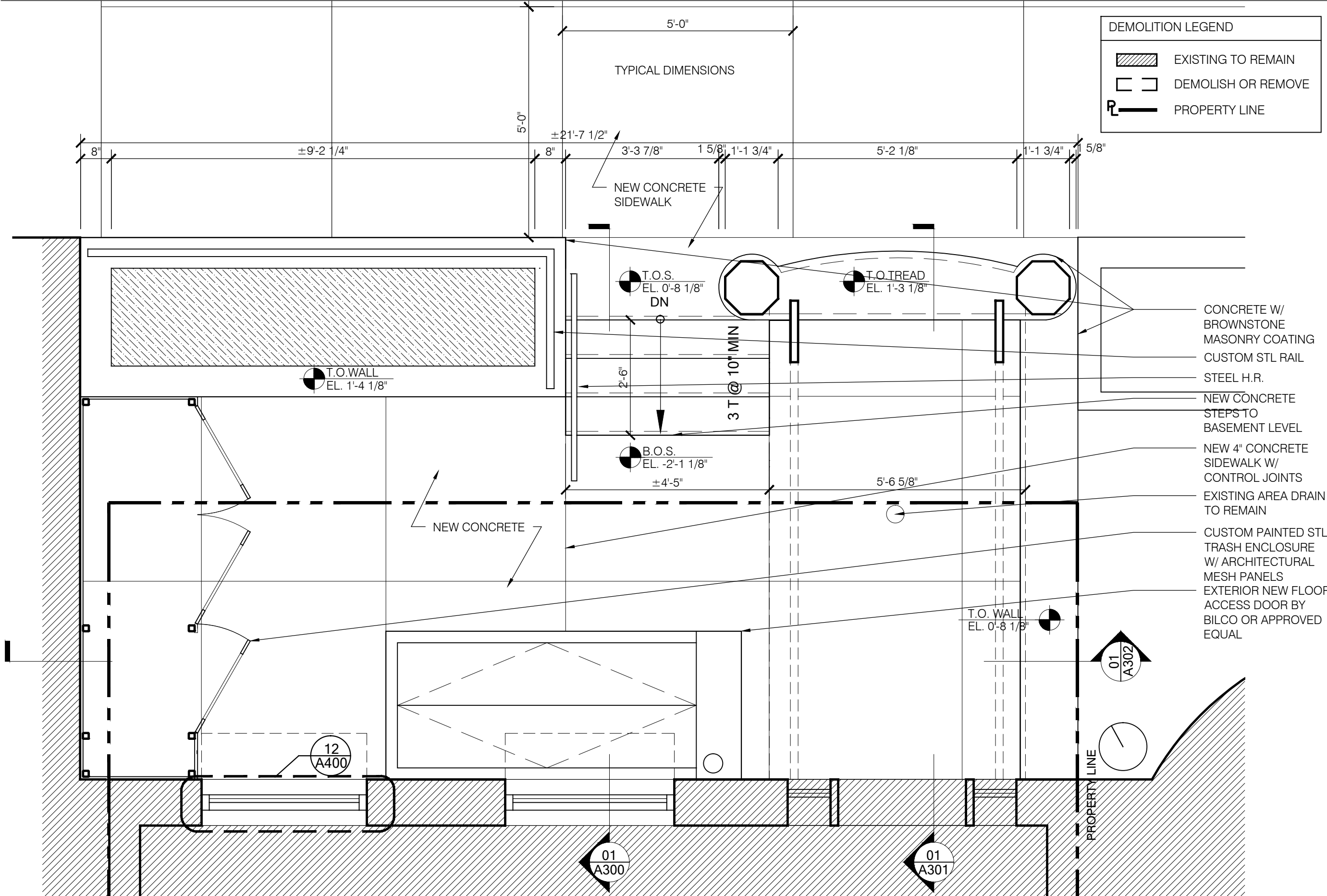
ADDRESS:
38 WEST 76TH STREET
NEW YORK, NY 10023

SEAL & SIGNATURE:

DRAWING TITLE:
DEMOLITION PLANS
FIRST FLOOR

SCALE: 1/2" = 1'
PROJECT NO. 1505

DM-101.00
DRAWING NO.



DEMOLITION LEGEND

EXISTING TO REMAIN

DEMOLISH OR REMOVE

PROPERTY LINE

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PROGRESS SET	05.27.15
DESCRIPTION	DATE

PROJECT:

38 WEST
76TH STREET

ADDRESS:

38 WEST 76TH STREET
NEW YORK, NY 10023

SEAL & SIGNATURE:

DRAWING TITLE:

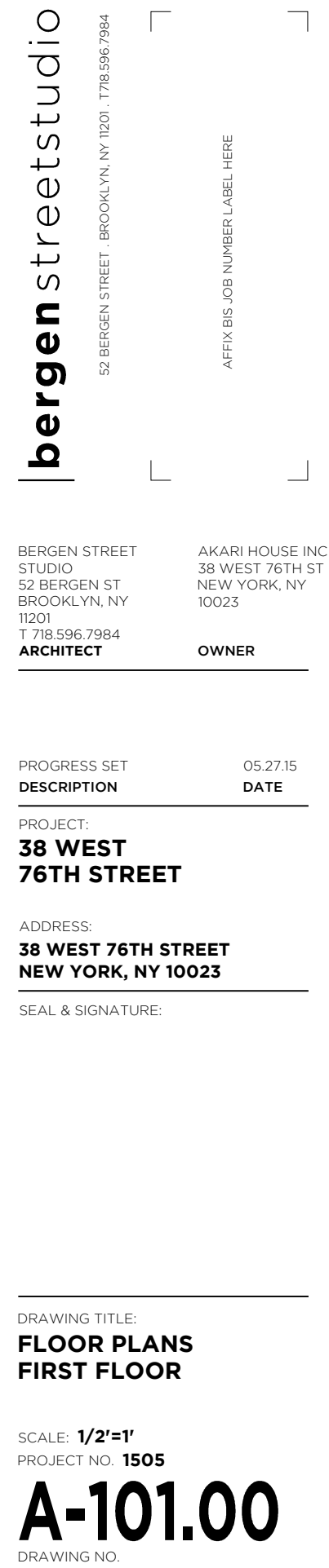
FLOOR PLANS
BASEMENT FLOOR

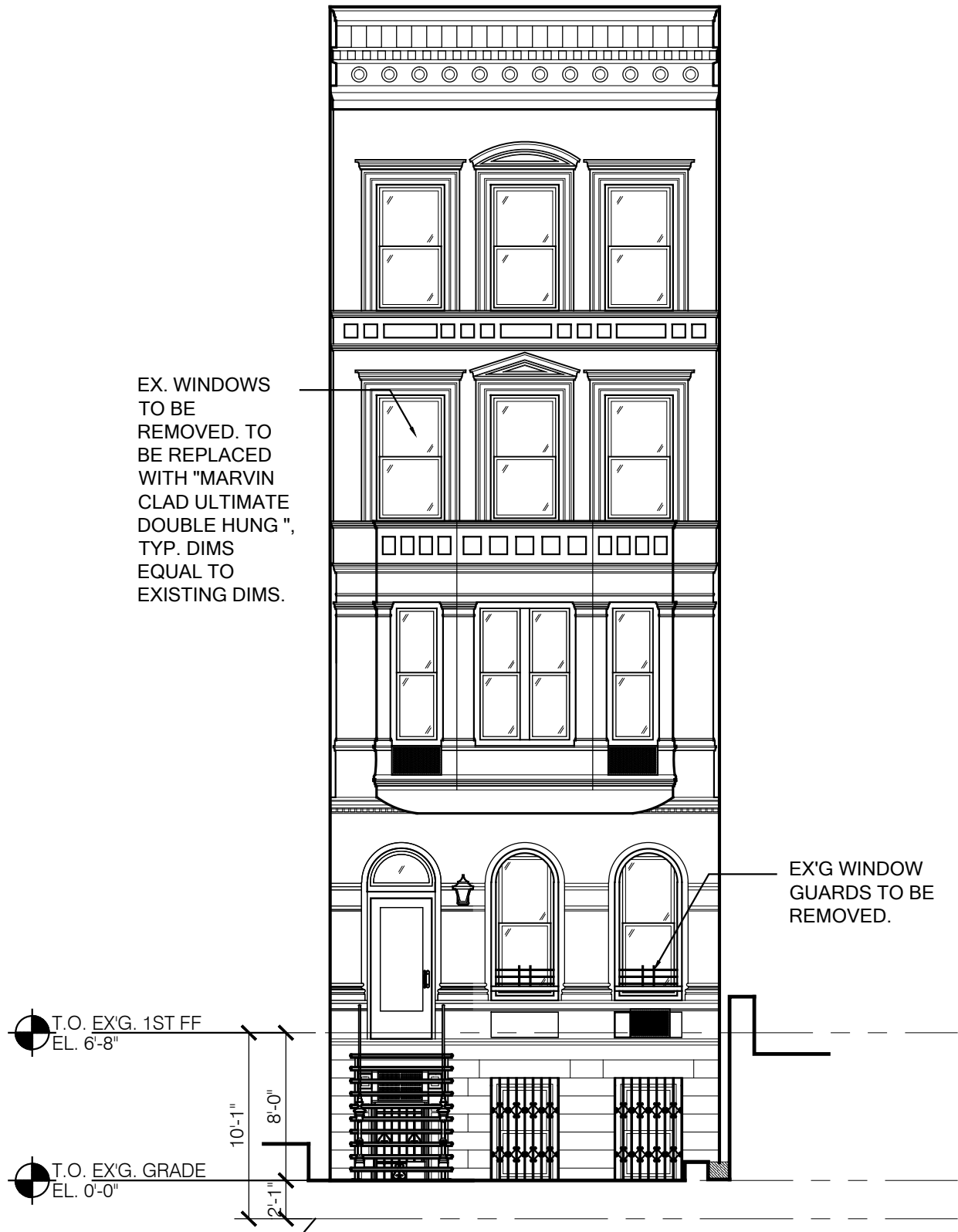
SCALE: 1/2" = 1'

PROJECT NO. 1505

A-100.00

DRAWING NO.

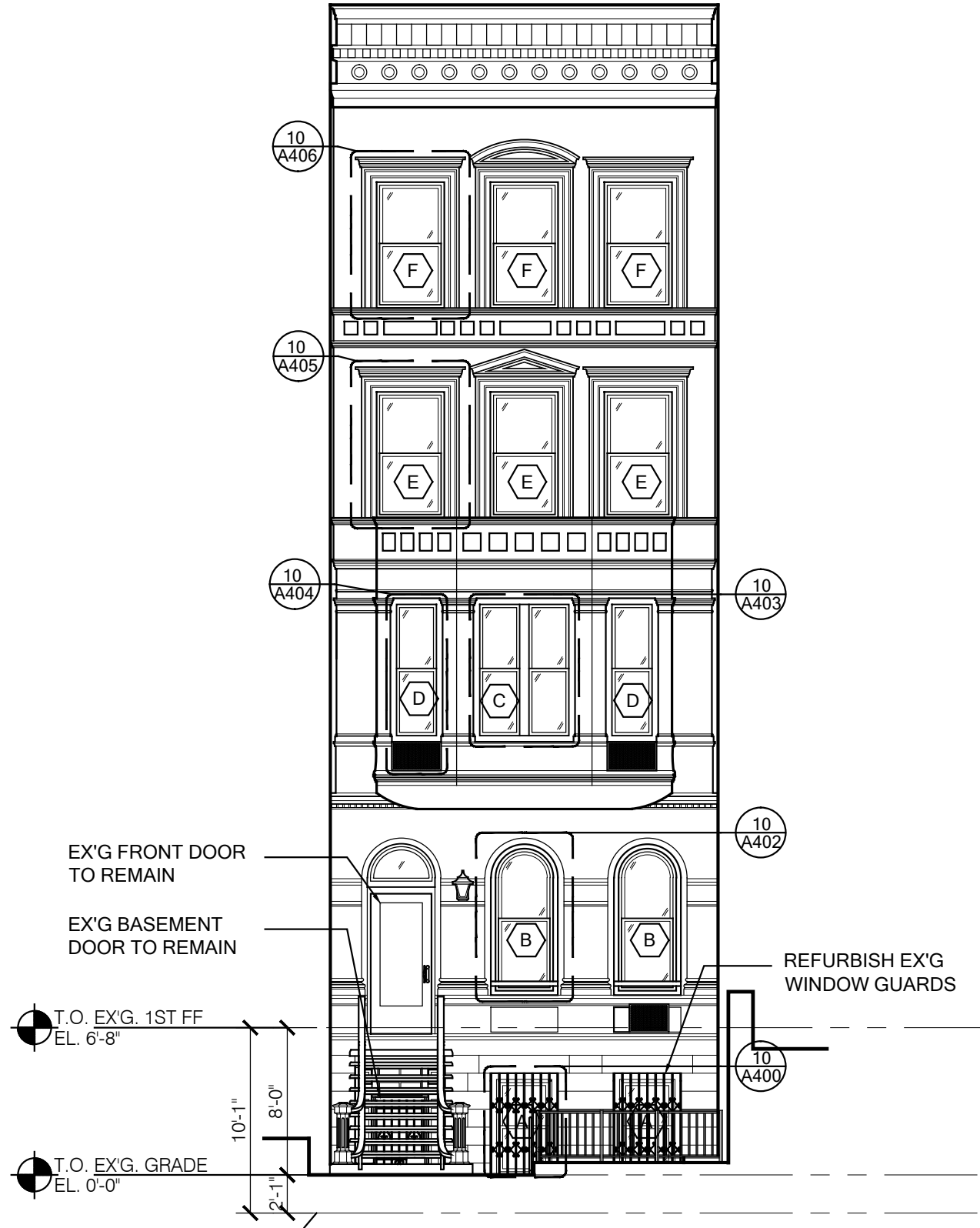




NORTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

11



NORTH ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"

10

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OWNER

PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:

38 WEST
76TH STREET

ADDRESS:

38 WEST 76TH STREET
NEW YORK, NY 10023

SEAL & SIGNATURE:

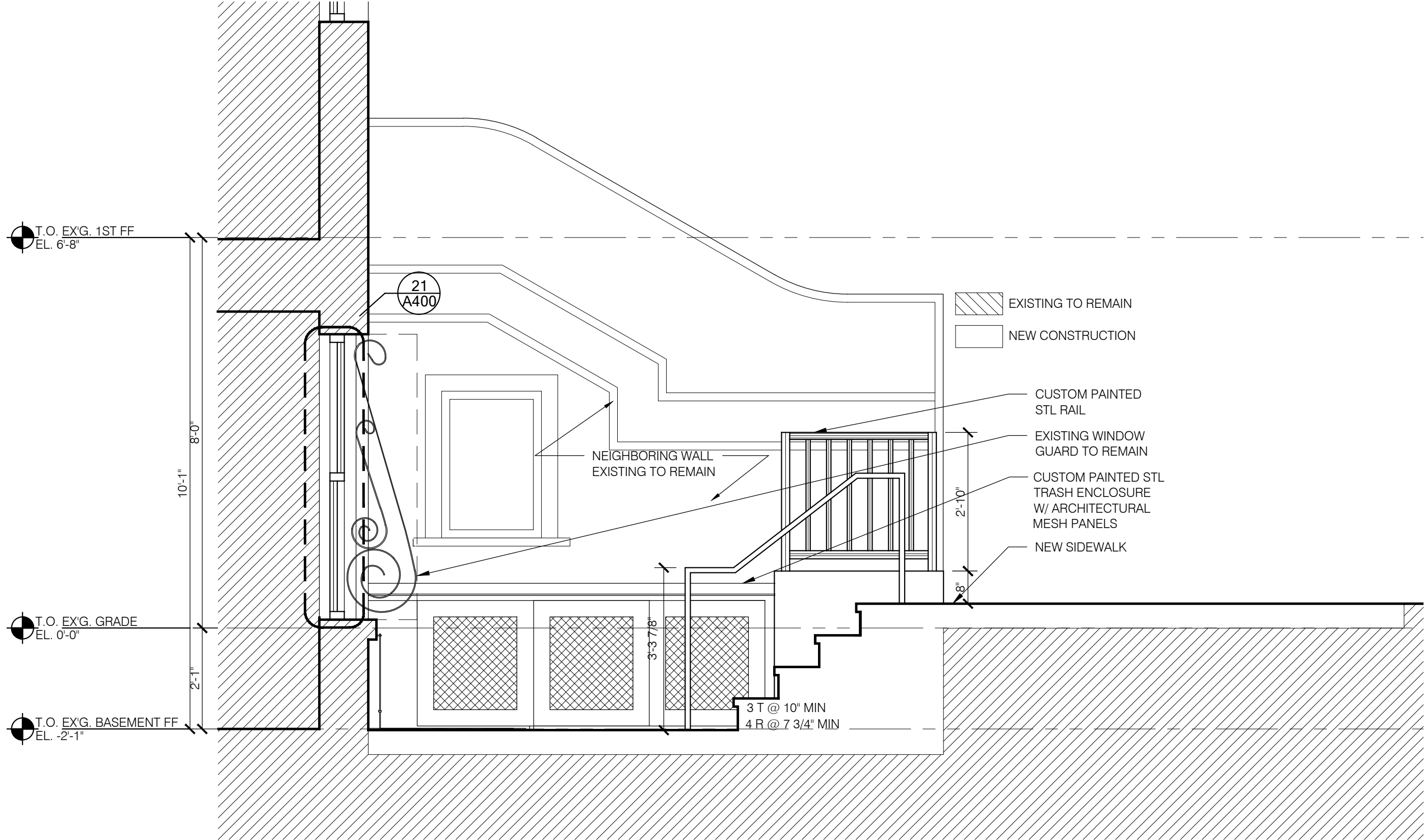
DRAWING TITLE:

NORTH ELEVATION
EXISTING, PROPOSED

SCALE: 1/8" = 1'

PROJECT NO. 1505

A-200.00
DRAWING NO.



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38 WEST 76TH ST
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10023
OWNER

PROGRESS SET DESCRIPTION	05.27.15 DATE
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PROJECT:
**38 WEST
76TH STREET**

ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

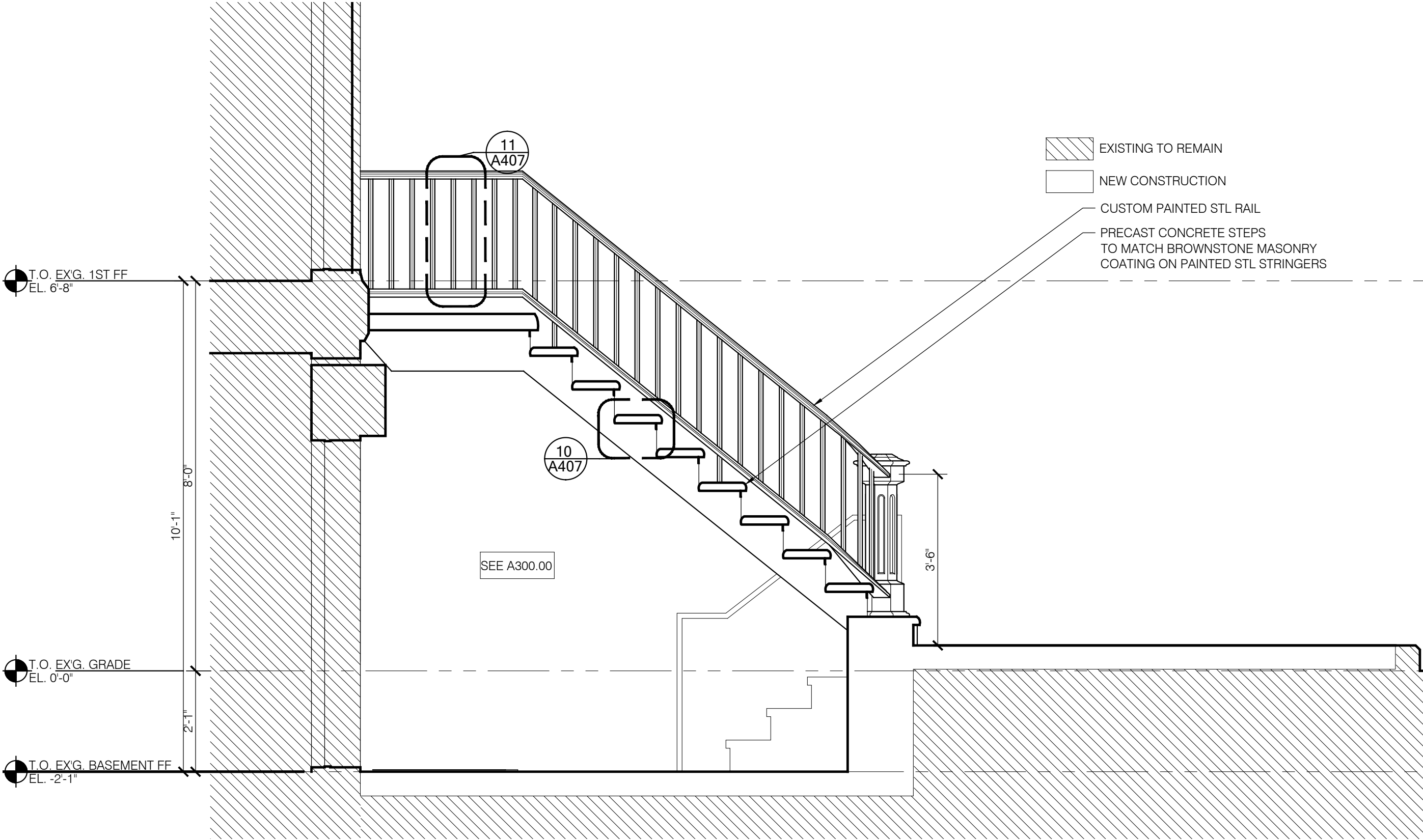
DRAWING TITLE:
**SECTIONS
NORTH-SOUTH**

SCALE: 1/2" = 1'
PROJECT NO. 1505

10

A-300.00
DRAWING NO.

NORTH - SOUTH
SCALE: 1/2" = 1'-0"



- EXISTING TO REMAIN
- NEW CONSTRUCTION
- CUSTOM PAINTED STL RAIL
- PRECAST CONCRETE STEPS TO MATCH BROWNSTONE MASONRY COATING ON PAINTED STL STRINGERS

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PROGRESS SET	05.27.15
DESCRIPTION	DATE

PROJECT:
38 WEST 76TH STREET

ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

DRAWING TITLE:
SECTION STOOP

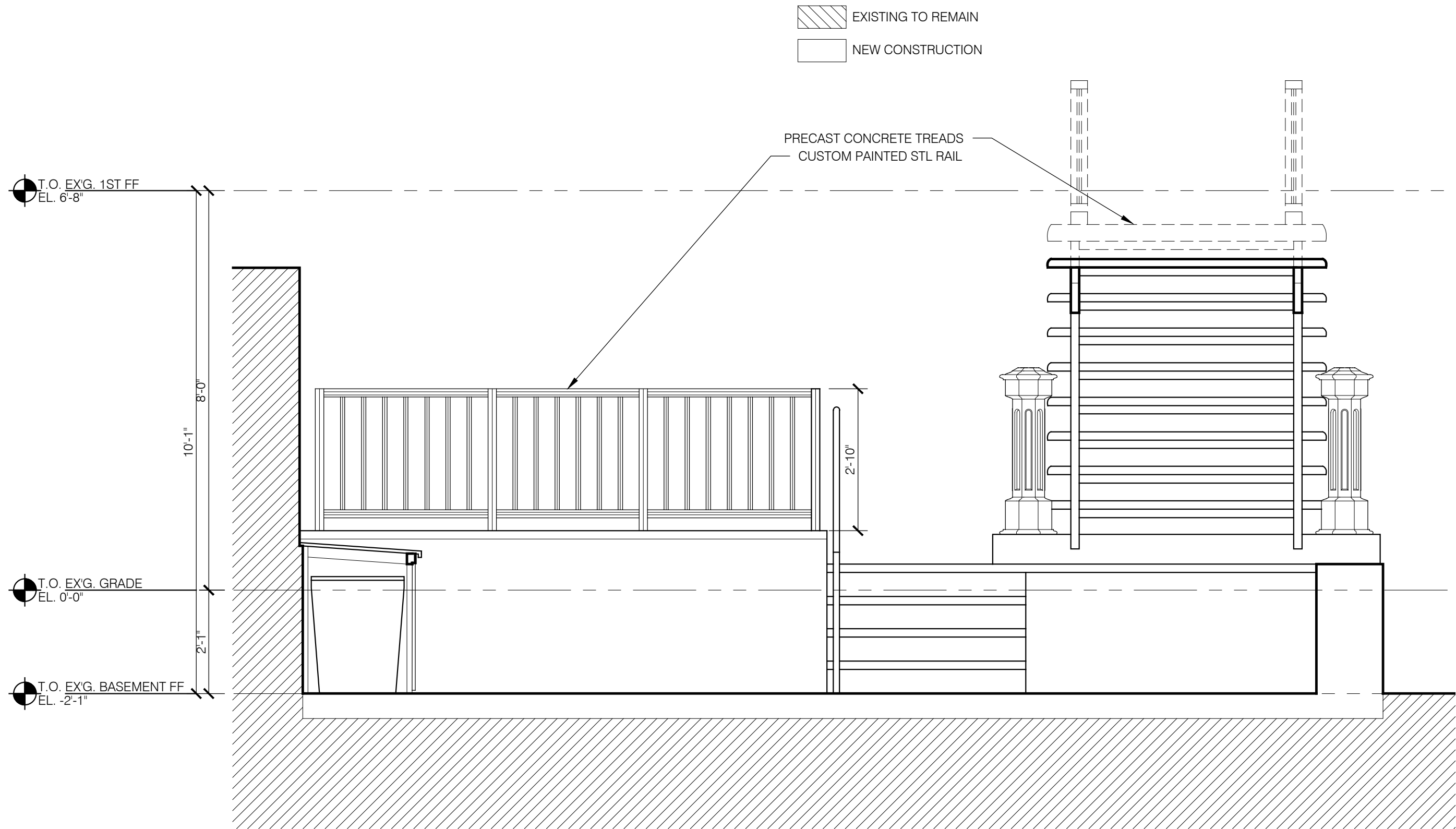
SCALE: 1/2" = 1'
PROJECT NO. 1505

A-301.00
DRAWING NO.

SECTION - FRONT ENTRY STAIR

SCALE: 1/2" = 1'-0"

10



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PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:
**38 WEST
76TH STREET**

ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

DRAWING TITLE:
**SECTION
EAST - WEST**

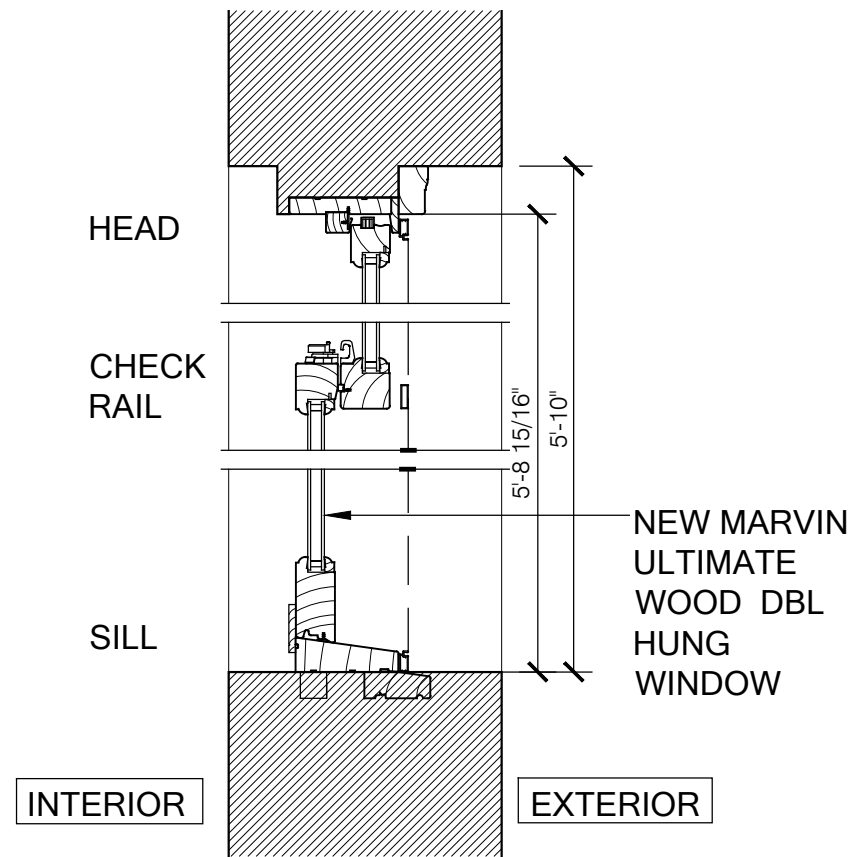
SCALE: **1/2' = 1'**
PROJECT NO. **1505**

A-302.00
DRAWING NO.

EAST - WEST SECTION

SCALE: 1/2" = 1'-0"

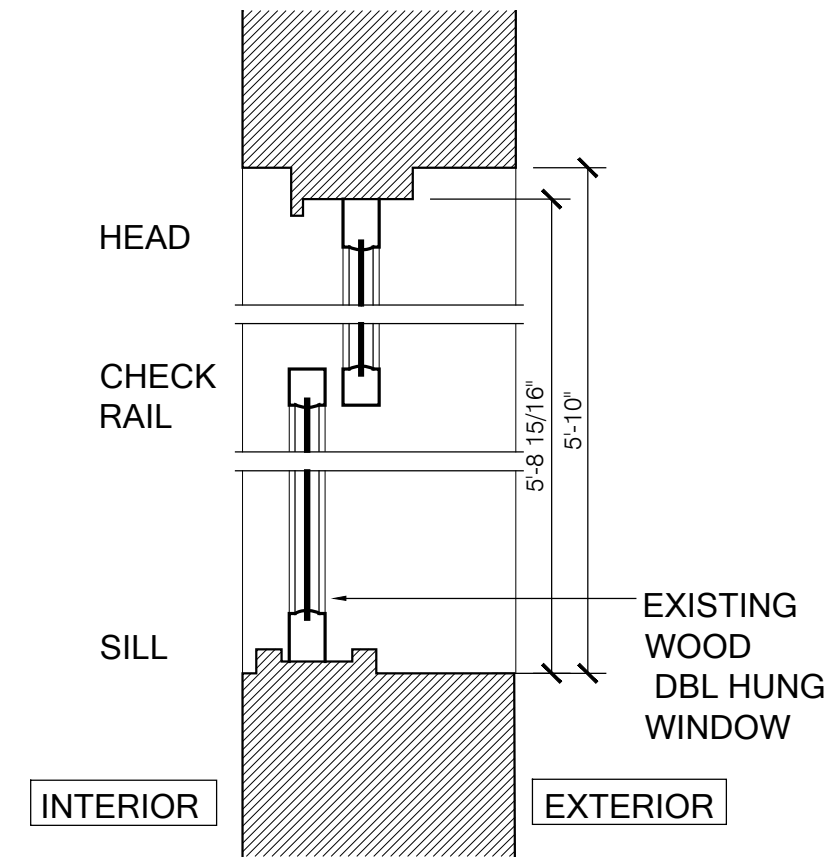
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TYPE A SECTION - PROPOSED

SCALE: 1 1/2" = 1'-0"

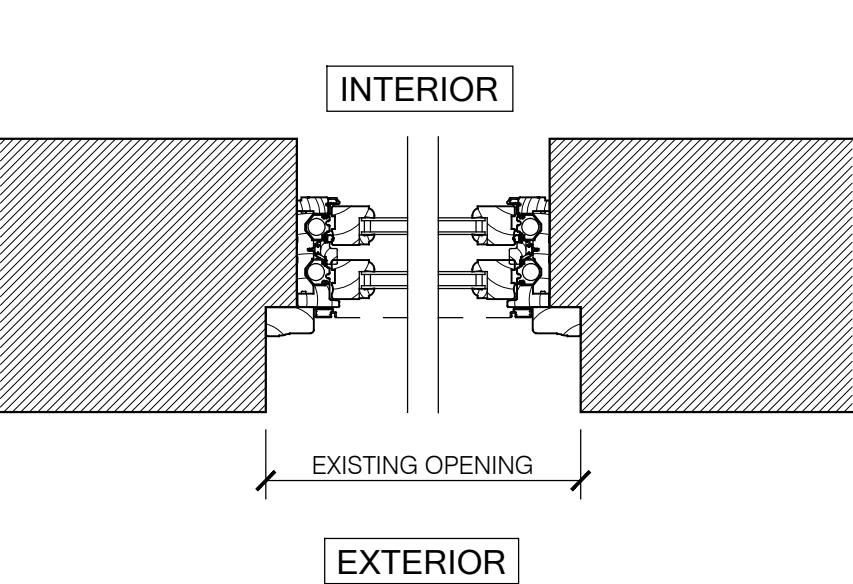
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TYPE A SECTION - EXISTING

SCALE: 1 1/2" = 1'-0"

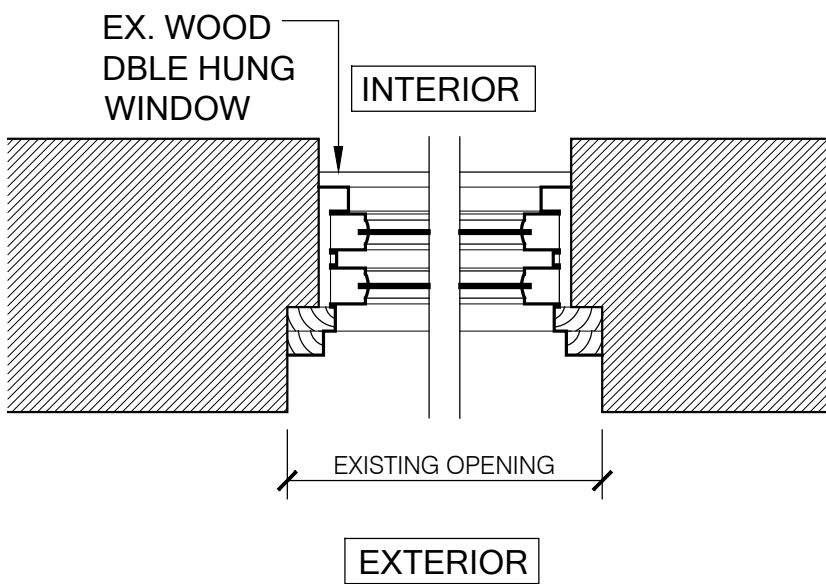
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TYPE A PLAN - PROPOSED

SCALE: 1 1/2" = 1'-0"

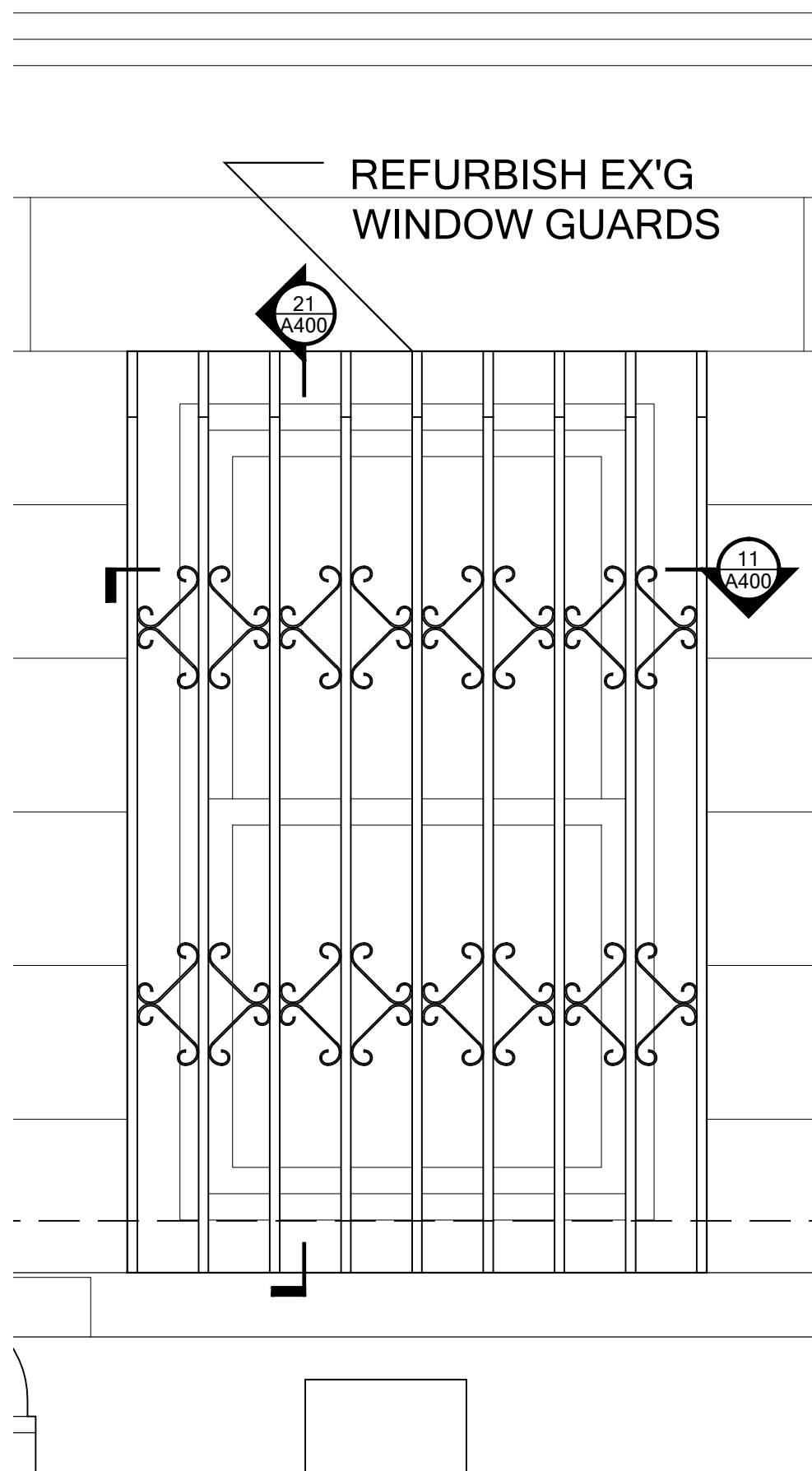
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TYPE A PLAN - EXISTING

SCALE: 1 1/2" = 1'-0"

11



TYPE A ELEVATION - EXISTING

SCALE: 1" = 1'-0"

10

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ARCHITECT

AKARI HOUSE INC
38 WEST 76TH ST
NEW YORK, NY
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PROGRESS SET
DESCRIPTION

05.27.15
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PROJECT:

38 WEST
76TH STREET

ADDRESS:

38 WEST 76TH STREET
NEW YORK, NY 10023

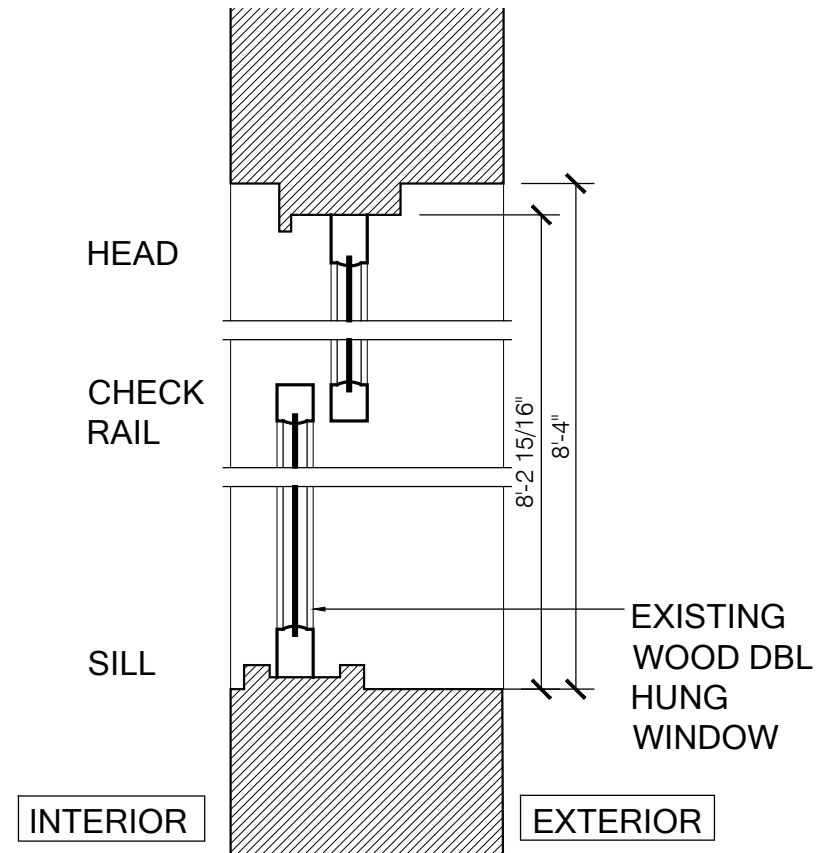
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DRAWING TITLE:

WINDOW DETAILS
TYPE A

SCALE: AS NOTED
PROJECT NO. 1505

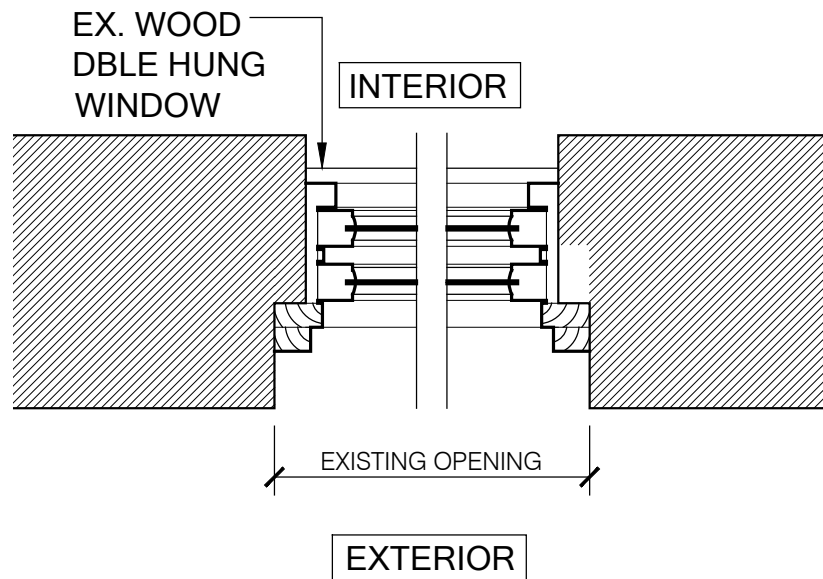
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DRAWING NO.



TYPE B SECTION - EXISTING

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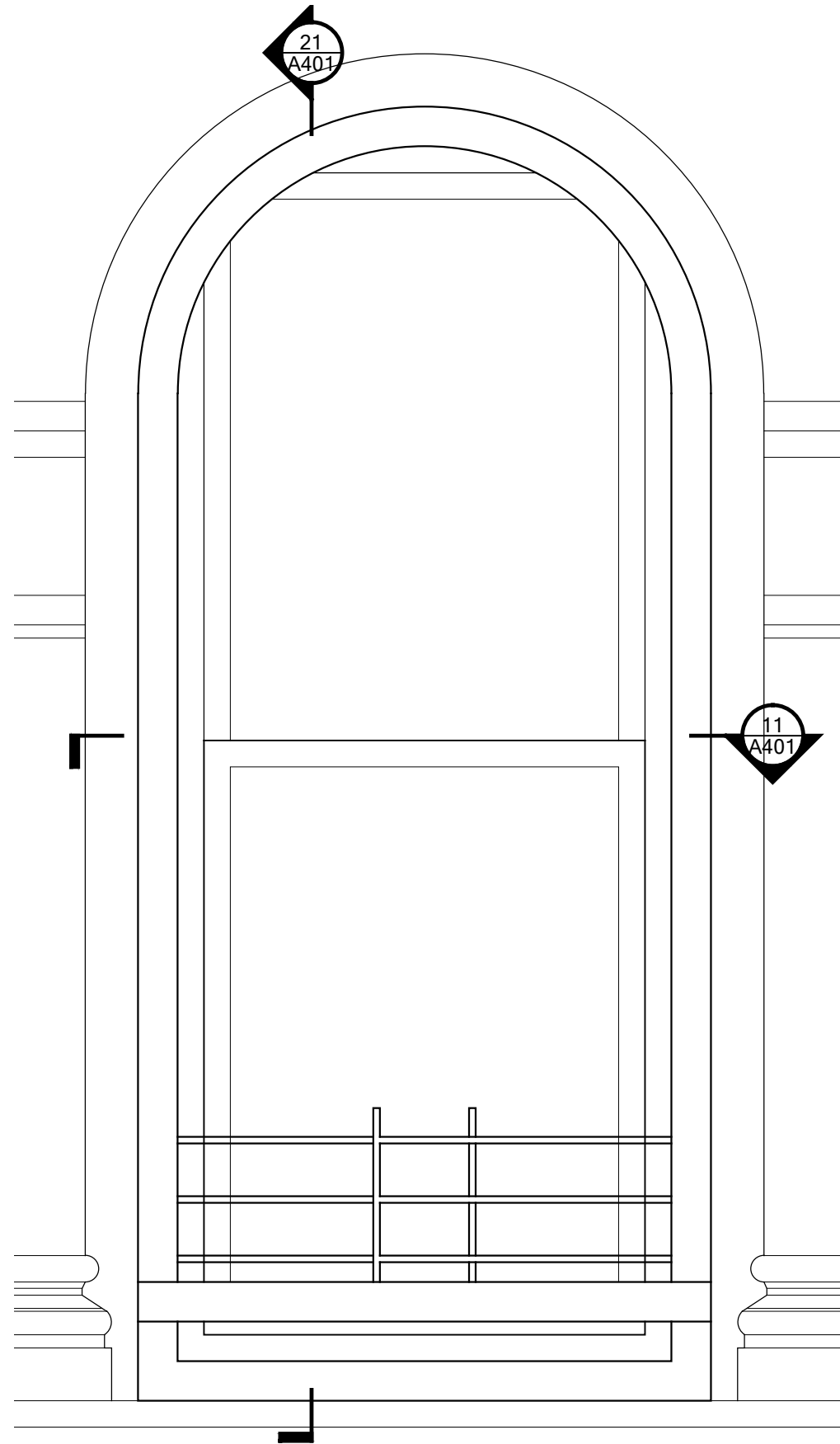
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TYPE B PLAN - EXISTING

SCALE: 1 1/2" = 1'-0"

11



TYPE B ELEVATION - EXISTING

SCALE: 1" = 1'-0"

10

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38 WEST 76TH ST
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PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:
**38 WEST
76TH STREET**

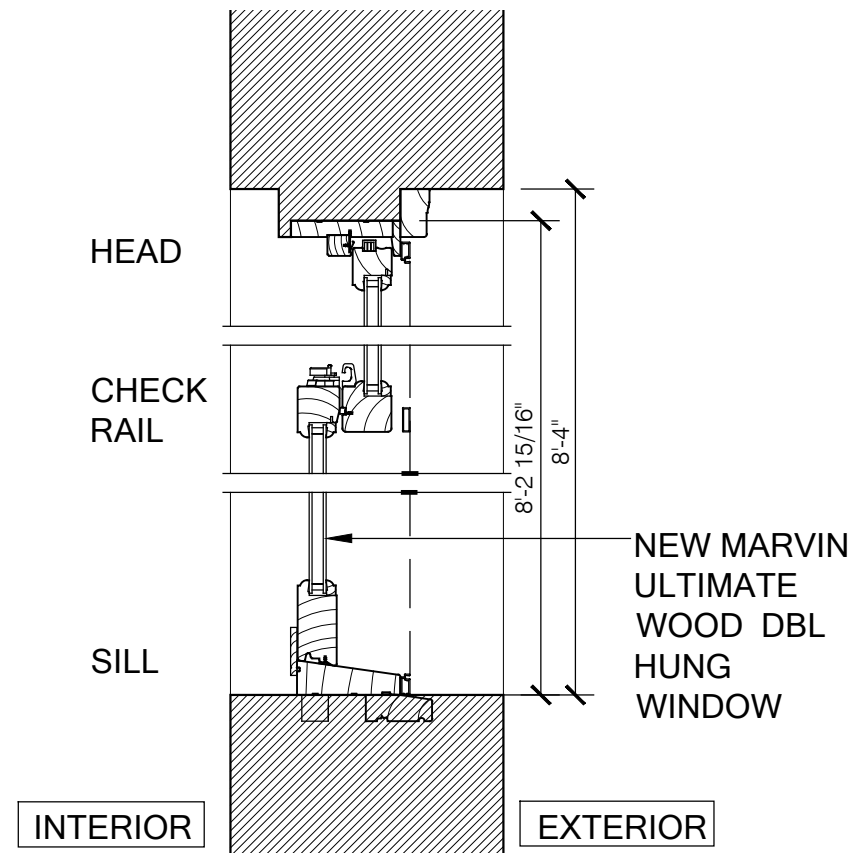
ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

DRAWING TITLE:
**WINDOW DETAILS
TYPE B**

SCALE: **AS NOTED**
PROJECT NO. **1505**

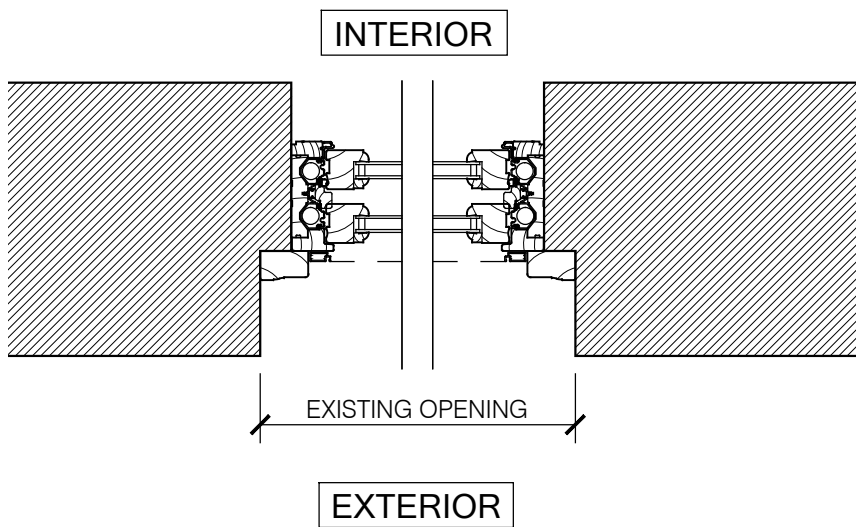
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DRAWING NO.



TYPE B SECTION - PROPOSED

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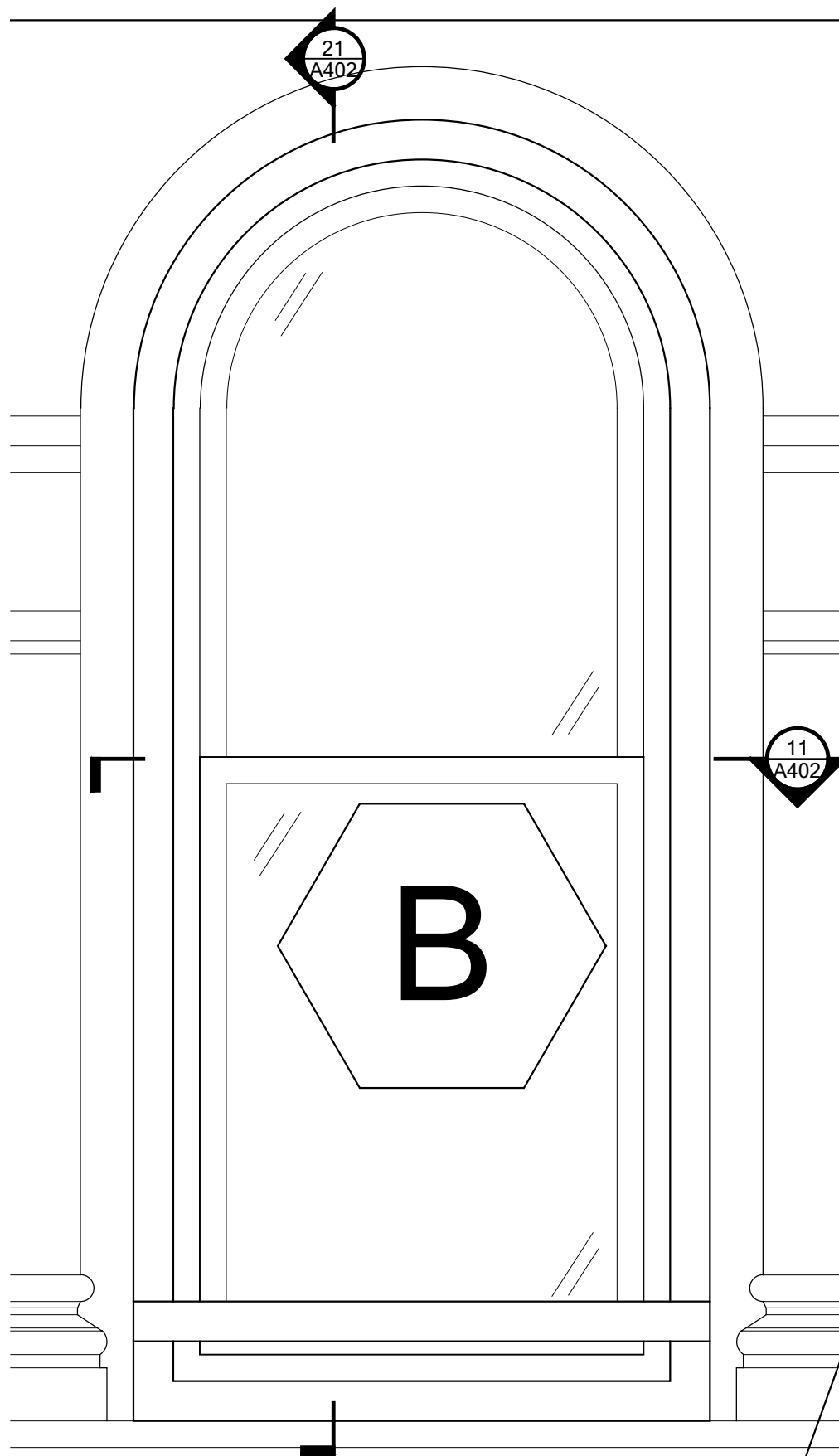
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TYPE B PLAN - PROPOSED

SCALE: 1 1/2" = 1'-0"

11



TYPE B ELEVATION - PROPOSED

SCALE: 1" = 1'-0"

10

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ARCHITECT

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DESCRIPTION

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PROJECT:
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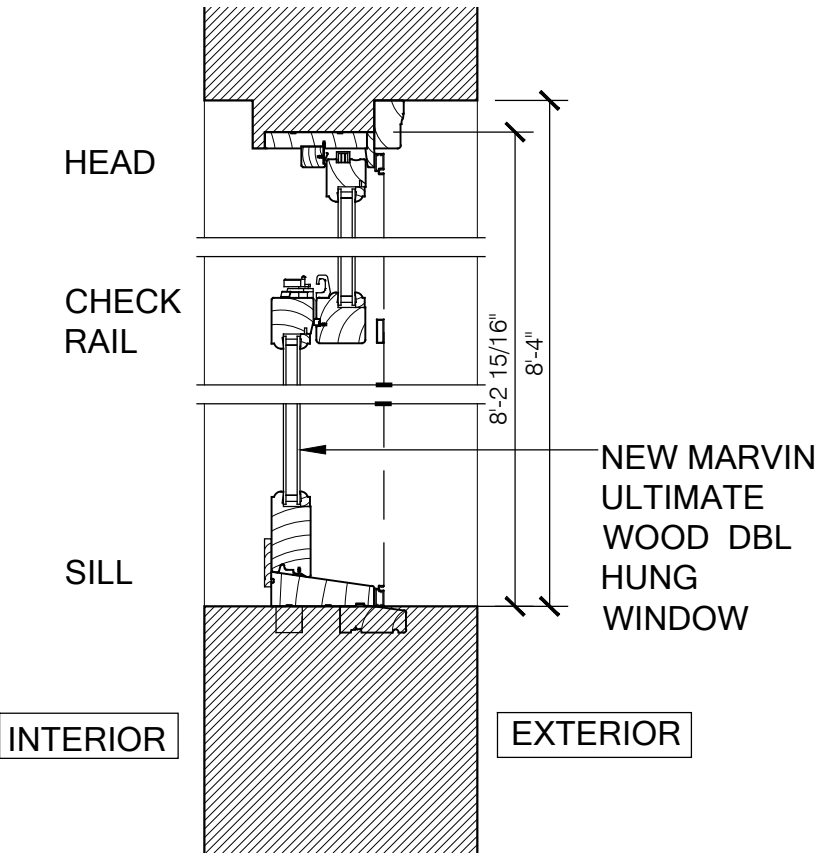
ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

DRAWING TITLE:
**WINDOW DETAILS
TYPE B**

SCALE: **AS NOTED**
PROJECT NO. **1505**

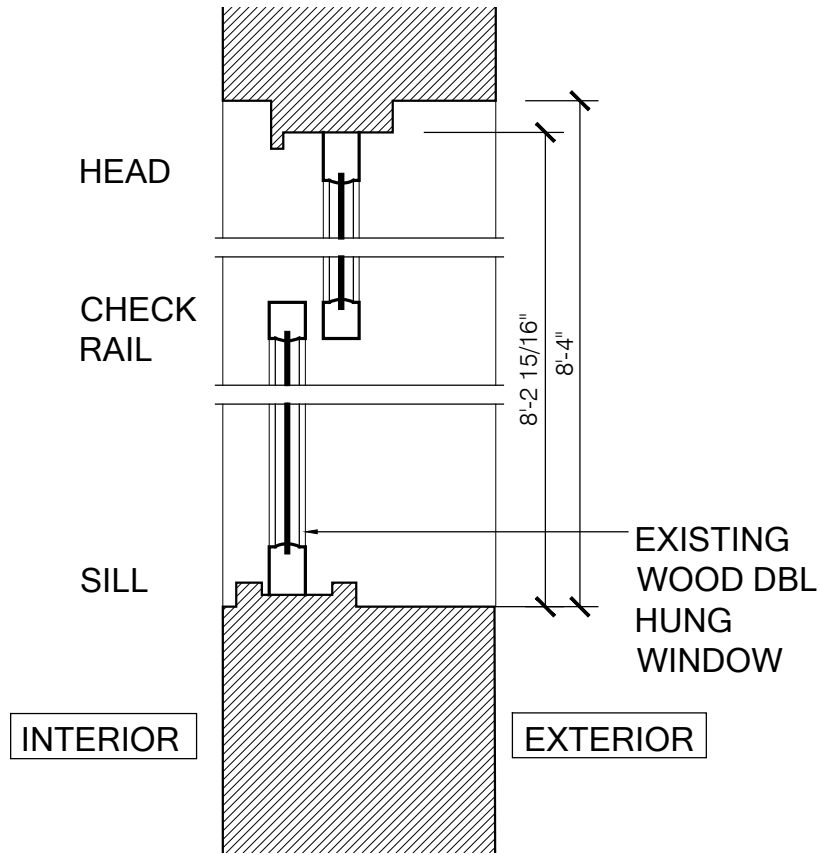
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TYPE C SECTION - PROPOSED

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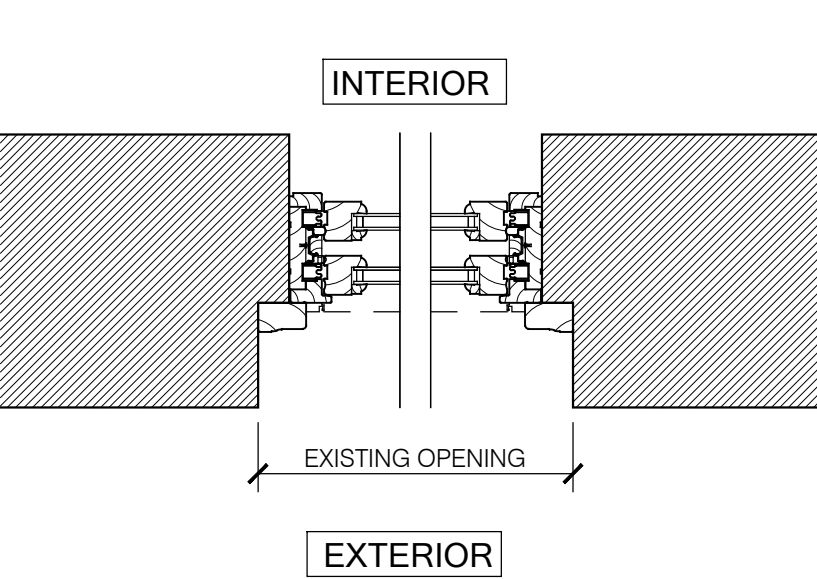
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TYPE C SECTION - EXISTING

SCALE: 1 1/2" = 1'-0"

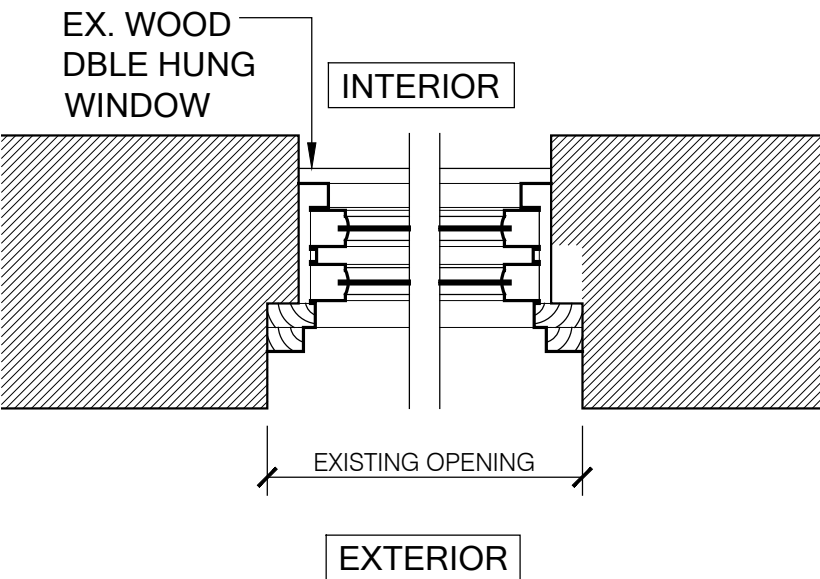
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TYPE C PLAN - PROPOSED

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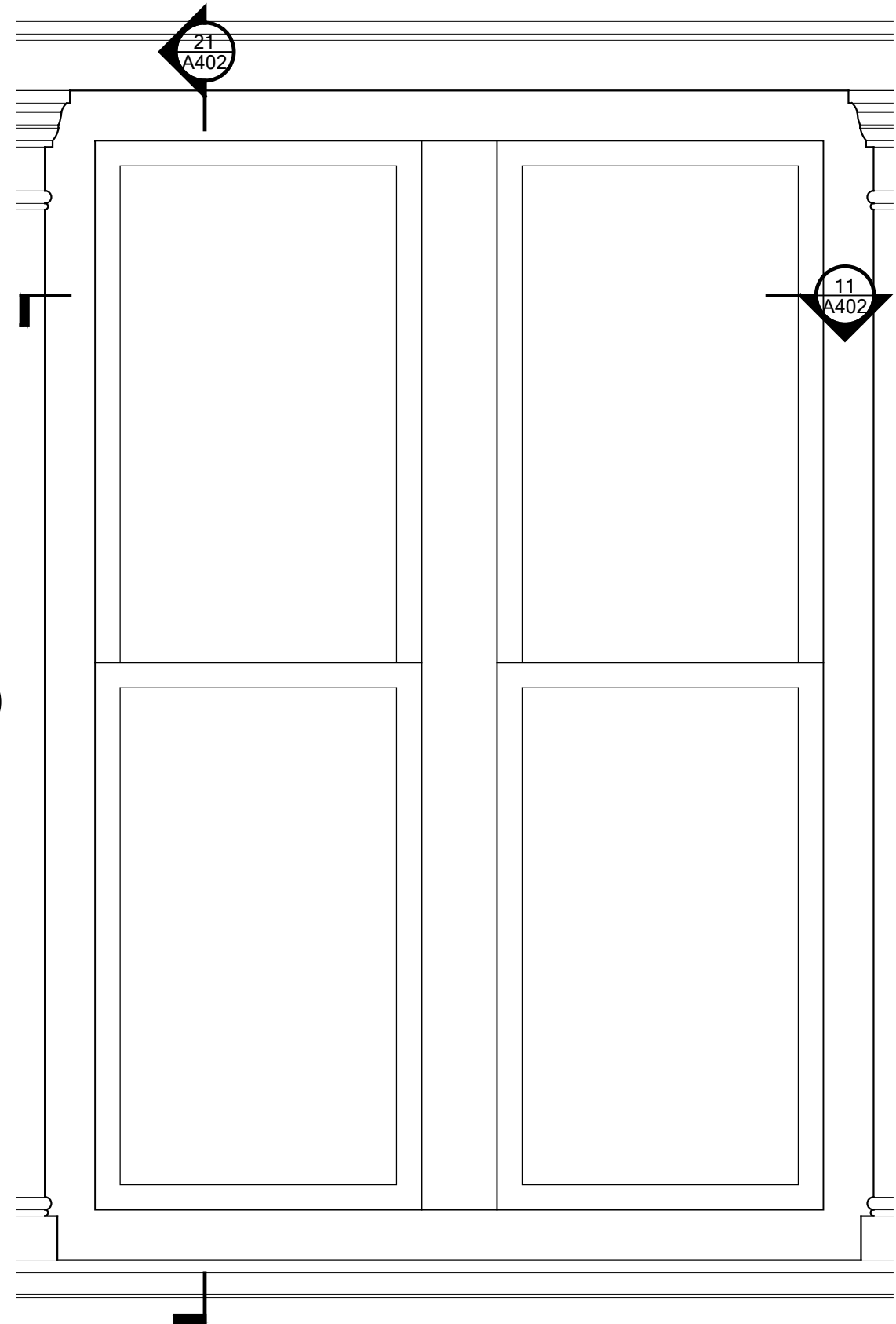
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TYPE C PLAN - EXISTING

SCALE: 1 1/2" = 1'-0"

11



TYPE C ELEVATION - EXISTING

SCALE: 1" = 1'-0"

10

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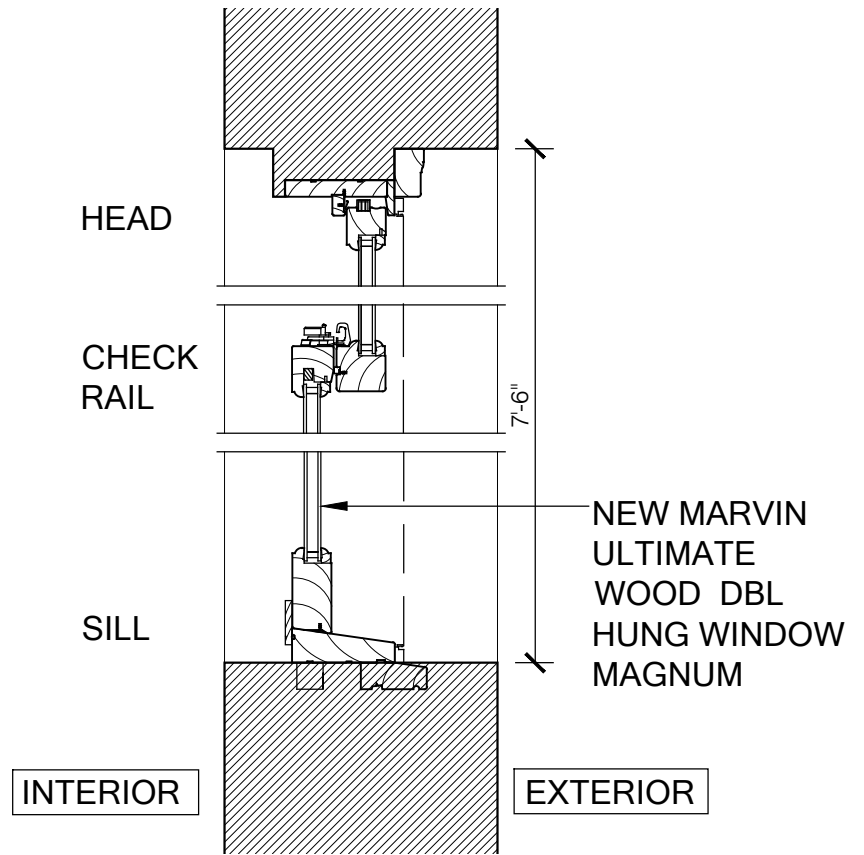
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**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

DRAWING TITLE:
**WINDOW DETAILS
TYPE C**

SCALE: **AS NOTED**
PROJECT NO. **1505**

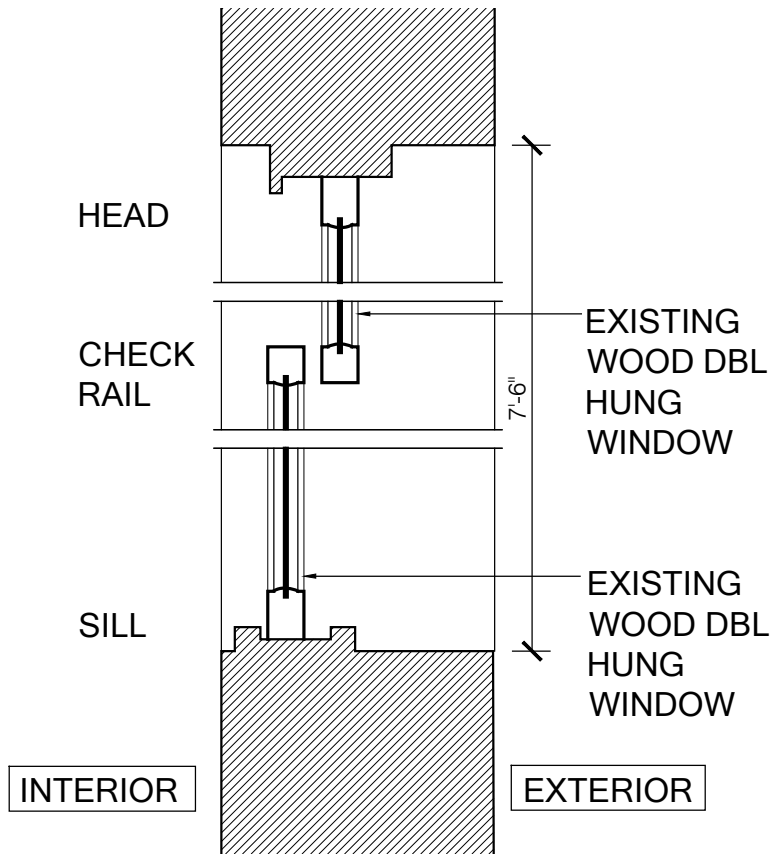
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DRAWING NO.



TYPE D SECTION - PROPOSED

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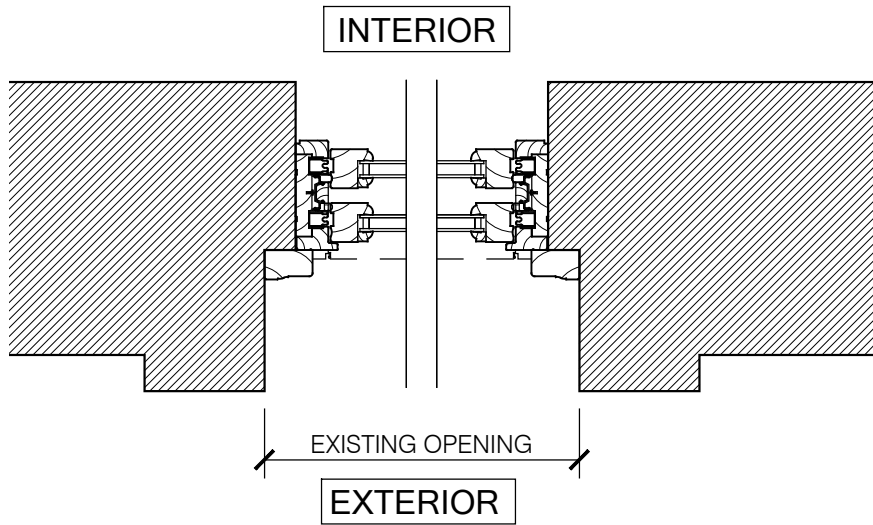
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TYPE D SECTION - EXISTING

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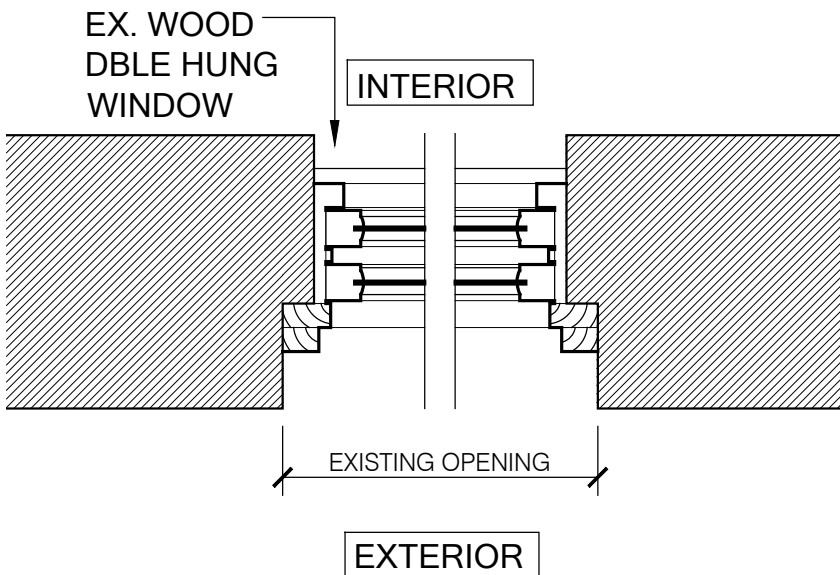
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TYPE D PLAN - PROPOSED

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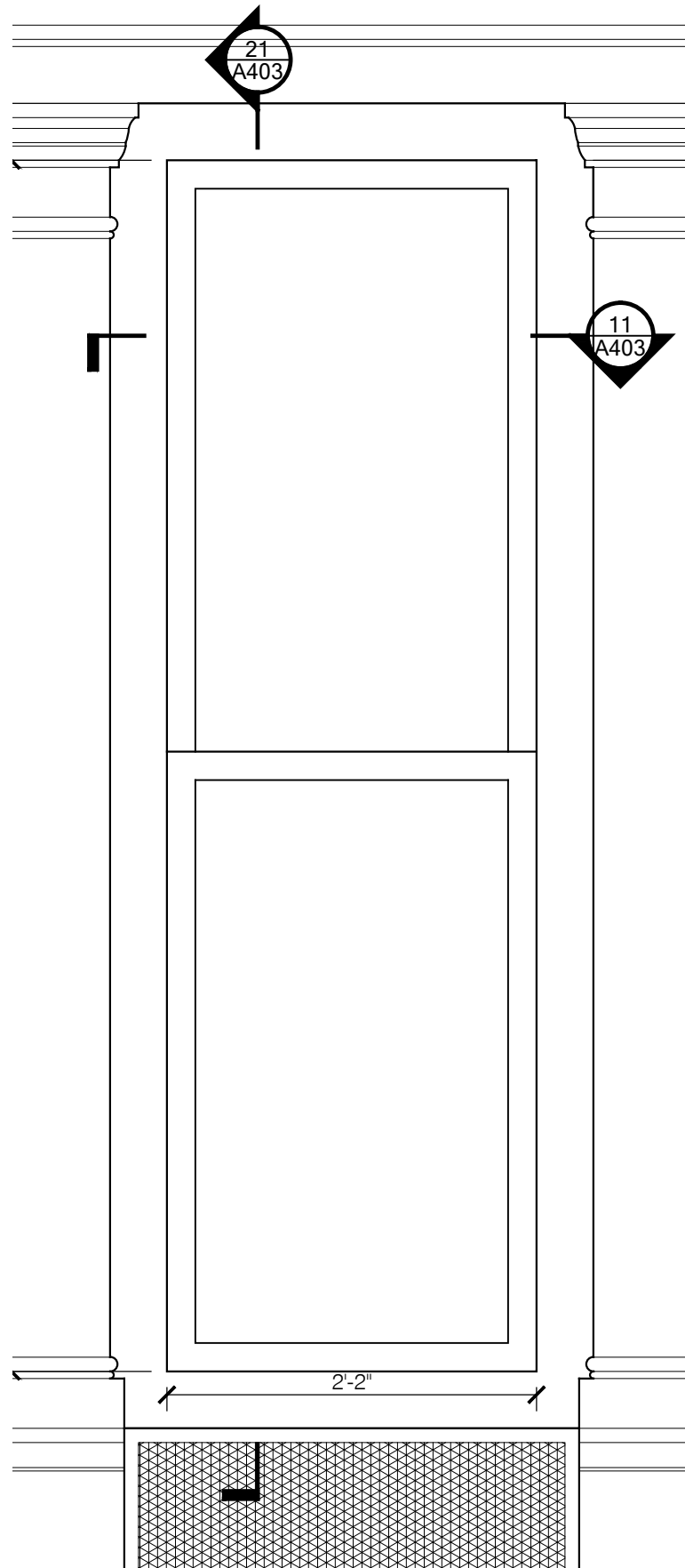
12



TYPE D PLAN - EXISTING

SCALE: 1 1/2" = 1'-0"

11



TYPE D ELEVATION - EXISTING

SCALE: 1" = 1'-0"

10

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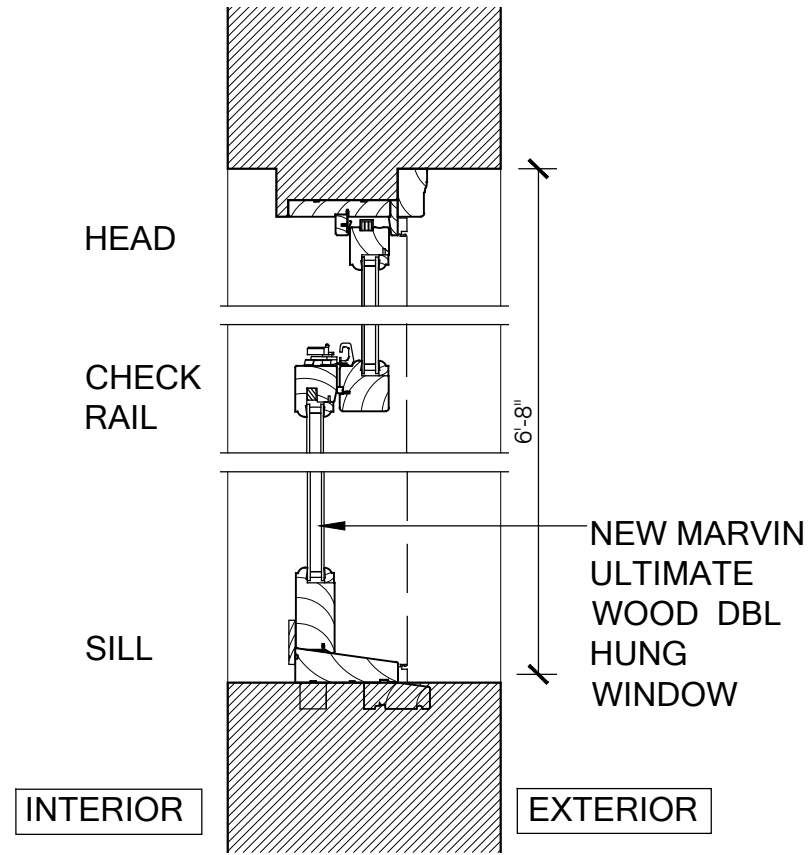
SEAL & SIGNATURE:

DRAWING TITLE:

**WINDOW DETAILS
TYPE D**

SCALE: **AS NOTED**
PROJECT NO. **1505**

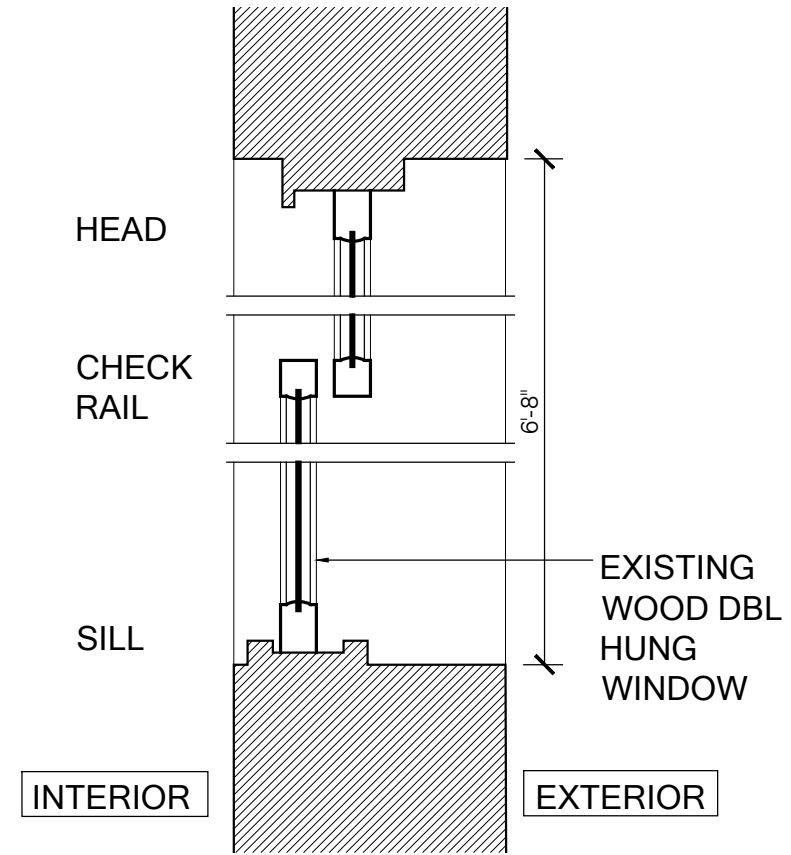
A-404.00
DRAWING NO.



TYPE E SECTION - PROPOSED

SCALE: 1 1/2" = 1'-0"

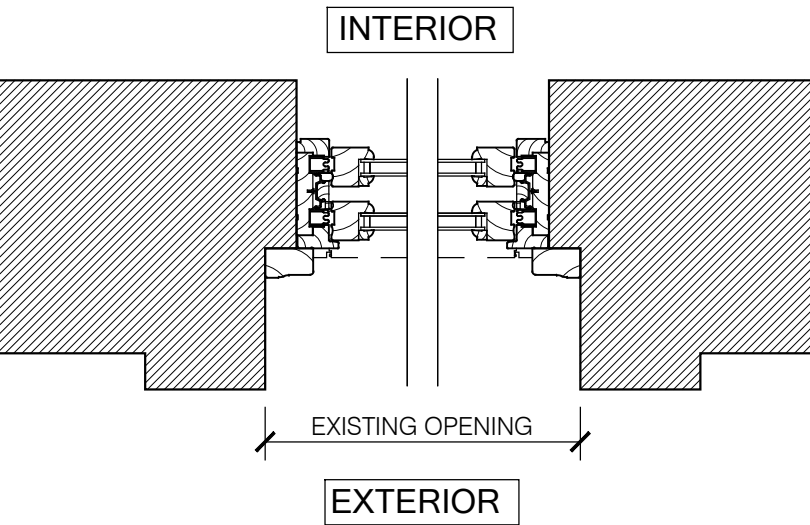
21



TYPE E SECTION - EXISTING

SCALE: 1 1/2" = 1'-0"

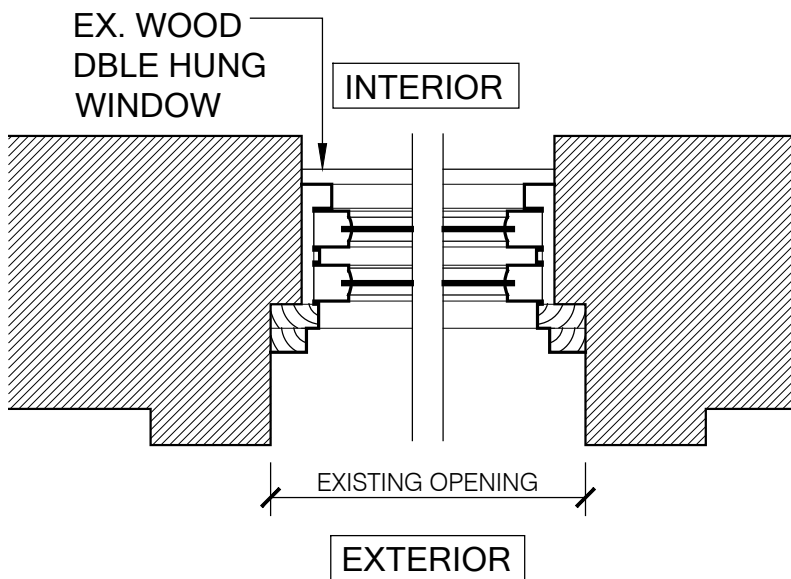
20



TYPE E PLAN - PROPOSED

SCALE: 1 1/2" = 1'-0"

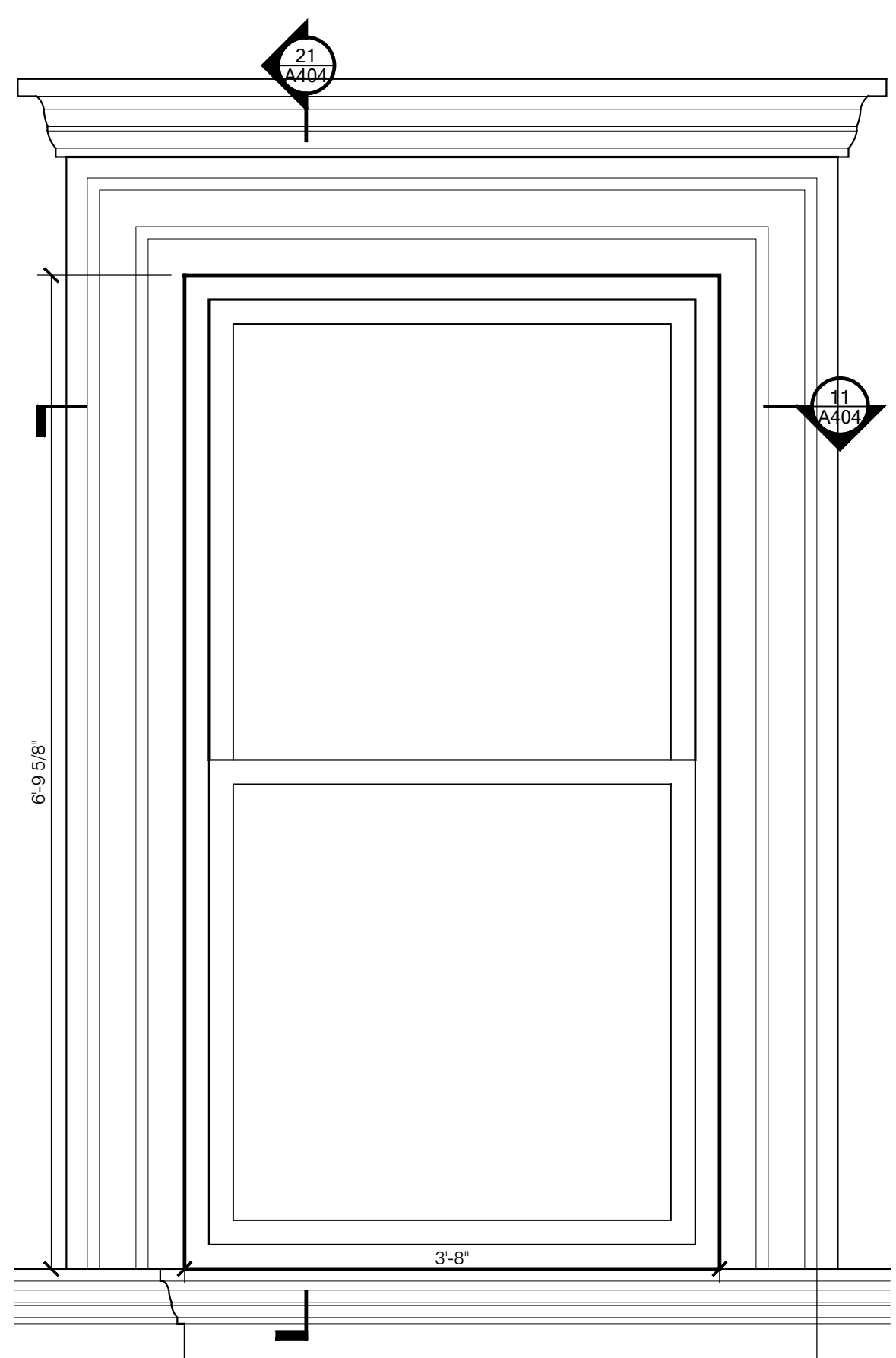
12



TYPE E PLAN - EXISTING

SCALE: 1 1/2" = 1'-0"

11



TYPE E ELEVATION - EXISTING

SCALE: 1" = 1'-0"

10

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38 WEST 76TH ST
NEW YORK, NY
10023
OWNER

PROGRESS SET
DESCRIPTION

05.27.15
DATE

PROJECT:
**38 WEST
76TH STREET**

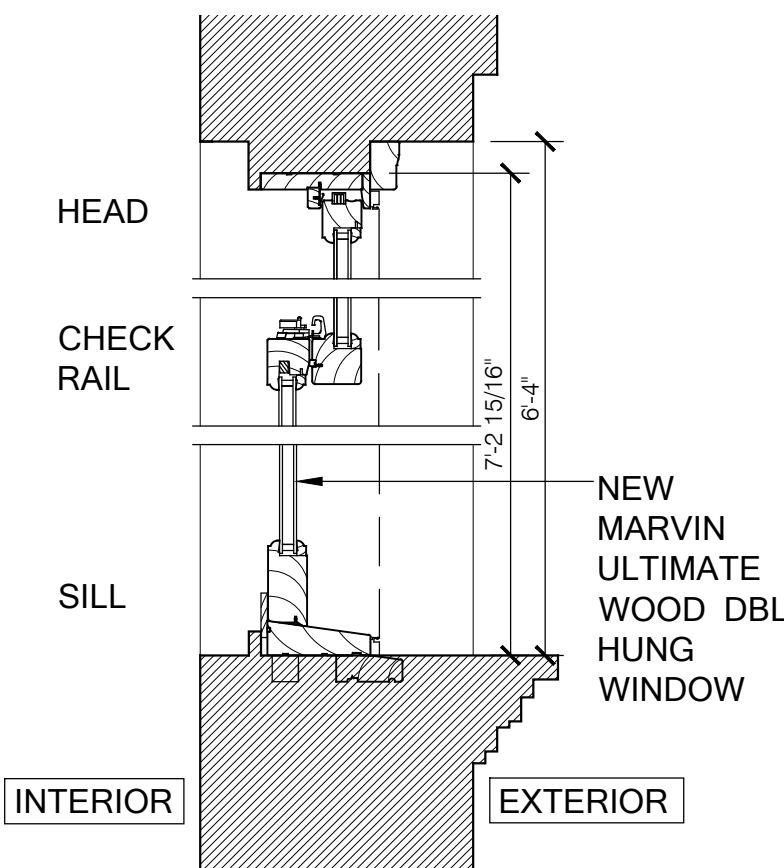
ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**

SEAL & SIGNATURE:

DRAWING TITLE:
**WINDOW DETAILS
TYPE E**

SCALE: **AS NOTED**
PROJECT NO. **1505**

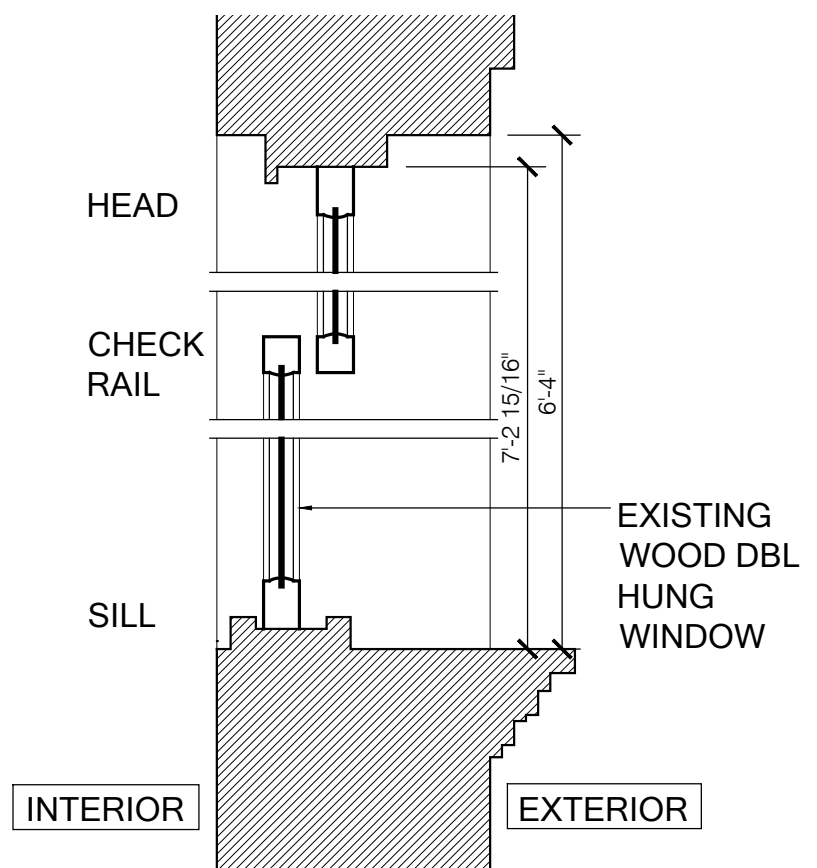
A-405.00
DRAWING NO.



TYPE F SECTION - PROPOSED

SCALE: 1 1/2" = 1'-0"

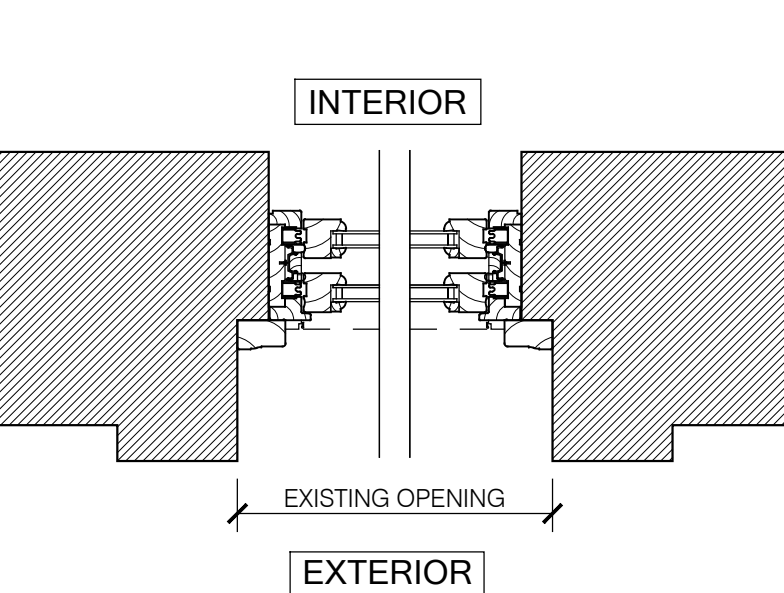
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TYPE F SECTION - EXISTING

SCALE: 1 1/2" = 1'-0"

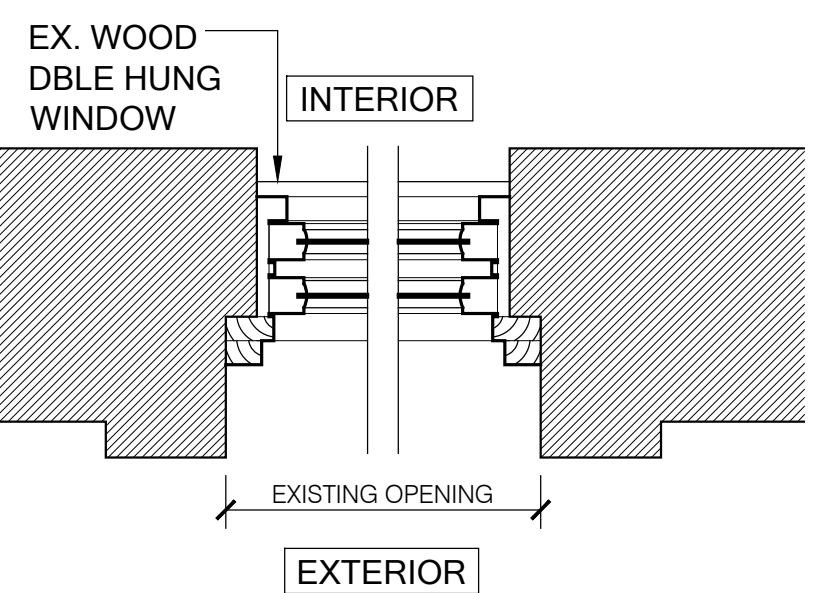
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TYPE F PLAN - PROPOSED

SCALE: 1 1/2" = 1'-0"

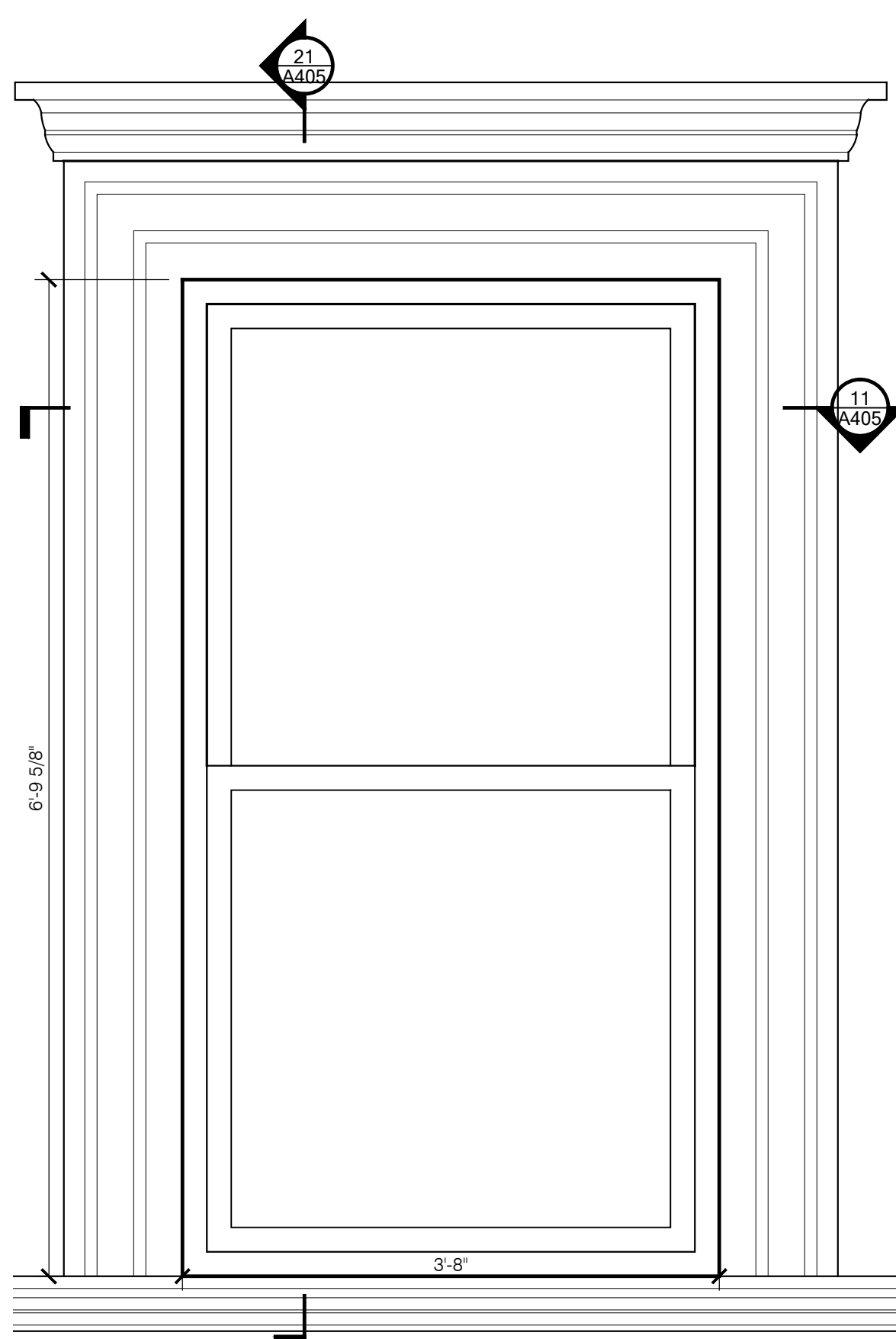
12



TYPE F PLAN - EXISTING

SCALE: 1 1/2" = 1'-0"

11



TYPE F ELEVATION - EXISTING

SCALE: 1" = 1'-0"

10

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SEAL & SIGNATURE:

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PROJECT:
38 WEST 76TH STREET
ADDRESS:
**38 WEST 76TH STREET
NEW YORK, NY 10023**
SEAL & SIGNATURE:

05.27.15
DATE

DRAWING TITLE:
**WINDOW DETAILS
TYPE F**

SCALE: **AS NOTED**
PROJECT NO. **1505**

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ENERGY CODE COMPLIANCE INSPECTIONS				
1. LIGHTING IN DWELLING UNITS (IC2)				
PROGRESS INSPECTIONS TABLE - TABULAR FORMAT				
	INSPECTION/TEST	FREQUENCY (MINIMUM)	REFERENCE STANDARD (SEE ECC CHAPTER 18 OR OTHER CRITERIA)	ECC OR OTHER CITATION
IC - [OTHER] ELECTRICAL POWER AND LIGHTING SYSTEMS				
IA3	FENESTRATION U-FACTOR AND PRODUCT RATINGS: U-FACTORS OF INSTALLAED FENESTRATION SHALL BE VERIFIED BY VISUAL INSPECTION FOR CONFORMANCE WITH THE U-FACTORS IDENTIFIED IN THE CONSTRUCTION DRAWINGS, EITHER BY VERIFYING THE MANUFACTURER'S NFRC LABELS OR, WHERE NOT LABELED, USING THE RATINGS IN ECC TABLES 303.1.3(1) AND (2).	AS REQUIRED DURING INSTALLATION	APPROVED CONSTRUCTION DRAWINGS; NFRC 100	303.1, 303.1.3, 402.1, 402.3, 402.6
IA4	FENESTRATION AIR LEAKAGE: WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS, EXCEPT SITE-BUILT WINDOWS, SKYLIGHTS AND DOORS, SHALL BE VISUALLY INSPECTED TO VERIFY THAT INSTALLED ASSEMBLIES ARE LISTED AND LABELED TO THE REFERENCED STANDARD.	AS REQUIRED DURING INSTALLATION	NFRC 400, AAMA/WDMA/CSA 101/I.S.2/A440	402.4.4
IA6	AIR SEALING AND INSULATION - VISUAL INSPECTION: OPENINGS AND PENETRATIONS IN THE BUILDING ENVELOPE, INCLUDING SITE-BUILT FENESTRATION AND DOORS, SHALL BE VISUALLY INSPECTED TO VERIFY THAT THEY ARE PROPERLY SEALED, IN ACCORDANCE WITH TABLE 402.4.2	PRIOR TO FINAL CONSTRUCTION INSPECTION	ASHRAE/ASTME 779; ANSI Z65; APPROVED CONSTRUCTION DOCUMENTS	402.4.2.1

PROGRESS INSPECTIONS TABLE - TABULAR METHOD

SCALE: NO SCALE

20

ENERGY ANALYSIS RESIDENTIAL PER NYCECC 2011 FOR FRONT FACADE AND STOOP RESTORATION		
CLIMATE ZONE 4A		
TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE OF 2011 NYCECC. THE PROPOSED LIGHTING SYSTEM HAS BEEN DESIGNED TO MEET THE 2011 NEW YORK CITY ENERGY CONSERVATION CODE REQUIREMENTS.		
COMPONENT	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE
NEW AND EXISTING INTERIOR LIGHTING THROUGHOUT	NO CHANGE	N/A
403.1 CONTROLS	NO CHANGE	N/A
402.3 FENESTRATION		402.3.1 U-FACTOR. AN AREA-WEIGHTED AVERAGE OF FENESTRATION PRODUCTS SHALL BE PERMITTED TO SATISFY THE U-FACTOR REQUIREMENTS.
403.2 DUCTS	NO CHANGE	N/A
403.3 MECHANICAL SYSTEM PIPING INSULATION	NO CHANGE	N/A
403.4 CIRCULATING HOT WATER SYSTEM	NO CHANGE	N/A
403.5 MECHANICAL VENTILATION	NO CHANGE	N/A
403.6 EQUIPMENT SIZING	NO CHANGE	N/A

ENERGY ANALYSIS

SCALE: NO SCALE

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38 WEST 76TH STREET
NEW YORK, NY 10023

SEAL & SIGNATURE:

DRAWING TITLE:

ENERGY ANALYSIS
ENERGY ANALYSIS AND
PROGRESS INSPECTIONS

SCALE: NTS

PROJECT NO. 1505

EN-100

DRAWING NO.