

28 October 2016

Ms. Penny Ryan  
250 West 87th Street  
2nd Floor  
New York, NY 10024  
Phone: 212.362.4008  
Fax: 212.595.9317  
Re: 170 West 78th Street, Rooftop Play Deck Addition at the Rodeph Sholom School

Dear Ms. Penny Ryan,

The extent of work subject to the Certificate of Appropriateness includes the following:

The Rodeph Sholom School located at 170 West 79th Street and 163, 165 West 78th provides educational services for its elementary and middle school programs at its Upper West Side facility. The school currently has a small rooftop play space located at the rear yard equivalent of the building on the third floor/ roof which is inadequately sized for the number of students attending the school. The school plans to provide additional outdoor play space for its students to alleviate some of the congestion at the existing space and to provide more space for outdoor play. This is highly needed for its educational programs and for the well-being of the students.

The school would like to install a new rooftop play deck on the 170 West 79th Street building above the existing 4th floor. The roof is currently an unoccupied space which has existing mechanical systems and two existing roof bulkheads.

The proposed exterior rooftop play deck will provide a new 1,770 square foot roof deck at the rear of the building with a new rubber play surface and open air cage (with fencing) to allow for ball play. The existing bulkheads are to be expanded in size for egress and a new bulkhead will be built for a new limited use limited application ADA lift. In front of the bulkheads there will be a small screened in area to allow access from the play space to the elevator and means of egress at the bulkheads. The existing mechanical systems will remain but portions of the ductwork and smaller fans will be relocated to make room for the occupied spaces.

In addition to the new rooftop addition, Rodeph Sholom School plans to renovate the existing exterior play space at the third floor by replacing the existing finish materials and equipment. The play space will also receive a new open air cage (with fencing). We anticipate a staff level review for this scope of work. Included in the documentation is the LPC submission for this scope of work for reference.

Please find Historic Photos and excerpts from the LPC Historic District Designation Report attached. In addition a mock-up was constructed and is in place for review.

Sincerely yours,

Dawid Pol  
(cc: Sara Grant)

WEST 79TH STREET  
Between Columbus Avenue and Amsterdam Avenue [South Side]  
  
160-166 West 79th Street  
Tax Map Block/Lot: 1150/56

ORIGINAL BUILDING DATA

DATE: 1924 [NB 104-1924]  
  
TYPE: Apartment Building  
  
ARCHITECT: George F. Pelham  
  
OWNER/DEVELOPER: 162-164 West 79th Street Corp.  
  
STYLE/ORNAMENT: Neo-Renaissance  
  
Facade(s): Brick and terra cotta  
Number of Stories: 15 with basement  
Window Type/Material: Six-over-six double-hung/Wood  
Method of Construction: Steel frame construction  
Fireproof  
Site formerly occupied by: Two rowhouses and two flats

168 & 170 West 79th Street  
Tax Map Block/Lot: 1150/59 in part

ORIGINAL ROW DATA

BUILDING NAME(s): (former) Academy of the Sacred Heart  
  
DATE: 1894-95 [NB 277-1894]  
  
TYPE: Rowhouses (2 of 2)  
  
ARCHITECT: Thom & Wilson  
  
OWNER/DEVELOPER: Srs. of Charity of St. Vincent de Paul  
  
STYLE/ORNAMENT: Renaissance Revival  
  
ROW CONFIGURATION: Mirror Image

WEST 79TH STREET

Between Columbus Avenue and Amsterdam Avenue [South Side]

168 & 170 West 79th Street

Tax Map Block/Lot: 1150/59 in part

ORIGINAL ROW DATA (continued)

Facade(s): Stone

Number of Stories: 4 with basement

Window Type/Material: One-over-one double-hung/Wood

Basement Type: Raised

Stoop Type: Straight

Method of Construction: Mixed: masonry walls with steel girders

Site formerly occupied by: Wood-framed building with attached stable

172-174 West 79th Street

Tax Map Block/Lot: 1150/63

See: 383-391 Amsterdam Avenue

WEST 79TH STREET

Between Amsterdam Avenue and Broadway [North Side]

201 West 79th Street

Tax Map Block/Lot: 1227/29

See: 402-408 Amsterdam Avenue

203-209 West 79th Street

Tax Map Block/Lot: 1227/27

ORIGINAL BUILDING DATA

DATE: 1972-74

TYPE: Small Apartment Building (converted rowhouses)

ARCHITECT: Joseph Feingold

OWNER/DEVELOPER: Key 79th Street Realty Co.

STYLE/ORNAMENT: Modern



Academy of the Sacred Heart (former), 168 & 170 West 79th Street

172-174 West 79th Street a/k/a 383-391 Amsterdam Avenue









RE: NOTICE LETTER LOCATIONS AND PHOTOGRAPHS

All photographs posted on 10/27/2016 at the following locations on 79th and 78th Street. Please find photographs on the following pages.

- 165-167 West 78th Street – New York, NY 10024  
(Notice was posted on the tree within the RSS property)
- 377 Amsterdam Avenue – New York, NY 10024  
(2 Notices was posted. (1) on parking pole in front of SUGAR PLUM STORE & (1) head-light pole located on the corner of 78th & Amsterdam.)
- 389 Amsterdam Ave – New York, NY 10024  
(1 Notice was posted on a parking pole located in front of EMACK & BOLIOS STORE)
- 395 Amsterdam Ave – New York, NY 10024  
(1 Notice was posted on the corner of 79th & Amsterdam in front of CLASSIC KIDS PHOTOGRAPHY)
- 169-170 West 79th Street – New York, NY 10024  
(3 Notices was posted in front of the Rodeph Sholom Schools: Includes (1) Light pole & (2) Parking poles)















































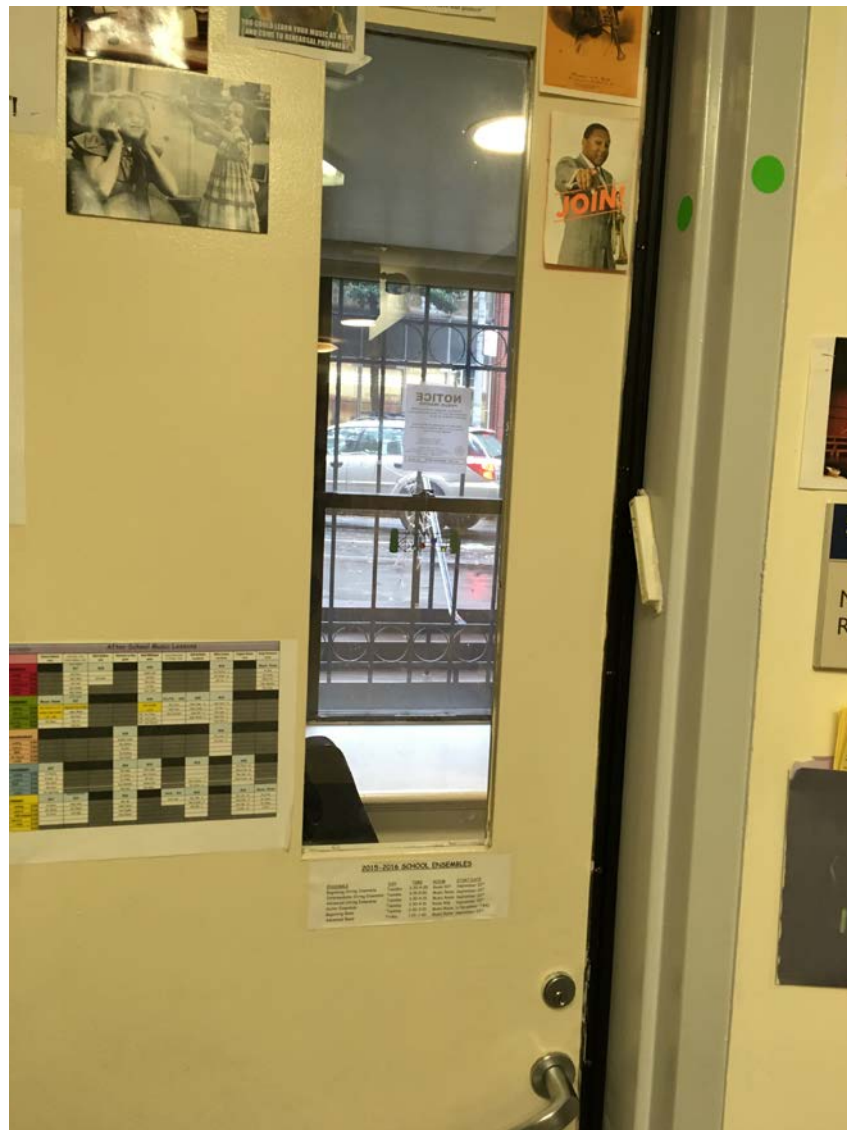






















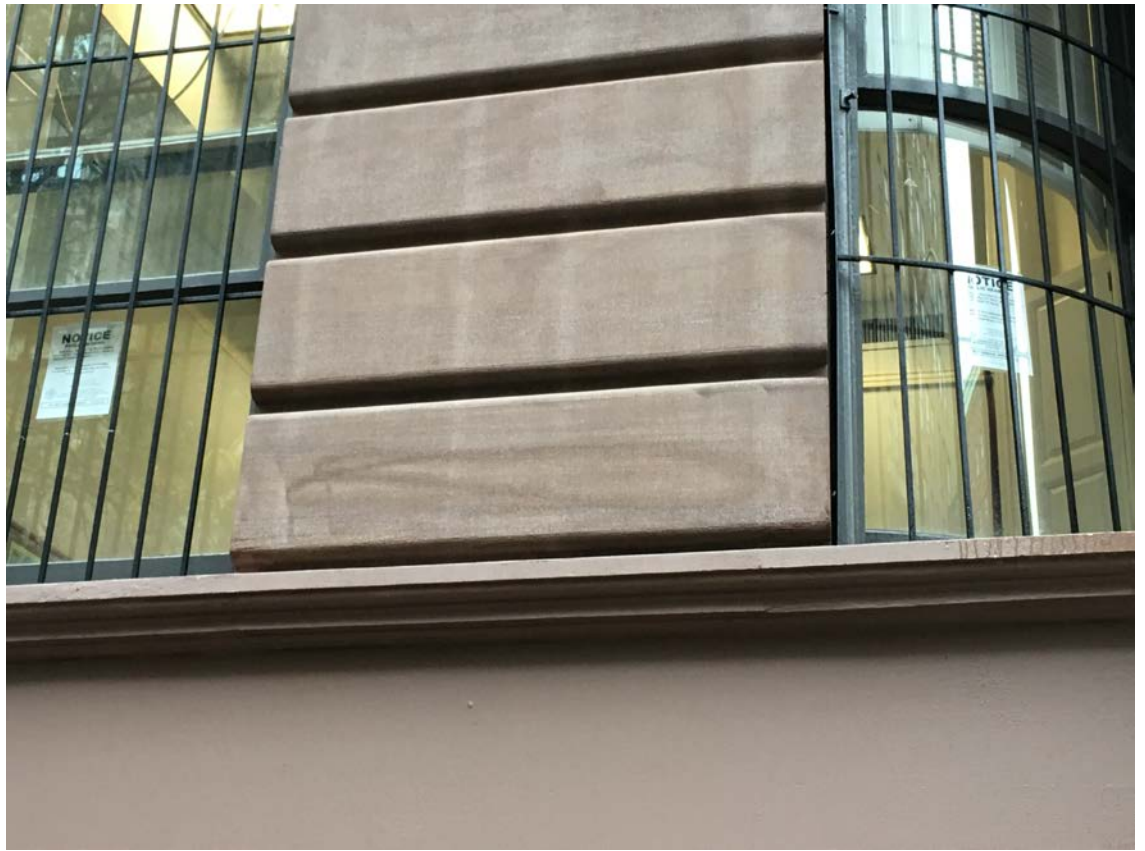












LPC DOCKET #:		STAFF USE ONLY		DATE RECEIVED:		STAFF:	
ACTION: <i>PMW</i> <i>CNE</i> <i>COFA</i> <i>REPORT</i> <i>OTHER</i> :				WORK TYPE:			

## APPLICATION FORM FOR WORK ON DESIGNATED PROPERTIES

### INSTRUCTIONS FOR FILING

A complete application includes this form ("Application Form") and materials needed to describe the project and its effect on the landmark property. Please read the instructions of this form carefully, and provide all the information requested for ALL 6 sections. LPC staff uses this information to determine if the application meets LPC's rules for approval by staff or will require a review by the full Commission at a Public Hearing. Failure to submit complete applications with required materials will result in delays in the review and processing of your application. Filing may be done in person or by mail to the address above.

### 1. PROPERTY INFORMATION

ADDRESS: 168-170 West 79th Street			FLOOR/APT. #:
BOROUGH: Manhattan	BLOCK: 1150	LOT: 59, 5	ZONING: R8B, R10A

### 2. PROPOSED WORK (CHECK ALL THAT APPLY)

INTERIOR ALTERATIONS	<input type="checkbox"/> INTERIOR ALTERATIONS <input type="checkbox"/> PLACE OF ASSEMBLY/CERTIFICATE OF OCCUPANCY/ NO WORK PROPOSED
RESTORATION & OTHER FAÇADE WORK	<input type="checkbox"/> RECREATE MISSING ARCHITECTURAL FEATURES <input type="checkbox"/> EXTERIOR REPAIRS (check all that apply): <input type="checkbox"/> Street façade <input type="checkbox"/> Side or rear façade/roof <input type="checkbox"/> LL11
HEATING, VENTILATION & AIR CONDITIONING EQUIPMENT	<input type="checkbox"/> THRU-WINDOW/LOUVERS & OTHER HVAC EQUIPMENT (check all that apply): <input type="checkbox"/> Street façade <input type="checkbox"/> Rear or side façade <input type="checkbox"/> THRU-WALL HVAC EQUIPMENT: <input type="checkbox"/> Street façade <input type="checkbox"/> Rear or side façade <input checked="" type="checkbox"/> OTHER MECHANICAL EQUIPMENT: <input type="checkbox"/> Wall mounted <input type="checkbox"/> Yard <input checked="" type="checkbox"/> Roof <input type="checkbox"/> Exterior Generator
WINDOW & DOOR WORK	<input type="checkbox"/> REPLACE WINDOWS (check all that apply): <input type="checkbox"/> Street-facing façade/s <input type="checkbox"/> Rear or side non-street facing façade  <input type="checkbox"/> NEW/MODIFY WINDOW OPENING(S) (check all that apply): <input type="checkbox"/> Street-facing façade/s <input type="checkbox"/> Rear or side non-street facing façade  <input type="checkbox"/> REPLACE DOOR(S) or MODIFY DOOR(S)
ADDITIONS & NEW CONSTRUCTION	<input type="checkbox"/> NEW BUILDING <input checked="" type="checkbox"/> ROOFTOP ADDITION (check all that apply): <input checked="" type="checkbox"/> Mechanical Equipment, Stair or Elevator Bulkhead <input checked="" type="checkbox"/> Occupiable <input type="checkbox"/> Solar <input type="checkbox"/> REAR YARD ADDITION (check all that apply): <input type="checkbox"/> Deck <input type="checkbox"/> Occupiable
STOREFRONTS	<input type="checkbox"/> INFILL <input type="checkbox"/> LIGHTING <input type="checkbox"/> SIGNAGE <input type="checkbox"/> AWNINGS <input type="checkbox"/> SECURITY GATE
EXCAVATIONS, SIDEWALKS AND SITEWORK	<input type="checkbox"/> EXCAVATION (check all that apply): <input type="checkbox"/> Underpinning <input type="checkbox"/> No Underpinning <input type="checkbox"/> SIDEWALK PAVING (check all that apply): <input type="checkbox"/> Concrete <input type="checkbox"/> Stone <input type="checkbox"/> Tree Pit <input type="checkbox"/> SUBSURFACE UTILITIES (check all that apply): <input type="checkbox"/> Residential <input type="checkbox"/> Other <input type="checkbox"/> STREET PAVING/STREETBED WORK
OTHER	<input type="checkbox"/> TEMPORARY INSTALLATIONS: <input type="checkbox"/> Sign <input type="checkbox"/> Other <input type="checkbox"/> NEW UNENCLOSED SIDEWALK CAFÉ <input type="checkbox"/> RENEW SIDEWALK CAFÉ LICENSE <input type="checkbox"/> FENCES AND GATES <input type="checkbox"/> BARRIER FREE ACCESS (ADA) <input type="checkbox"/> OTHER (Describe): _____

### 3. ADDITIONAL INFORMATION

Are you filing to correct or legalize work done without an LPC permit? <input type="checkbox"/> YES (If YES, please include photos of work in violation)	If Yes, Warning Letter/NOV#:
Are you filing for a signoff or to amend a permit? <input type="checkbox"/> YES (If YES, please include photos of completed exterior work)	If Yes, Docket#:
Are you applying to any of the following?	<input checked="" type="checkbox"/> Dept. Of Buildings <input type="checkbox"/> City Planning <input type="checkbox"/> Board of Standards and Appeals
Is there a facade easement on the property? <input type="checkbox"/> YES (If Yes, please provide contact information for easement holder)	





**Landmarks Preservation  
Commission**

**4. ATTACH MATERIALS NEEDED TO COMPLETE THE APPLICATION**

Required materials must be submitted to complete the application. These materials include documentation that explains the existing and proposed conditions, and clearly illustrates how the proposed work does or does not meet LPC Rules. Depending on the type of work proposed these materials may include drawings, photographs, photo-montages, material samples and written specifications.

For a complete list of materials required for the most common work types, please refer to the **Permit Application Guide** as you complete the application. LPC Rules and guides are available on the website: [www.nyc.gov/landmarks](http://www.nyc.gov/landmarks). An application that includes all of the required materials can often be expedited. Incomplete submissions will cause delays.

PLEASE NOTE THAT A PERMIT CANNOT BE ISSUED UNTIL THE REQUIRED MATERIALS ARE SUBMITTED AND STAFF HAS DETERMINED THAT THE APPLICATION IS COMPLETE. YOU MAY CONTACT LPC IF YOU NEED INFORMATION ABOUT THE APPLICATION PROCESS, DETAILS ABOUT THE TYPES OF DRAWINGS OR OTHER MATERIALS THAT MAY BE REQUIRED, OR FOR GENERAL GUIDANCE:  
TEL: (212) 669-7817/ E-MAIL: [INFO@LPC.NYC.GOV](mailto:INFO@LPC.NYC.GOV).

**AN APPLICATION MAY BE COMPLETED BY THE OWNER, TENANT, LESSEE, CO-OP SHAREHOLDER, ARCHITECT, ENGINEER, CONTRACTOR, OR OTHER INDIVIDUAL OR FIRM. PLEASE LIST ALL RELEVANT CONTACTS BELOW, AND CHECK THE PRIMARY CONTACT.**

**5. CONTACT INFORMATION (Fill out all that apply and indicate who the primary contact should be)**

**TENANT/LESSEE/CO-OP SHAREHOLDER**

☐ **PRIMARY CONTACT**

Name <b>Danny Karpf</b>	Company/Corporation/Organization <b>Rodeph Sholom School</b>	
Address <b>168 West 79th Street</b>	City & State <b>NYC, NY</b>	Zip <b>10024</b>
Phone <b>646-438-8550</b>	E-mail <b>dkarpf@rssnyc.org</b>	

**ARCHITECT/ENGINEER/CONTRACTOR (IF APPLICABLE)**

☒ **PRIMARY CONTACT**

Name <b>Sara A. Gentzler</b>	Company/Corporation/Organization <b>Murphy Burnham&amp;Buttrick Arch</b>	
Address <b>48 West 37th , Floor 14</b>	City & State <b>NY, NYC</b>	Zip <b>10018</b>
Phone <b>212-768-7676</b>	E-mail <b>SGRANT@MBBARCH.COM</b>	

**PERSON FILING APPLICATION (E.G., EXPEDITOR, ATTORNEY, MANAGING AGENT)** ☐ **PRIMARY CONTACT**

Name <b>Sara A. Gentzler</b>	Company/Corporation/Organization: <b>Murphy Burnham&amp;Buttrick Arch</b>	
Address <b>48 West 37th , Floor 14</b>	City & State <b>NY, NYC</b>	Zip <b>10018</b>
Phone <b>212-768-7676</b>	E-mail <b>SGRANT@MBBARCH.COM</b>	

**6. OWNER'S INFORMATION, CONSENT, AND SIGNATURE**

I am the owner of the above-listed property. For applications for work on or in a cooperative or condominium building, the "owner" is the Co-op Board or Condominium Association. An officer of the Co-op Board or Condominium Association must sign this application. I am familiar with the work proposed to be carried out on my property and give my permission for this application to be filed. The information entered is correct and complete, to the best of my knowledge.

**IMPORTANT: The managing agent of a cooperative or condominium association must be an officer of the board to sign this application**

NAME **Danny Karpf**

TITLE (if applicable) **Head of School Elect**

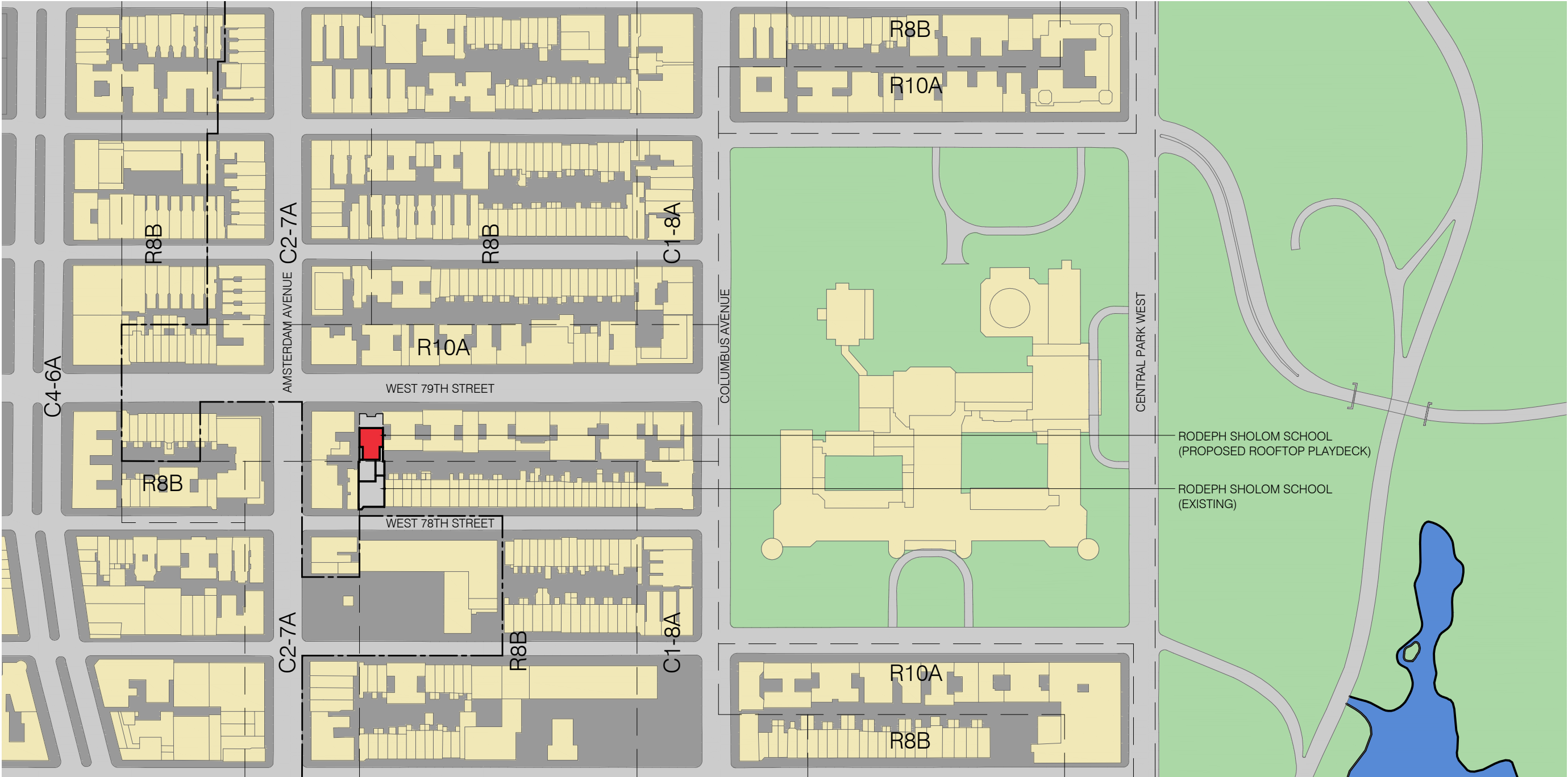
COMPANY, CORPORATION, OR ORGANIZATION (if applicable) **Rodeph Sholom School**

MAILING ADDRESS **168 West 79th Street** CITY, STATE, ZIP CODE **NYC, NY 10024**

PHONE **646-438-8550** E-MAIL **dkarpf@rssnyc.org**

  
SIGNATURE OF OWNER OR AUTHORIZED REPRESENTATIVE





**Rodeph Shalom School**

170 West 79th Street  
New York, NY 10024

**Murphy Burnham & Buttrick**

Architects  
48 West 37th Street, 14th Floor  
New York, New York 10018  
Telephone 212.768.7676  
Fax 212.840.9871

**1 SITE PLAN & ZONING MAPS**

NTS



**KEY**

- RODEPH SHOLOM SCHOOL: EXISTING
- RODEPH SHOLOM SCHOOL: PROPOSED ROOFTOP PLAYDECK
- ZONING BOUNDARY
- BOUNDARY OF UPPER WEST SIDE - CENTRAL PARK WEST HISTORIC DISTRICT

**Scale**

As Noted

**Date**

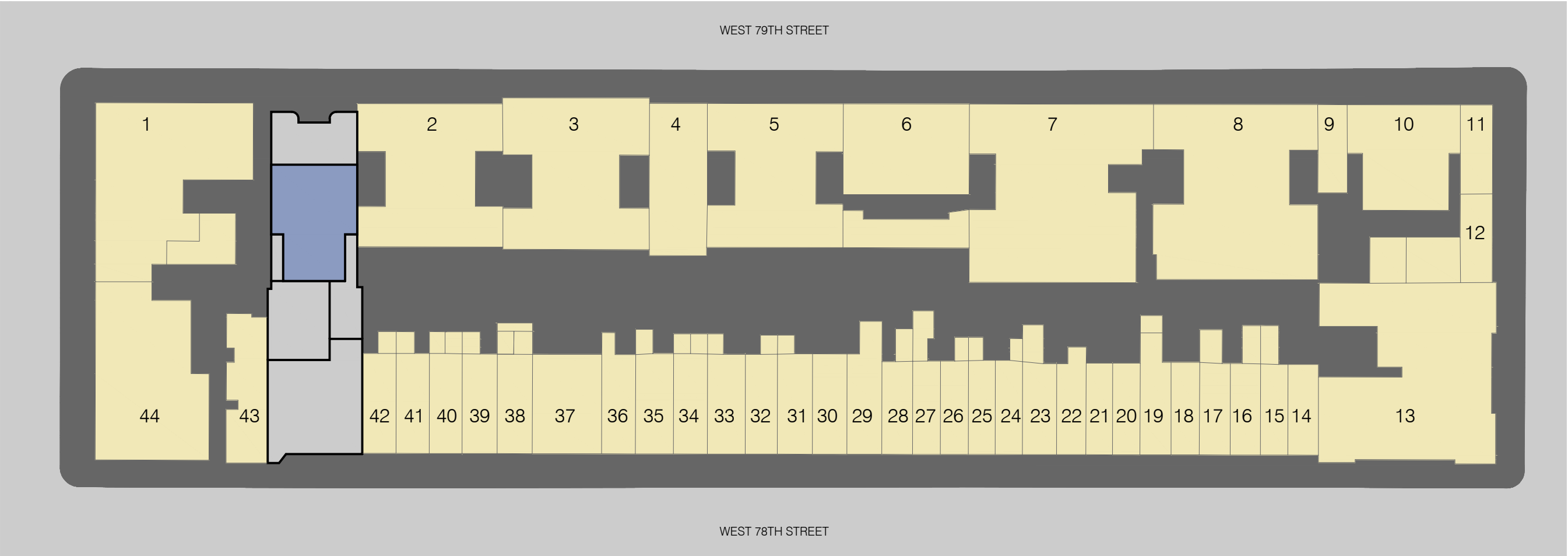
20 October

**Issue**

IPC Set

**LM001**

Site Plan &  
Zoning Map



1 BLOCK DIAGRAM



1	19-STORY STRUCTURE	11	5-STORY STRUCTURE	21	3-STORY STRUCTURE	31	3-STORY STRUCTURE	41	4-STORY STRUCTURE
2	15-STORY STRUCTURE	12	18-STORY STRUCTURE	22	2-STORY STRUCTURE	32	3-STORY STRUCTURE	42	4-STORY STRUCTURE
3	12-STORY STRUCTURE	13	7.5-STORY STRUCTURE	23	4-STORY STRUCTURE	33	3-STORY STRUCTURE	43	5-STORY STRUCTURE
4	19-STORY STRUCTURE	14	3-STORY STRUCTURE	24	3-STORY STRUCTURE	34	3-STORY STRUCTURE	44	15-STORY STRUCTURE
5	15-STORY STRUCTURE	15	3-STORY STRUCTURE	25	3-STORY STRUCTURE	35	3-STORY STRUCTURE		
6	14-STORY STRUCTURE	16	3-STORY STRUCTURE	26	3-STORY STRUCTURE	36	3-STORY STRUCTURE		
7	4-STORY STRUCTURE	17	3-STORY STRUCTURE	27	3-STORY STRUCTURE	37	3-STORY STRUCTURE		
8	6-STORY STRUCTURE	18	3 STORY STRUCTURE	28	3-STORY STRUCTURE	38	4-STORY STRUCTURE		
9	5-STORY STRUCTURE	19	3-STORY STRUCTURE	29	3-STORY STRUCTURE	39	4-STORY STRUCTURE		
10	18-STORY STRUCTURE	20	3-STORY STRUCTURE	30	3-STORY STRUCTURE	40	4-STORY STRUCTURE		

KEY

- EXISTING SCHOOL
- PROJECT SITE; PROPOSED ROOFTOP PLAYDECK





1 PHOTOGRAPH OF 79TH STREET - SOUTH SIDE

170 WEST 79TH ST.

AMSTERDAM AVE.



AMSTERDAM AVE.

2 PHOTOGRAPH OF 79TH STREET - NORTH SIDE

170 WEST 79TH ST.  
ACROSS STREET

**Rodeph Shalom School**  
170 West 79th Street  
New York, NY 10024

**Murphy Burnham & Buttrick**  
Architects  
48 West 37th Street, 14th Floor  
New York, New York 10018  
Telephone 212.768.7676  
Fax 212.840.9871

**Scale**  
As Noted

**Date**  
20 October

**Issue**  
IPC Set

**LM003**

Context





1 PHOTO OF 170 W 79TH STREET



2 PHOTO OF 170 W 79TH STREET

**Rodeph Shalom School**  
170 West 79th Street  
New York, NY 10024

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**Scale**  
As Noted

**Date**  
20 October

**Issue**  
IPC Set

**LM004**

— 170 W 79th Street  
Photographs





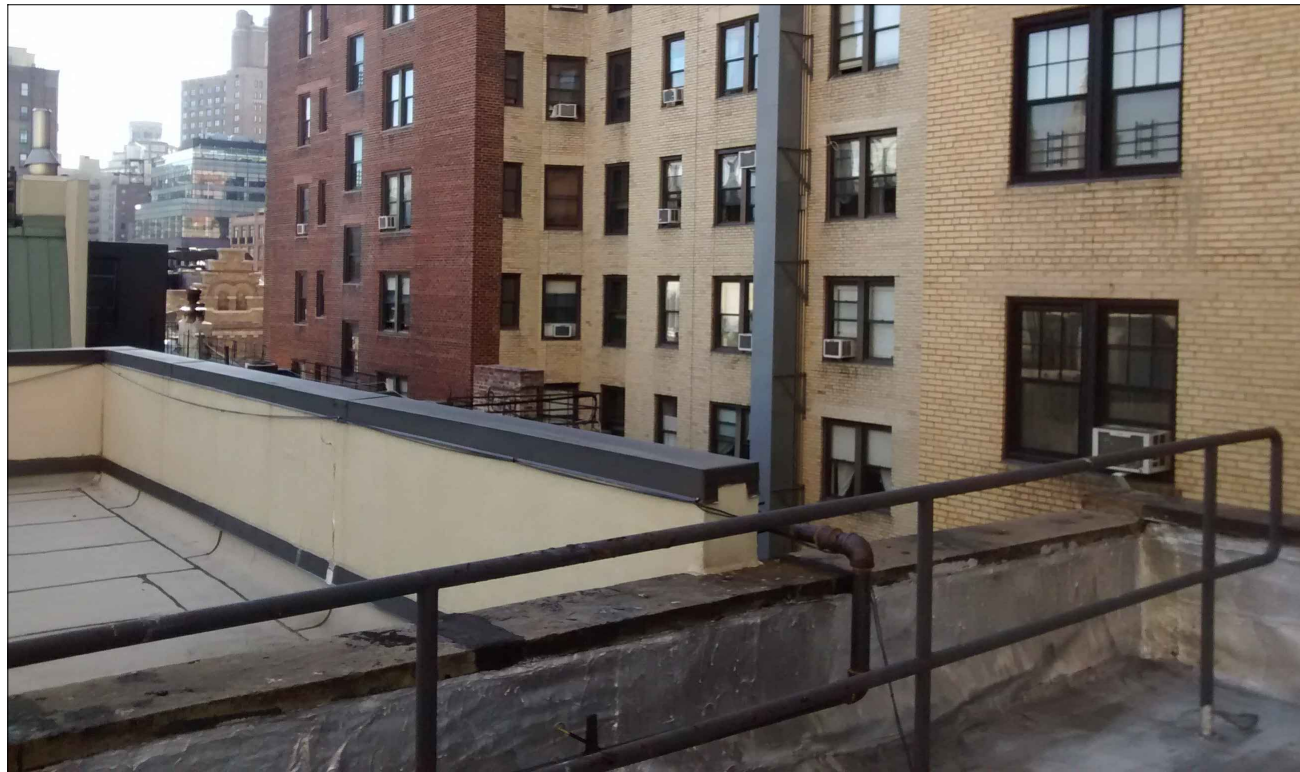
1 UPPER PLAY DECK - EXISTING ROOF LOOKING SOUTH



2 UPPER PLAY DECK - EXISTING BULKHEAD LOOKING EAST

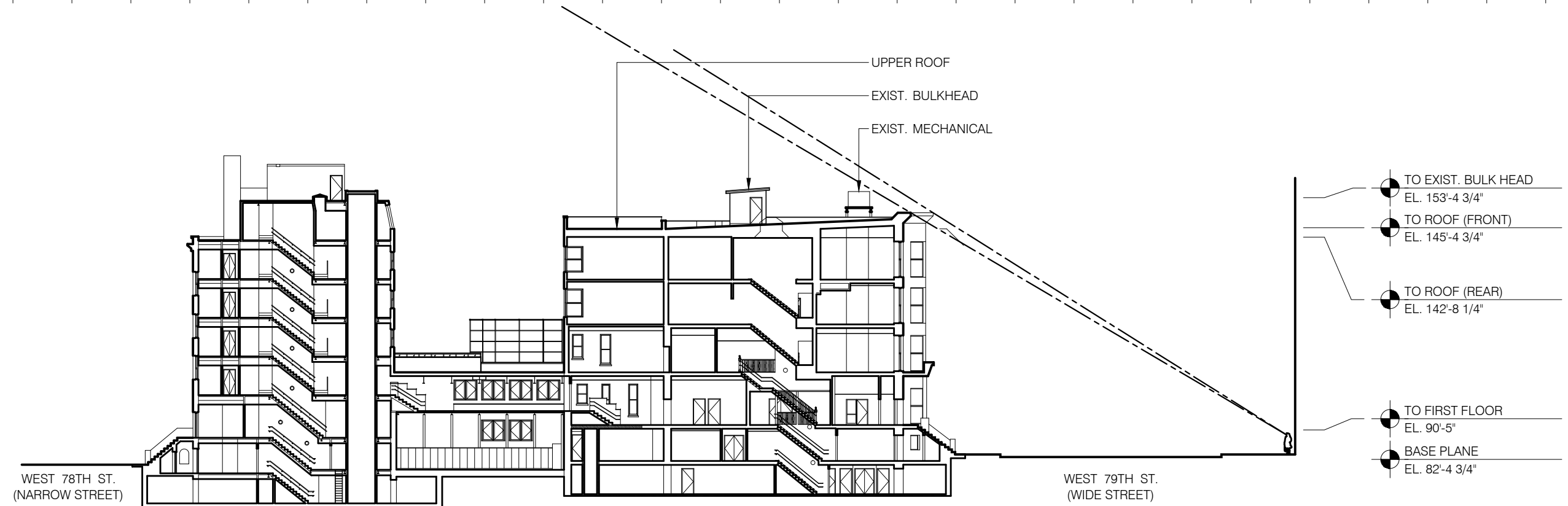


3 UPPER PLAY DECK - EXISTING ROOF LOOKING NORTH

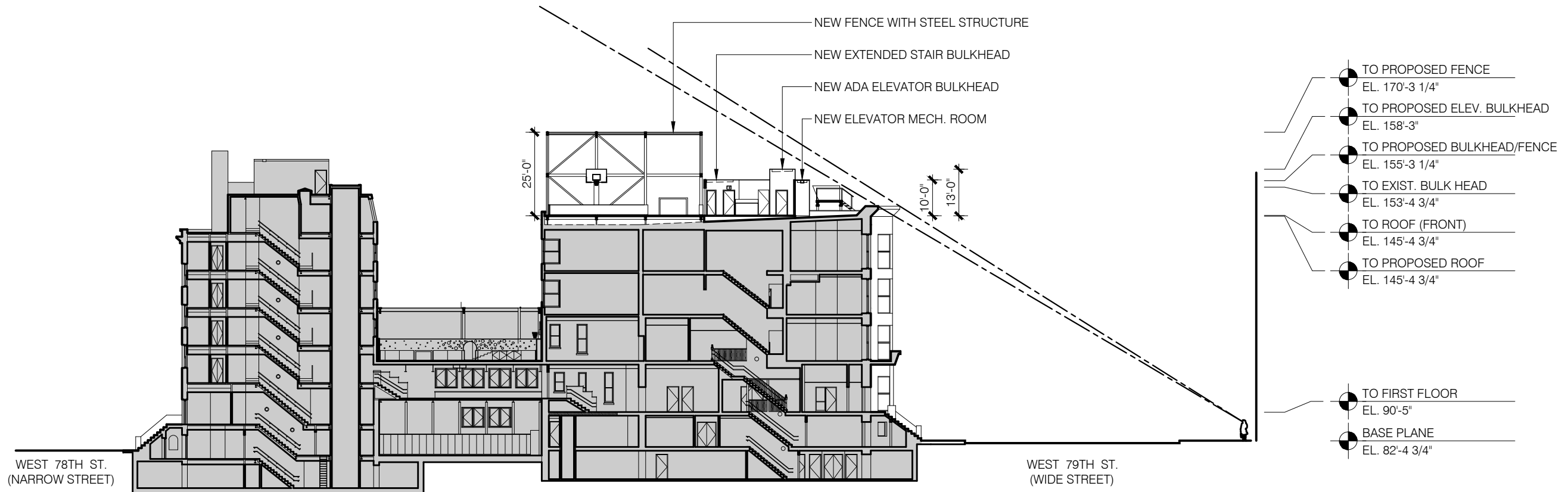


4 UPPER PLAY DECK - EXISTING ROOF LOOKING SOUTH WEST





1 EXISTING SECTION LOOKING WEST  
1/32"=1'-0"

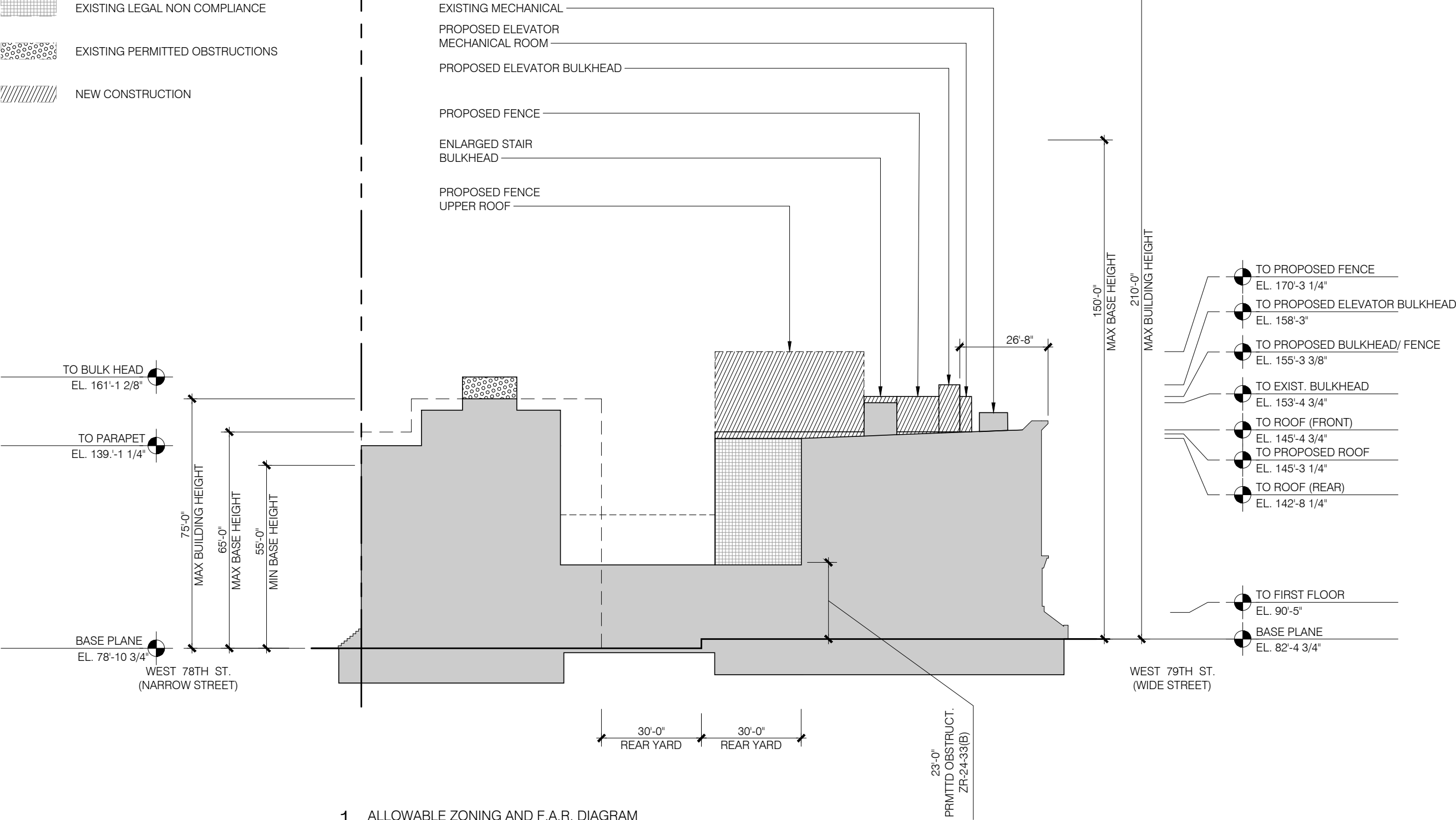


1 PROPOSED SECTION LOOKING WEST  
1/32"=1'-0"



LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING LEGAL NON COMPLIANCE
- EXISTING PERMITTED OBSTRUCTIONS
- NEW CONSTRUCTION



1 ALLOWABLE ZONING AND F.A.R. DIAGRAM  
1/32" = 1'-0"

Scale  
As Noted

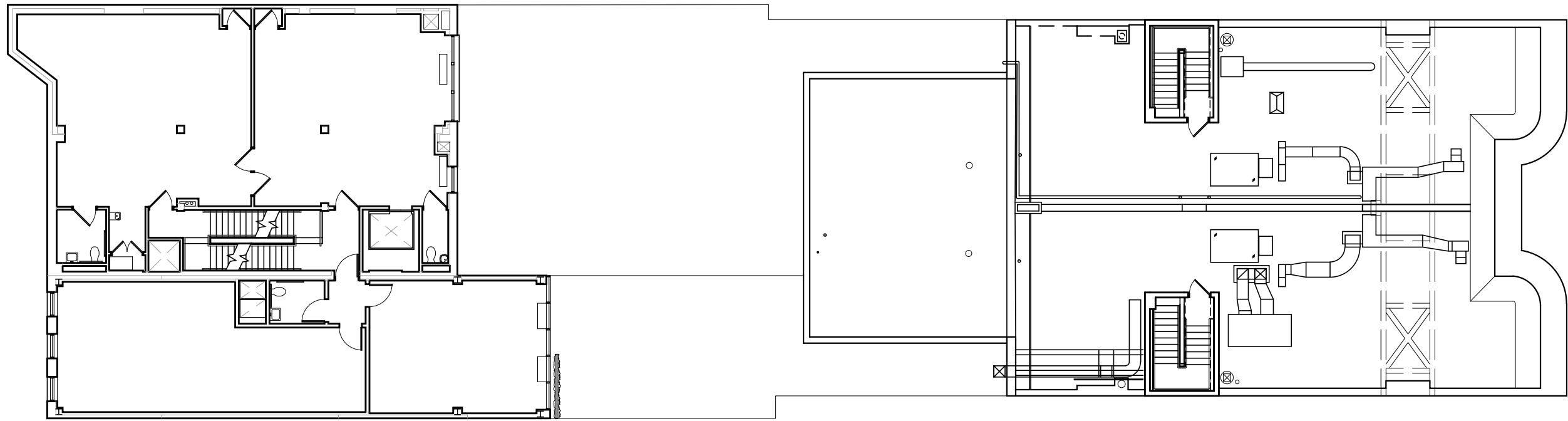
Date  
20 October

Issue  
IPC Set

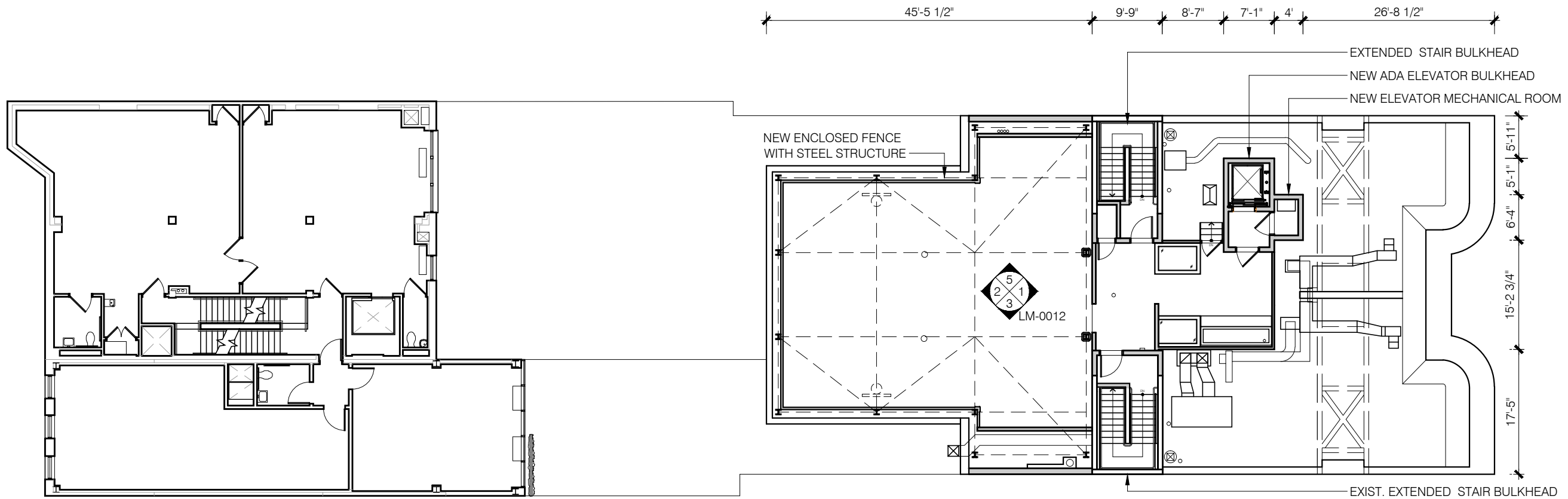
LM007

**Rodeph Shalom School**  
170 West 79th Street  
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1 EXISTING UPPER ROOF  
1/16"=1'-0"



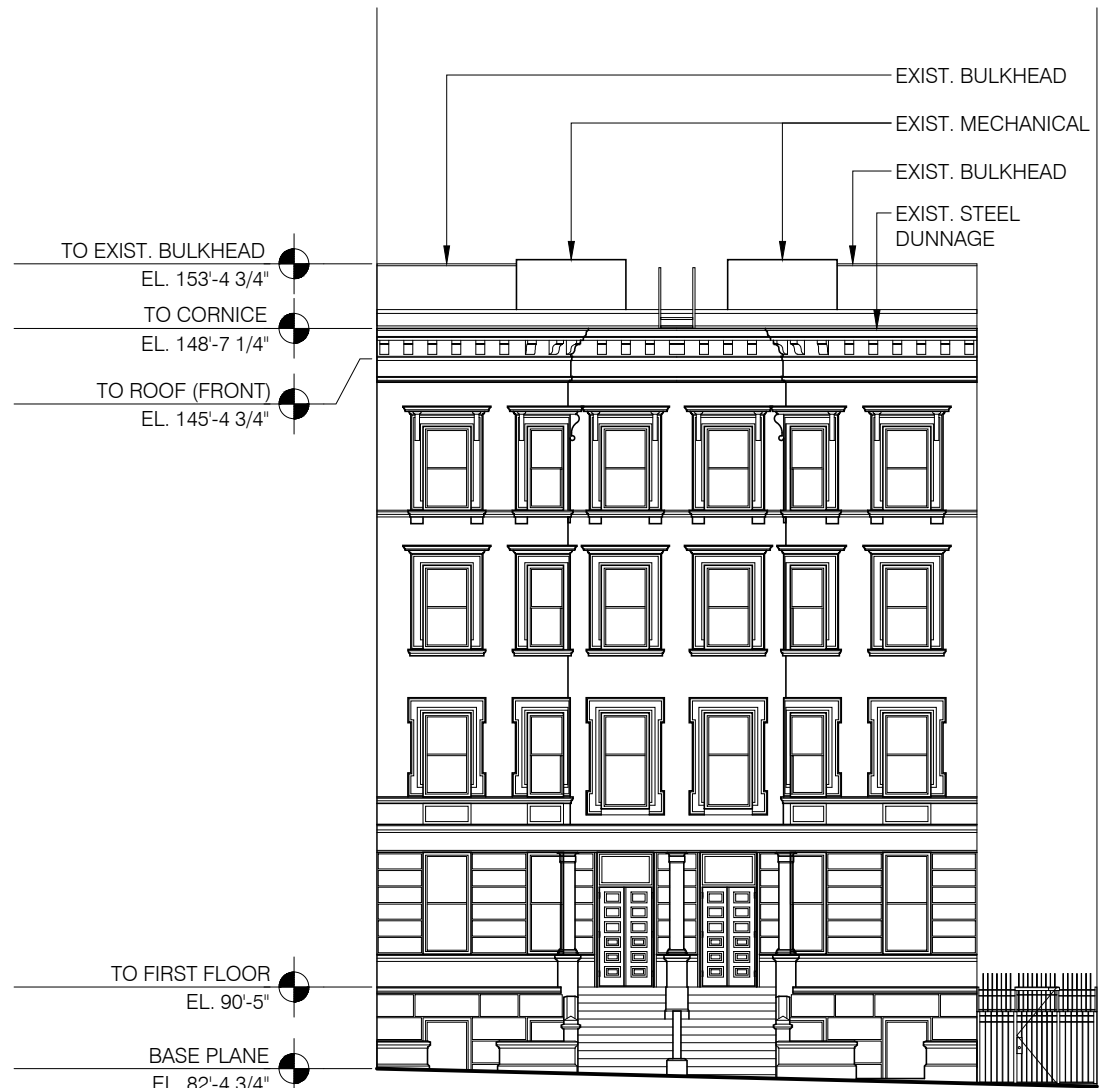
2 PROPOSED UPPER ROOF  
1/16"=1'-0"

**Scale**  
As Noted

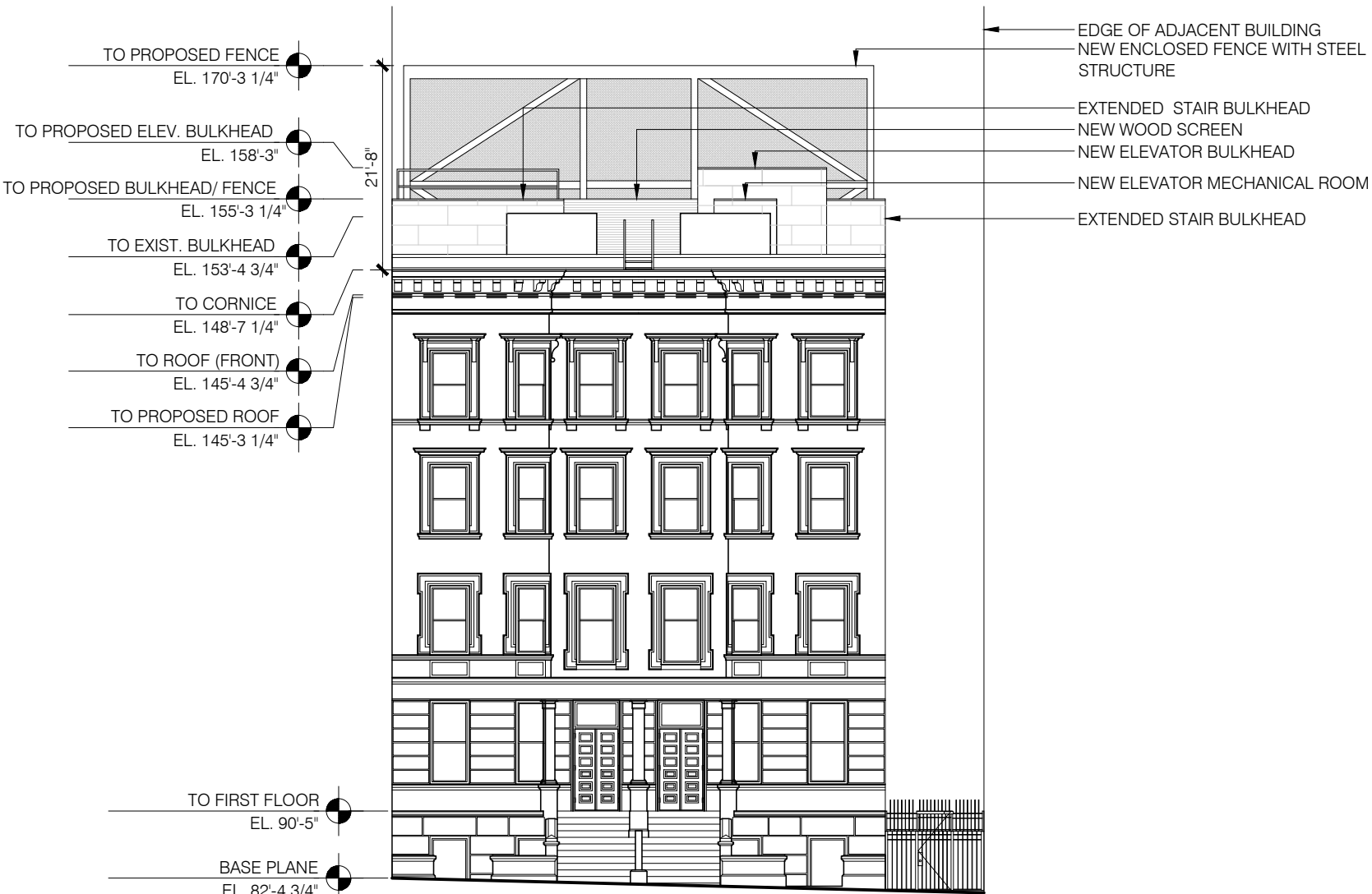
**Date** 20 October  
**Issue** IPC Set

**LM008**

Existing and  
Proposed Plans



1 79TH STREET EXISTING ELEVATION  
1/16"=1'-0"



2 79TH STREET PROPOSED ELEVATION  
1/16"=1'-0"

Scale

As Noted

Date

20 October

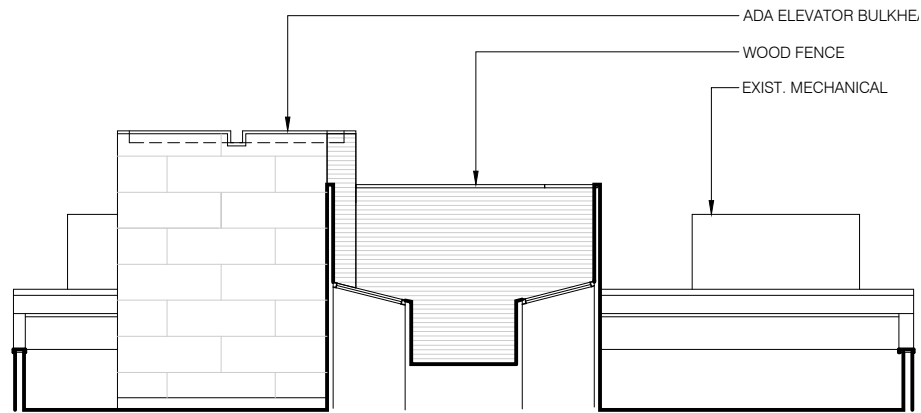
Issue

IPC Set

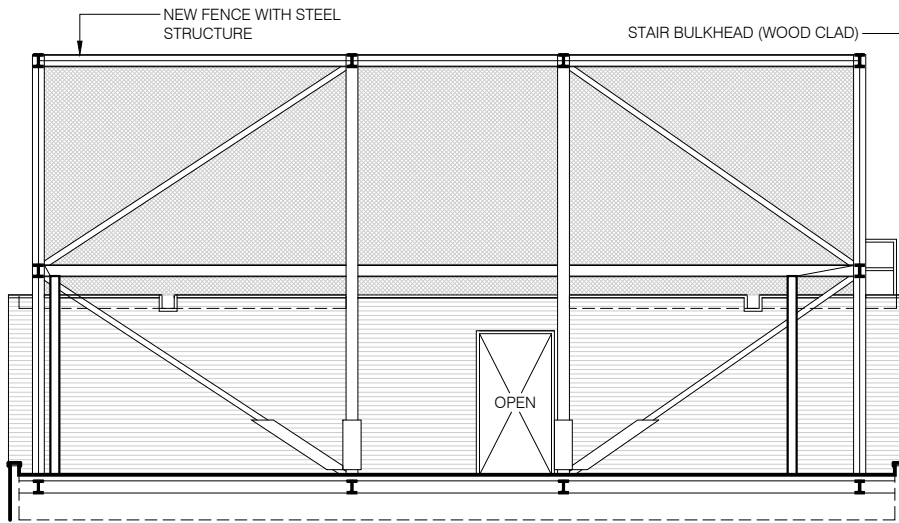
LM009

Existing and  
Proposed Elevations

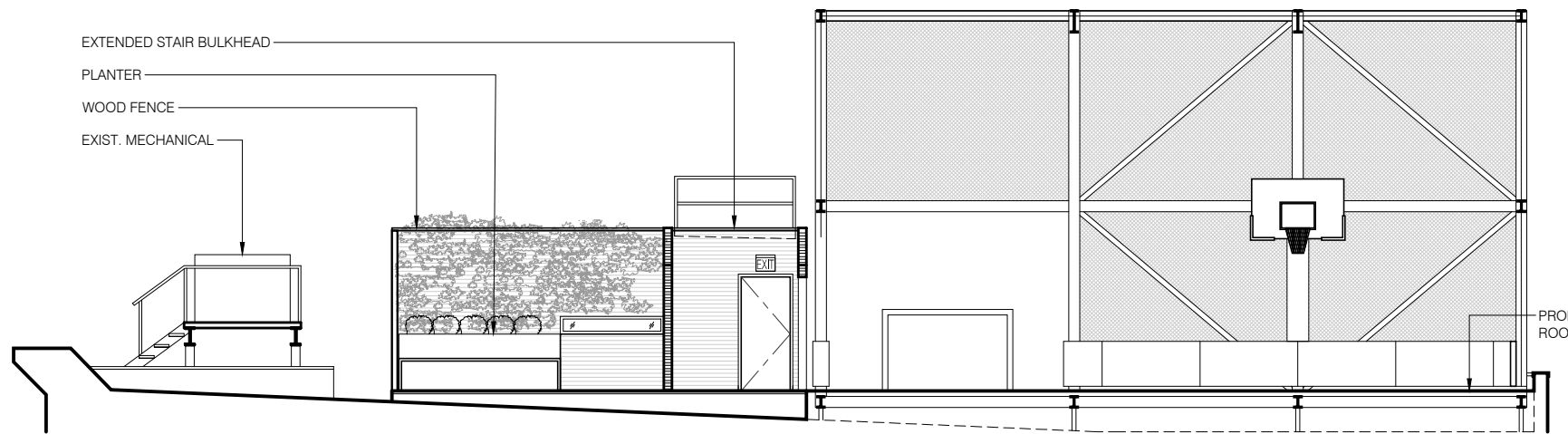




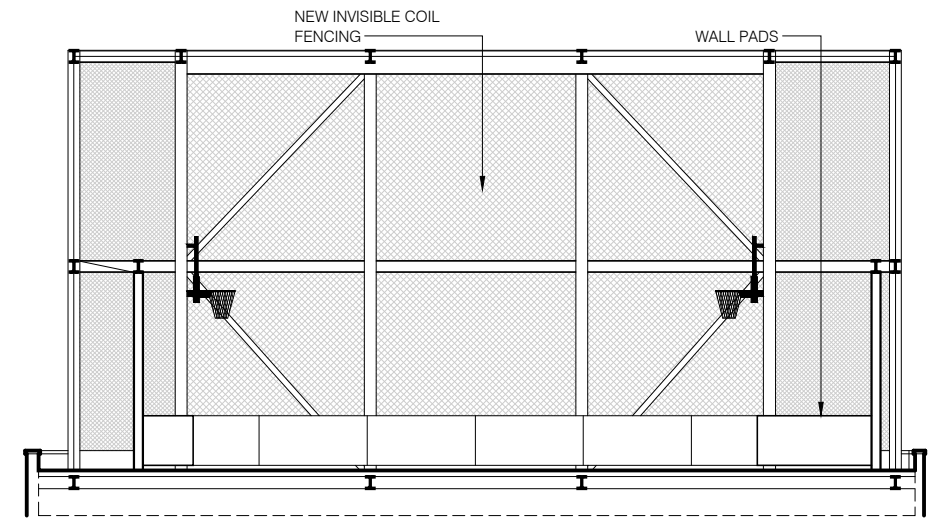
1 ELEVATION LOOKING NORTH  
3/32" = 1'-0"



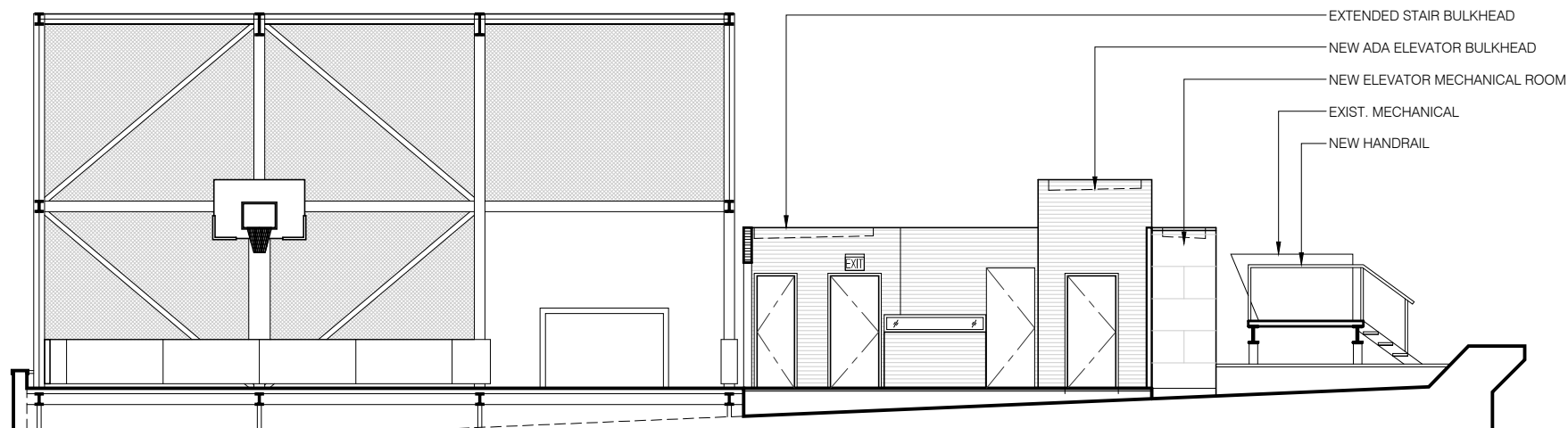
2 ELEVATION LOOKING NORTH  
3/32" = 1'-0"



3 ELEVATION LOOKING EAST  
3/32" = 1'-0"



4 ELEVATION LOOKING SOUTH  
3/32" = 1'-0"



5 ELEVATION LOOKING WEST  
3/32" = 1'-0"

Scale  
As Noted

Date  
20 October

Issue  
IPC Set

LM010

Upper Roof Deck  
Proposed Elevations





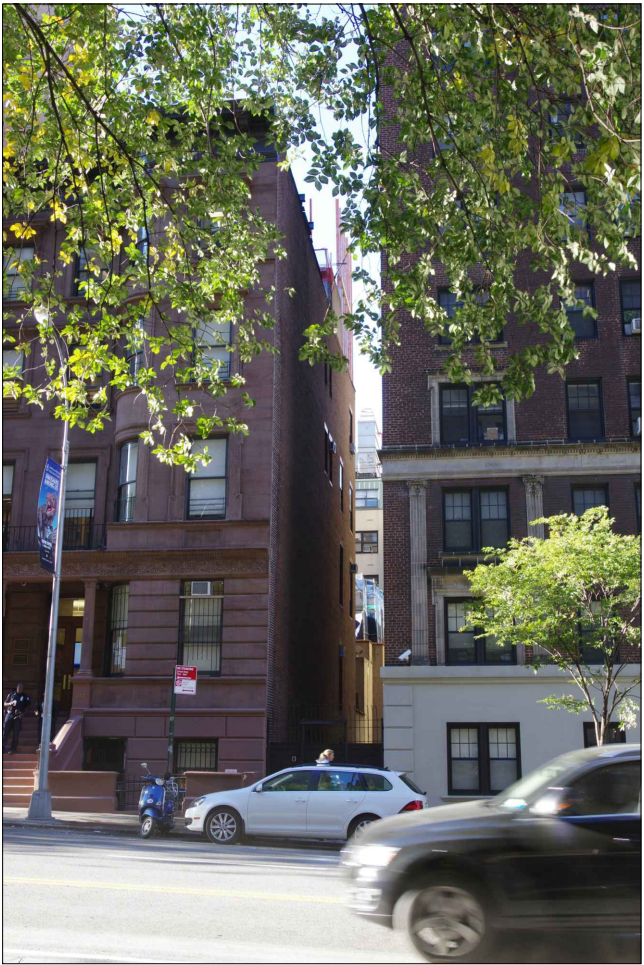
1 PHOTO OF MOCK-UP



2 PHOTO OF MOCK-UP



3 PHOTO OF MOCK-UP



4 PHOTO OF MOCK-UP

**Rodeph Shalom School**

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Architects  
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TOP OF NEW STRUCTURE

**Scale**

As Noted

**Date**

20 October

**Issue**

IPC Set

**LM011**

Mock-up  
Photographs





5 PHOTO OF MOCK-UP



6 PHOTO OF MOCK-UP



7 PHOTO OF MOCK-UP

**Rodeph Shalom School**  
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New York, NY 10024

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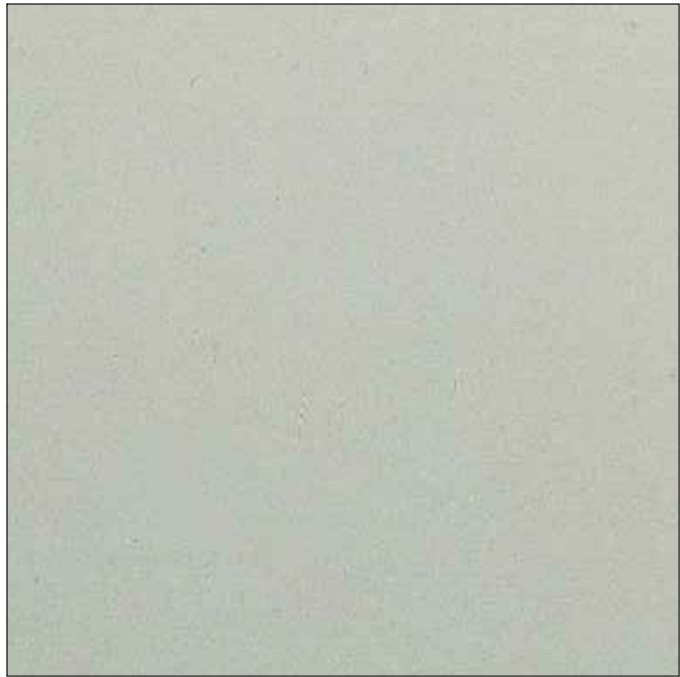
**Scale**  
As Noted

**Date**      **Issue**  
20 October      IPC Set

**LM012**

—Mock-up  
Photographs





FLOORING: Concrete Pavers



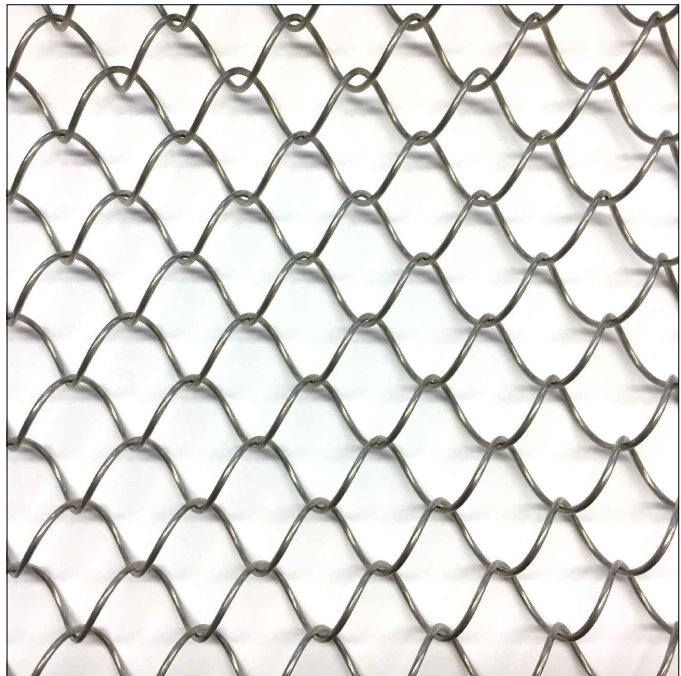
FLOORING: Poured in place rubber flooring,  
USSA, 60% 401 Green, 40% 104 Green



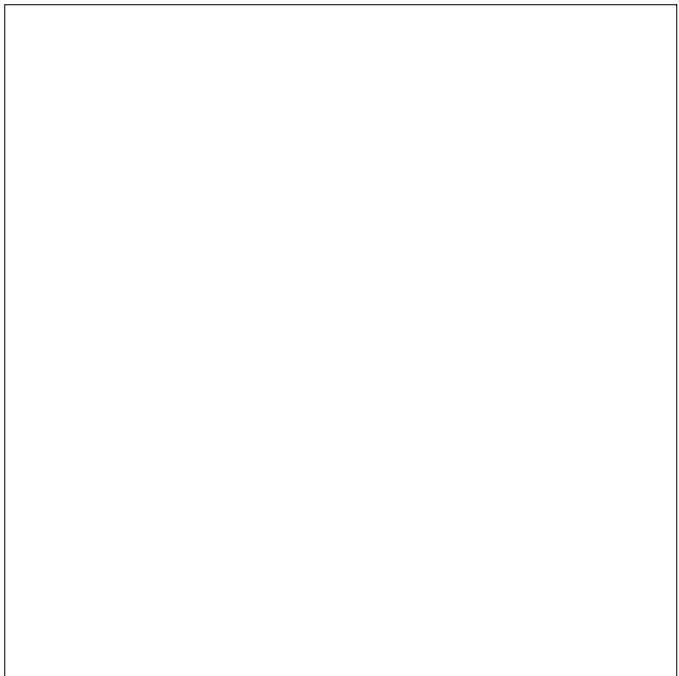
EXTERIOR CLADDING: Ipe Wood



EXTERIOR CLADDING: Cement Board



METALS: Invisible coil fencing



METALS: White painted steel and fencing