



1 BLOCK PLAN
LPC-1 SCALE: NTS



Upper West Side-Central Park West
Historic District
Manhattan
Designated April 24, 1990

Historic District Boundaries



2 LOCATION OF UPPER WEST SIDE
HISTORIC DISTRICT
LPC-1 SCALE: NTS

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:		
LPC SET		
REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

PROJ. NO.: 1521
DATE: 12.16.15
DRAWN BY: AK
SCALE: NTS

DWG.NO.:

LPC-1

DWG. TITLE: HISTORIC DISTRICT
BOUNDARIES



1
LPC-2

HISTORICAL TAX MAP
PHOTO, CA 1941
SCALE: NTS



2
LPC-2

CONTEMPORARY
PHOTO OF FACADE
SCALE: NTS

122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829	
	CLIENT:	
	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011	

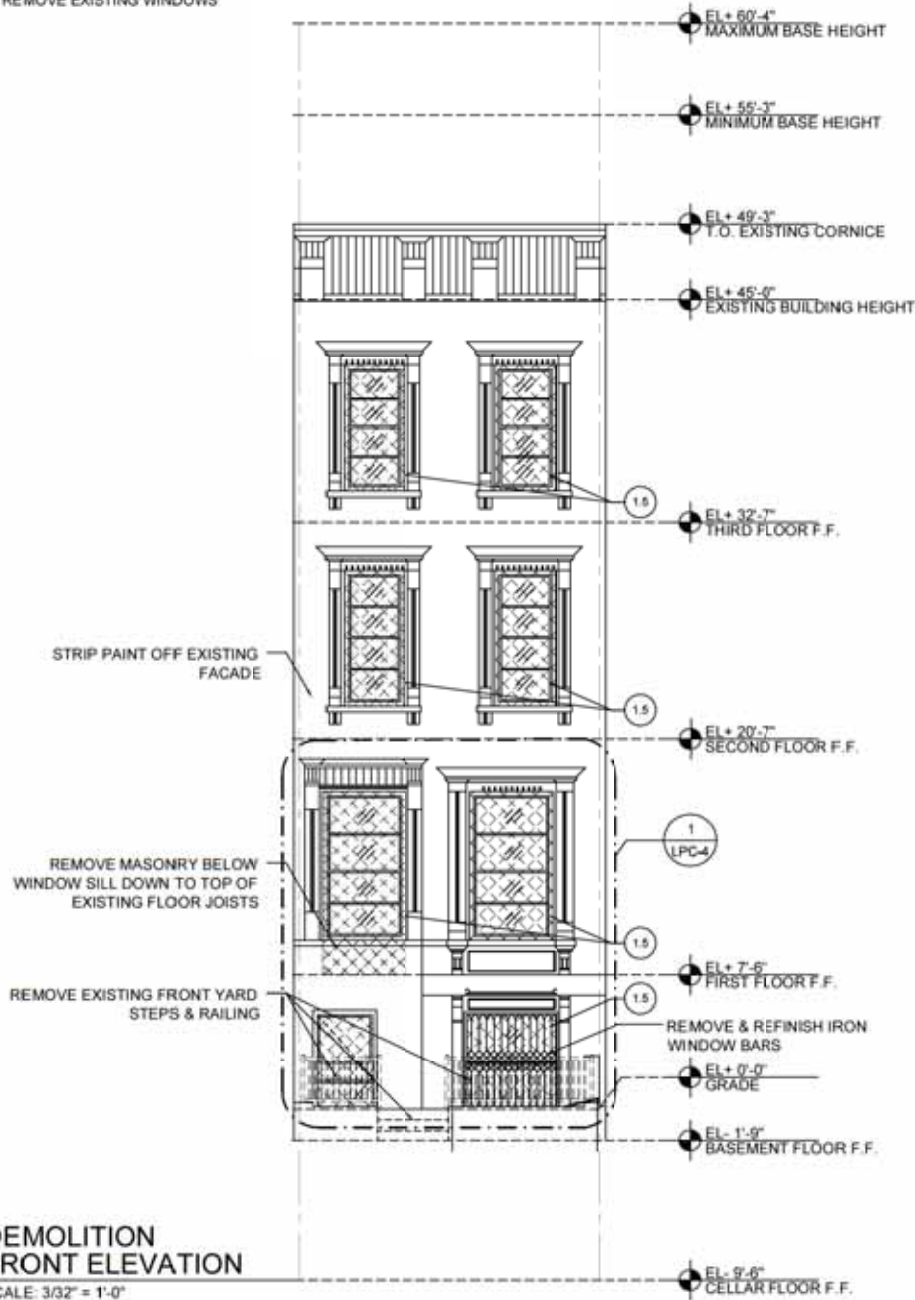
SET ISSUE:		
LPC SET		
REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	1/8"=1'-0"

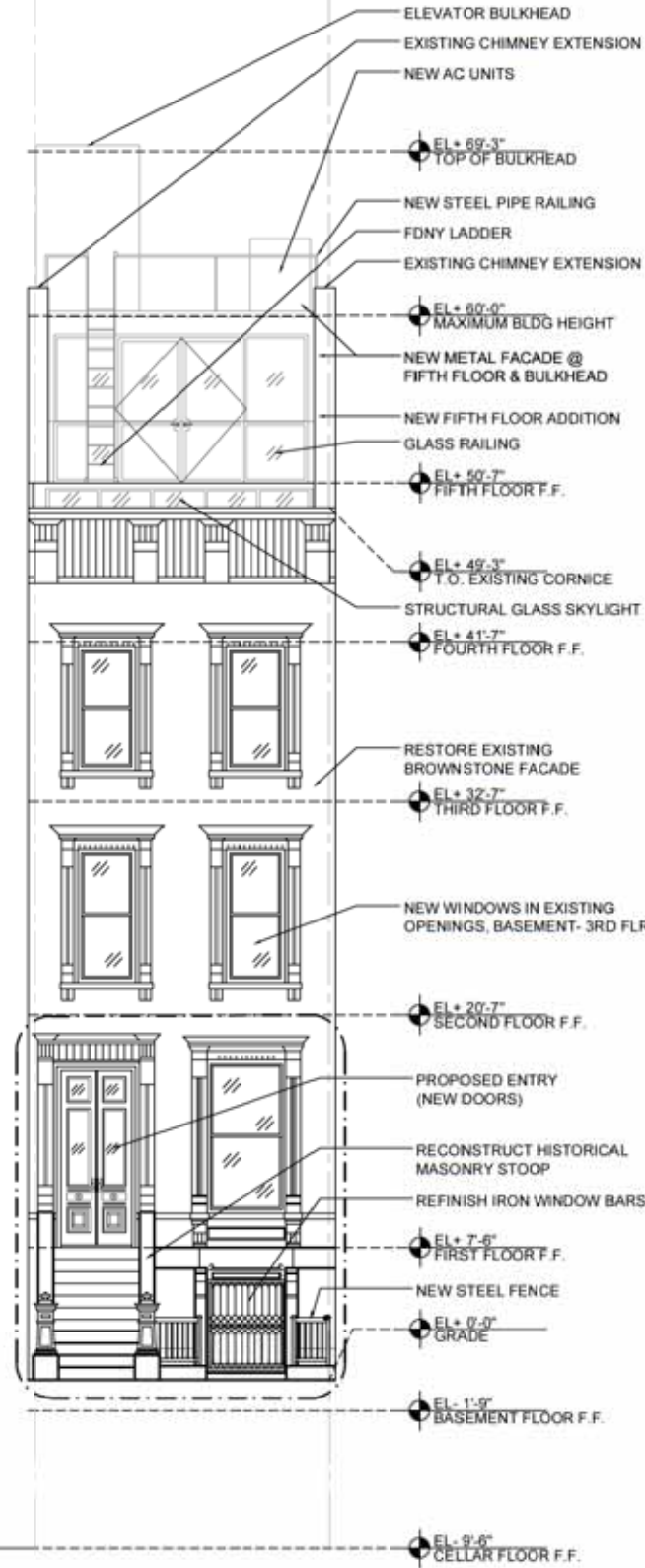
DWG.NO.:	LPC-2
DWG. TITLE:	
PHOTOGRAPH OF CONTEXT	

DEMOLITION LEGEND

- AREA OF DEMOLITION
- 1.4 REMOVE EXISTING REAR WALL
PROVIDE SHORING & SHORING
CALCULATIONS BY LICENSED
SHORING ENGINEER
- 1.5 REMOVE EXISTING WINDOWS



1 DEMOLITION FRONT ELEVATION
LPC-3 SCALE: 3/32" = 1'-0"



2 PROPOSED FRONT ELEVATION
LPC-3 SCALE: 3/32" = 1'-0"

BROWNSTONE RESURFACING SPECIFICATIONS:

PREPARATION OF THE SURFACE:
CUT BACK ALL DETERIORATED SURFACES TO BE REPAIRED TO A SOUND BASE WITH A TOOTHED CHISEL TO REMOVE ALL LOOSE STONE AND PROVIDE A ROUGH SURFACE.

MECHANICAL KEYING:
TO CREATE A MECHANICAL KEY OR HOLDING MECHANISM FOR THE PATCH, UNDERCUT THE EDGES OF THE PATCH TO FORM A SLIGHT DOVETAIL AND DRILL 1/2 INCH DIAMETER HOLES 1/2 INCH DEEP, SPACED 2 TO 3 INCHES APART IN STAGGERED ROWS. THE ANGLE OF THE HOLES SHOULD BE VARIED.

APPLICATION OF PATCHING MATERIAL:
PROPER APPLICATION OF PATCHING MATERIAL INVOLVES SEVERAL STEPS:
1. SURFACE WASHING: WASH THE PREPARED SURFACE WITH WATER AND A SOFT BRUSH;
2. SLURRY COAT: APPLY A THIN SLURRY COAT WITH A BRUSH AND RUB VIGOROUSLY INTO THE SURFACE. THE SLURRY COAT CONSISTS OF: 1 PART WHITE PORTLAND CEMENT; 2 PARTS TYPE S LIME; 6 PARTS SAND; MIX WITH WATER.
3. SCRATCH COAT: THE FIRST SCRATCH COAT SHOULD BE PRESSED INTO THE SLURRY COAT WHILE THE SLURRY COAT IS STILL MOIST. EACH SCRATCH COAT SHOULD BE SCORED BEFORE INITIAL DRYING TO PROVIDE A KEY FOR FOLLOWING COATS. NO COAT SHOULD EXCEED 3/8 INCH IN THICKNESS. ABOUT 2 TO 4 HOURS SHOULD BE ALLOWED BETWEEN APPLICATIONS OF SCRATCH COATS. SCRATCH COATS CONSIST OF: 1 PART WHITE PORTLAND CEMENT; 1 PART TYPE 'S' LIME; 6 PARTS SAND; MIX WITH WATER.
4. FINISH COAT: THE FINISH COAT IS APPLIED ONCE THE PATCH HAS BEEN BUILT UP TO THE REQUIRED THICKNESS. ONLY THIS LAST COAT IS FORMULATED TO MATCH THE COLOR AND TEXTURE OF THE STONE BEING REPAIRED. THE FINISH COAT FORMULATION IS: 1 PART WHITE PORTLAND CEMENT; 1 PART TYPE 'S' LIME; 2-3 PARTS SAND; 3-4 PARTS CRUSHED STONE; DRY PIGMENTS, MIX WITH WATER.

SURFACE FINISHING:
SURFACE SHOULD BE FINISHED TO MATCH THE ORIGINAL STONE TOOLING OR EXISTING CONDITION. POSSIBLE SURFACE TREATMENTS INCLUDE DAMP SPONGING (STIPPLING), DRY TOWELING WITH A WOODEN FLOAT, AND ACID ETCHING WITH DILUTED HYDROFLUORIC ACID, ALL EXECUTED WHILE THE PATCH IS PARTIALLY CURED TO LEATHER HARDNESS.

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:

REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

LPC SET

PROJ. NO.: 1521

DATE: 12.16.15

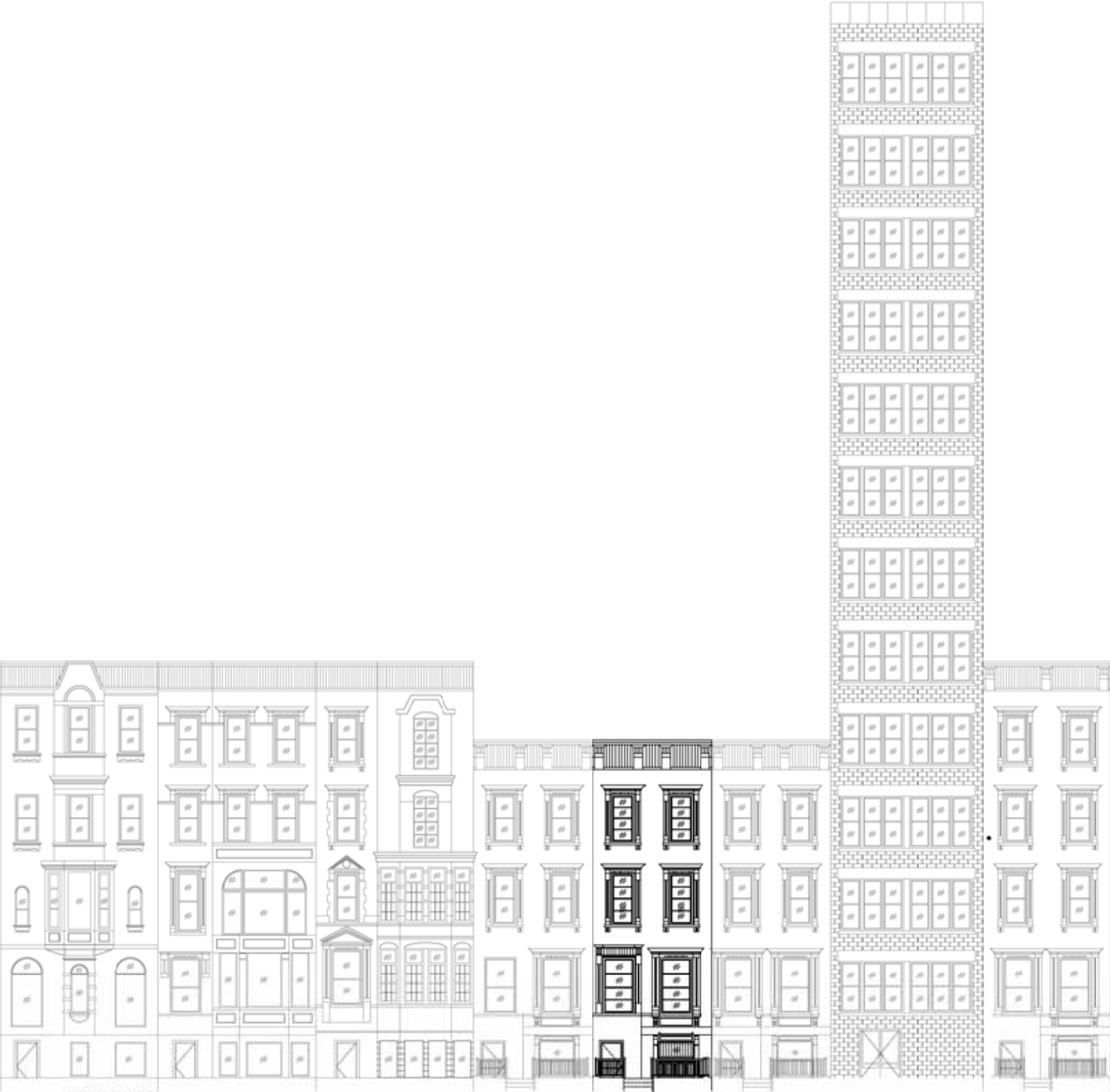
DRAWN BY: AK

SCALE: 3/32"=1'-0"

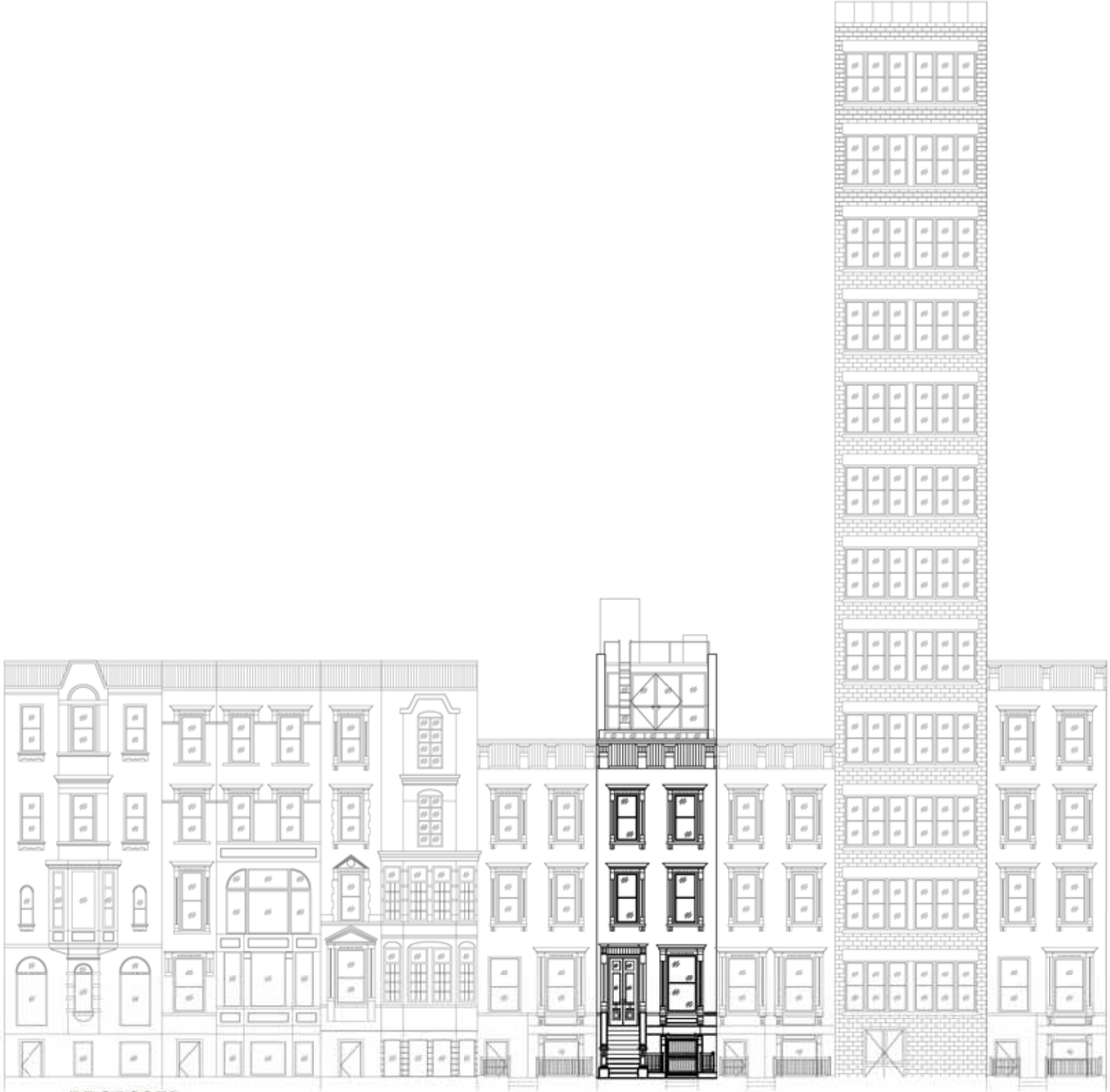
DWG.NO.:

LPC-3

DWG. TITLE: EXISTING & PROPOSED FRONT ELEVATIONS



1 EXISTING
FRONT ELEVATION CONTEXT
LPC-3A SCALE: 1/20" = 1'-0"



2 PROPOSED
FRONT ELEVATION CONTEXT
LPC-3A SCALE: 1/20" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT: **BOSTUDIO ARCHITECTURE**
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT: 122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:		
LPC SET		
REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: 3/32"=1'-0"

DWG.NO.:

LPC-3A

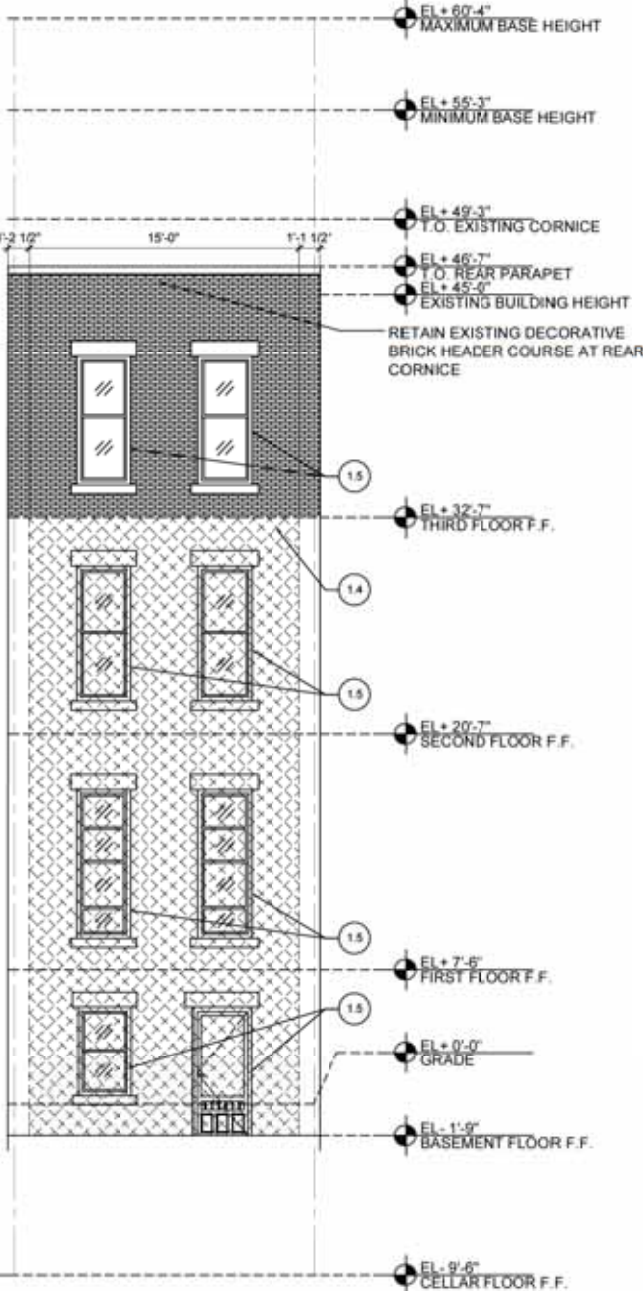
DWG. TITLE: EXISTING & PROPOSED
FRONT ELEVATION CONTEXT

DEMOLITION LEGEND

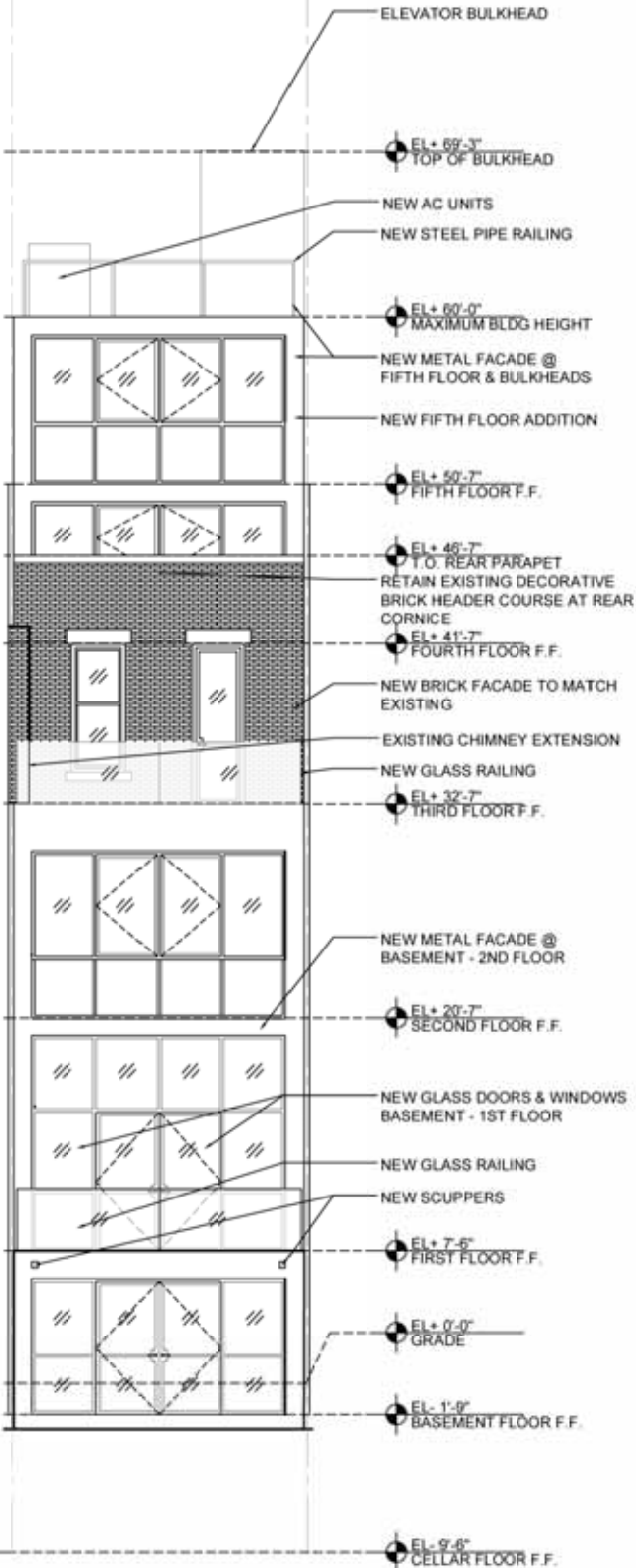
- AREA OF DEMOLITION
- 1.4

REMOVE EXISTING REAR WALL
PROVIDE SHORING & SHORING
CALCULATIONS BY LICENSED
SHORING ENGINEER
- 1.5

REMOVE EXISTING WINDOWS

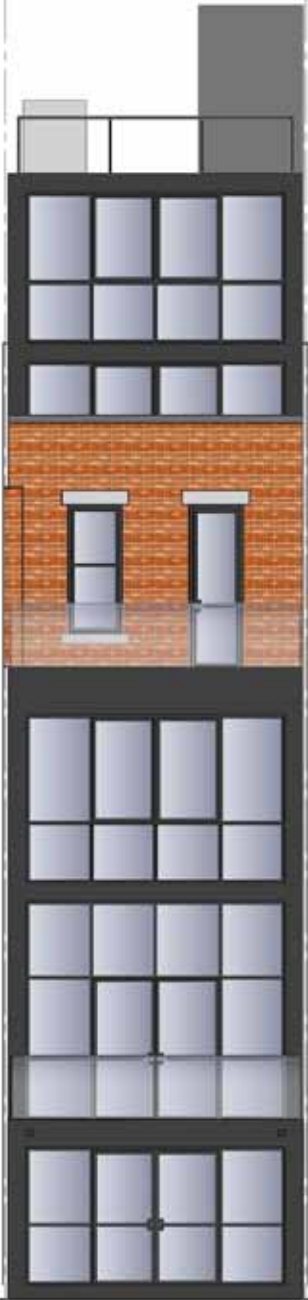


1 DEMOLITION
REAR ELEVATION
LPC-4 SCALE: 3/32" = 1'-0"



2 PROPOSED
REAR ELEVATION
LPC-4 SCALE: 3/32" = 1'-0"

3 PROPOSED
REAR ELEVATION MATERIALS
LPC-4 SCALE: 3/32" = 1'-0"



122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:

REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

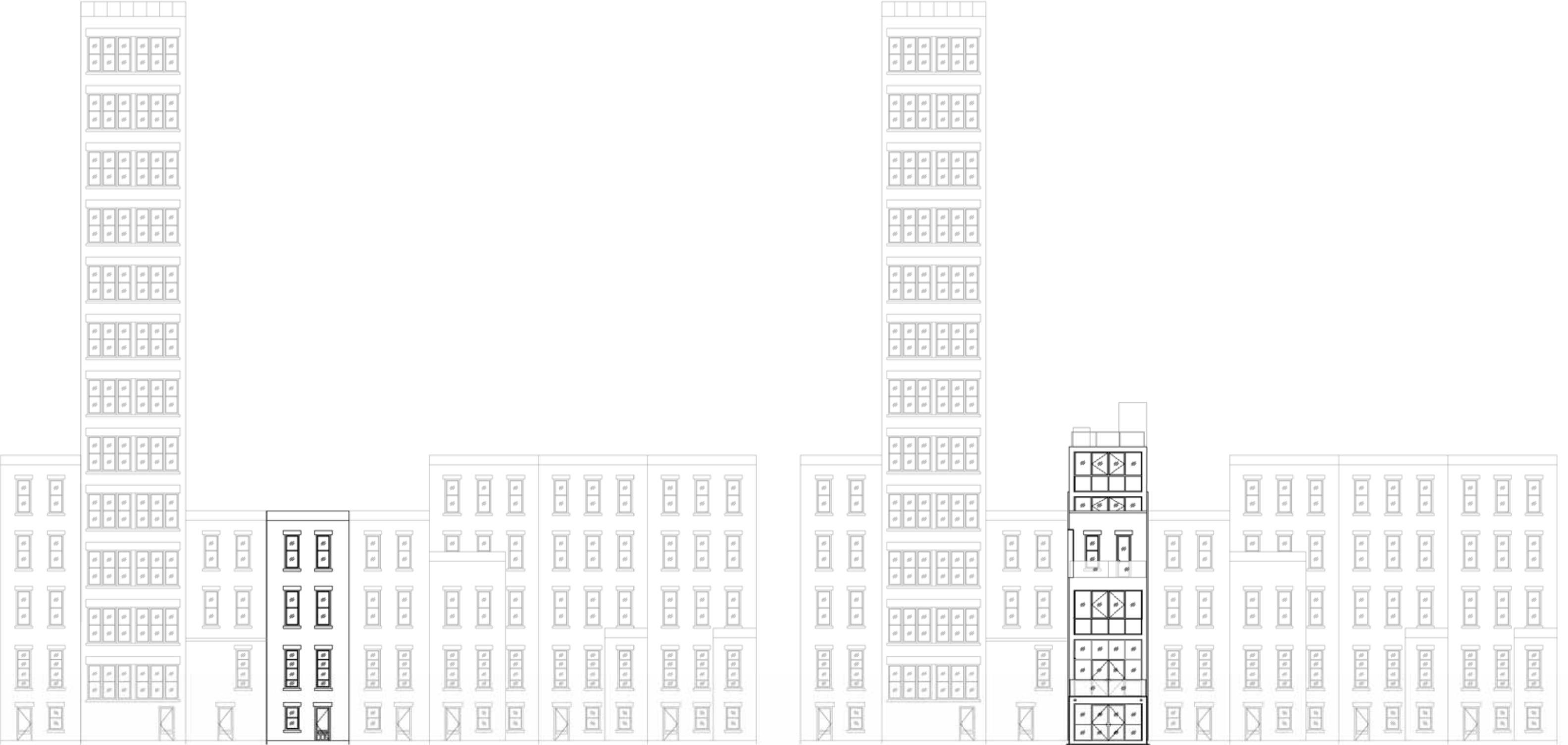
LPC SET

PROJ. NO.: 1521
DATE: 12.16.15
DRAWN BY: AK
SCALE: 3/32"=1'-0"

DWG.NO.:

LPC-4

DWG. TITLE: EXISTING & PROPOSED
REAR ELEVATIONS



1
LPC-4A

EXISTING
REAR ELEVATION CONTEXT
SCALE: 1/20" = 1'-0"

2
LPC-4A

PROPOSED
REAR ELEVATION CONTEXT
SCALE: 1/20" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

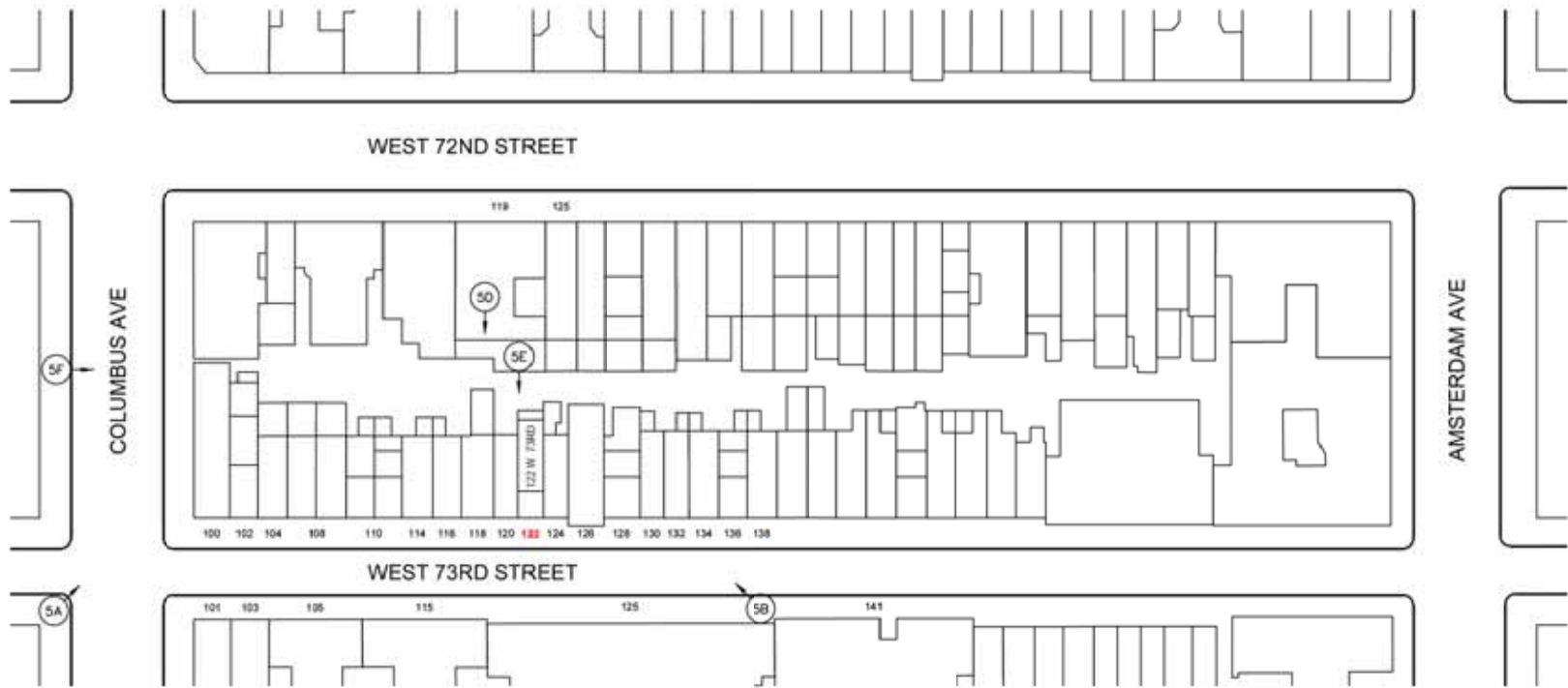
DRAWN BY: AK

SCALE: 3/32"=1'-0"

DWG.NO.:

LPC-4A

DWG. TITLE: EXISTING & PROPOSED
REAR ELEVATION CONTEXT



2 | W. 73RD STREET
BLOCK/ KEY PLAN
LPC-5 | NOT TO SCALE



1 | WEST 73RD STREET
EXISTING CONTEXT PHOTO
LPC-5 | NOT TO SCALE

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-5

DWG. TITLE: WEST 73RD STREET
CONTEXT PHOTOS



1 N.E. CORNER OF COLUMBUS & W. 73RD ST.
LOOKING SOUTHWEST
LPC-5A (ROOFTOP ADDITION NOT VISIBLE)



2 VIEW FROM 101 W. 73RD ST.
LOOKING SOUTHWEST
LPC-5A (ROOFTOP ADDITION NOT VISIBLE)



3 122 W. 73RD ST.
PROPOSED CHIMNEY
EXTENSION
VIEW FROM 105 W. 73RD ST.
LOOKING SOUTHWEST
LPC-5A (PROPOSED CHIMNEY EXTENSION VISIBLE)



4 122 W. 73RD ST.
PROPOSED CHIMNEY
EXTENSION
VIEW FROM 115 W. 73RD ST.
LOOKING SOUTHWEST
LPC-5A (PROPOSED CHIMNEY EXTENSION VISIBLE)

122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829
CLIENT:	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	NTS

DWG.NO.:	LPC-5A
DWG. TITLE:	
122 W. 73RD ST. MOCKUP SIGHTLINE PHOTOS	



1 VIEW FROM 125 W. 73RD ST.
LOOKING SOUTH
LPC-5B (PROPOSED CHIMNEY EXTENSION VISIBLE)



2 VIEW FROM 125 W. 73RD ST.
LOOKING SOUTHEAST
LPC-5B (PROPOSED CHIMNEY EXTENSION VISIBLE)



3 VIEW FROM 125 W. 73RD ST.
LOOKING SOUTHEAST
LPC-5B (ROOFTOP ADDITION NOT VISIBLE)



4 VIEW FROM 141 W. 73RD ST.
LOOKING SOUTHEAST
LPC-5B (ROOFTOP ADDITION NOT VISIBLE)

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

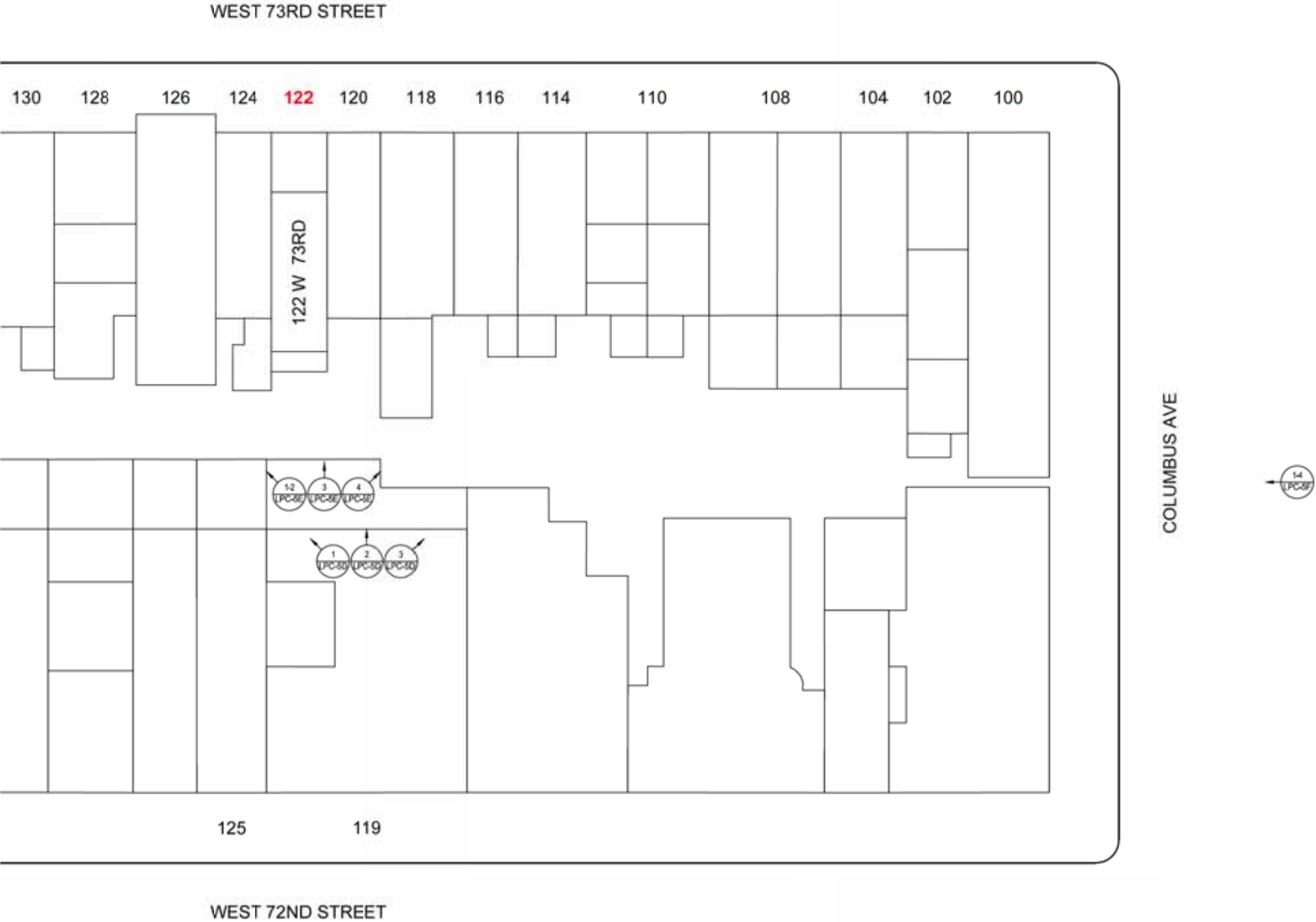
DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-5B

DWG. TITLE: 122 W. 73RD ST. MOCKUP
SIGHTLINE PHOTOS



1 122 W. 73RD ST.
BIRD'S EYE VIEW
LPC-5C NO SCALE

2 122 W. 73RD ST. REAR YARD VIEWS
PARTIAL BLOCK DIAGRAM
LPC-5C SCALE: 1/2"= 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT: **BOSTUDIO ARCHITECTURE**
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT: 122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

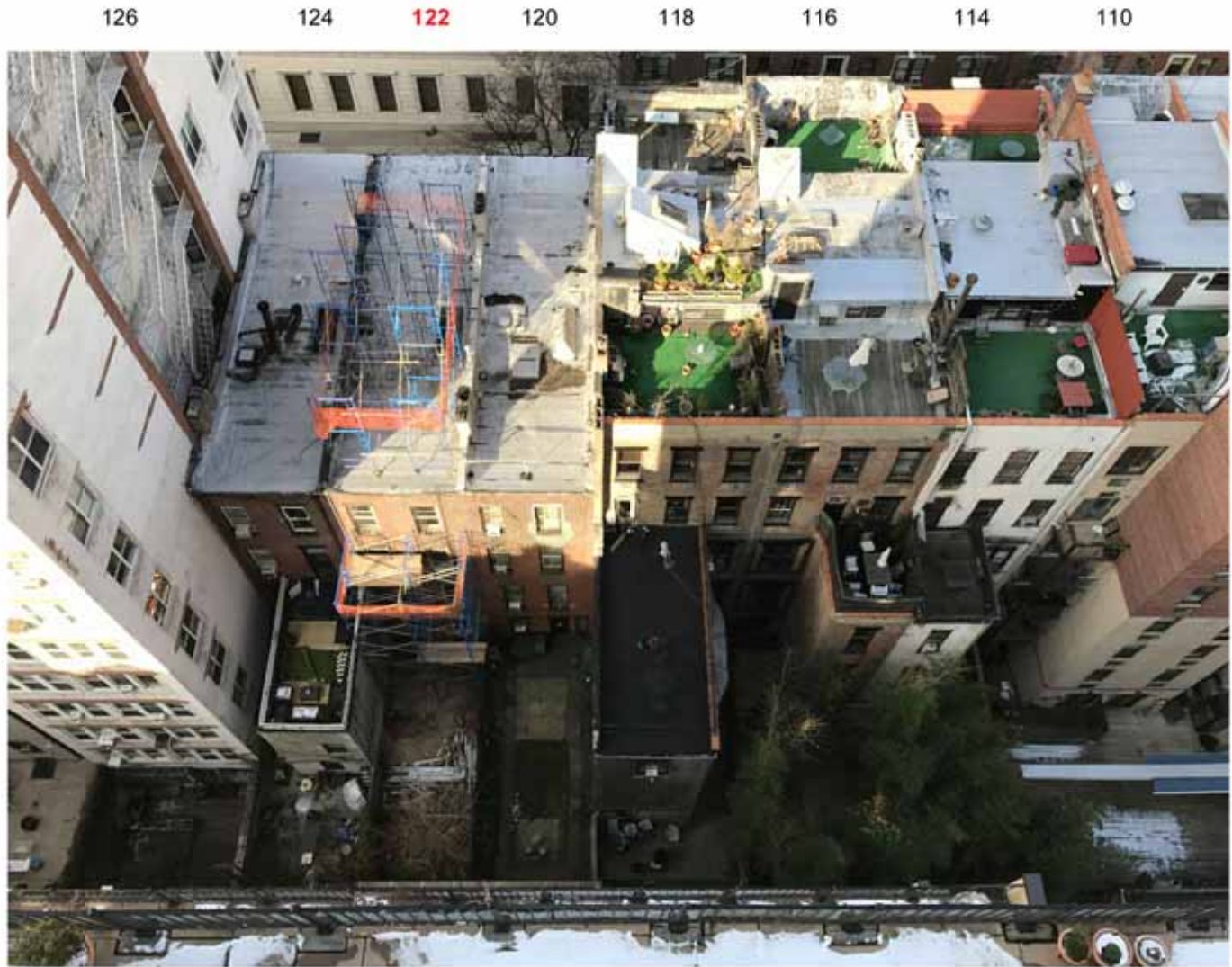
DWG.NO.:

LPC-5C

DWG. TITLE: REAR YARD PHOTOS



1 VIEW FROM 16TH FL. OF 119 W. 72ND ST.
LOOKING NORTHWEST
LPC-5D NO SCALE



2 VIEW FROM 16TH FL. OF 119 W. 72ND ST.
LOOKING NORTH
LPC-5D NO SCALE



3 VIEW FROM 16TH FL. OF 119 W. 72ND ST.
LOOKING NORTHEAST
LPC-5D NO SCALE

NOTE: TOP OF ORANGE NETTING INDICATES
TOP OF PROPOSED PARAPETS.

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-5D

DWG. TITLE: REAR YARD PHOTOS

122 W. 73RD ST.
PROPOSED REAR ADDITION



1 VIEW FROM 2ND FL. OF 119 W. 72ND ST.
LOOKING NORTHWEST
LPC-5E NO SCALE

122 W. 73RD ST.
PROPOSED ROOFTOP ADDITION



2 VIEW FROM 2ND FL. OF 119 W. 72ND ST.
LOOKING NORTHWEST
LPC-5E NO SCALE



3 VIEW FROM 2ND FL. OF 119 W. 72ND ST.
LOOKING NORTH
LPC-5E NO SCALE



4 VIEW FROM 2ND FL. OF 119 W. 72ND ST.
LOOKING NORTHEAST
LPC-5E NO SCALE

NOTE: TOP OF ORANGE NETTING INDICATES
TOP OF PROPOSED PARAPETS.

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-5E

DWG. TITLE: 122 W. 73RD STREET
REAR YARD PHOTOS

122 W. 73RD ST.
PROPOSED REAR ADDITION



1 122 W. 73RD ST. REAR ADDITION
VIEW FROM EAST SIDE OF COLUMBUS AVE.
LPC-5F NO SCALE

122 W. 73RD ST.
PROPOSED REAR ADDITION



2 122 W. 73RD ST. REAR ADDITION
VIEW FROM EAST SIDE OF COLUMBUS AVE.
LPC-5F NO SCALE

122 W. 73RD ST.
PROPOSED REAR ADDITION



3 122 W. 73RD ST. REAR ADDITION
VIEW FROM EAST SIDE OF COLUMBUS AVE.
LPC-5F NO SCALE



4 122 W. 73RD ST. REAR ADDITION
VIEW FROM EAST SIDE OF COLUMBUS AVE.
LPC-5F (ADDITION NOT VISIBLE)

NOTE: TOP OF ORANGE NETTING INDICATES
TOP OF PROPOSED PARAPETS.

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

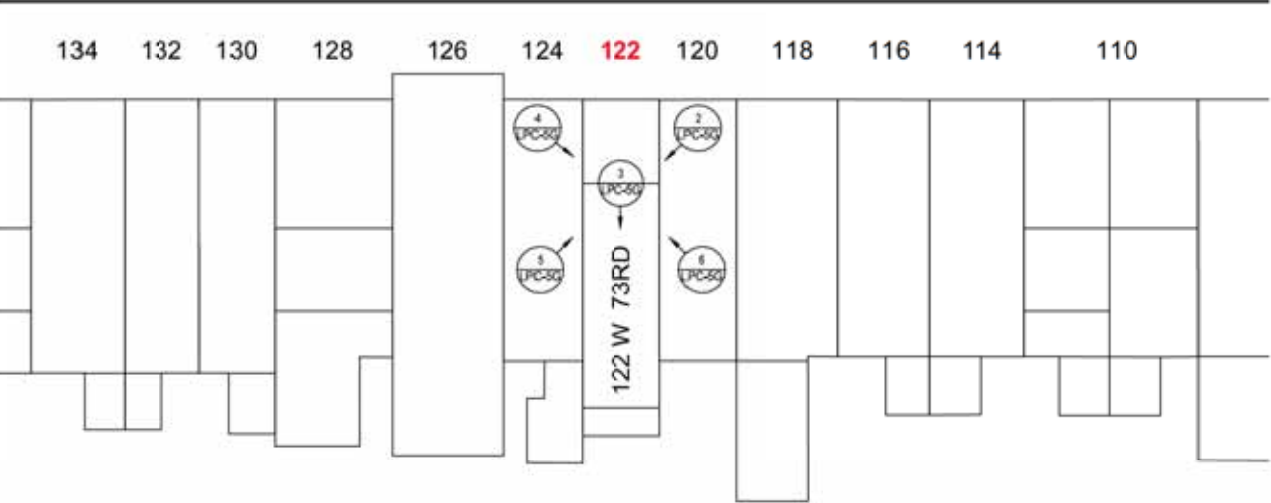
SCALE: NTS

DWG.NO.:

LPC-5F

DWG. TITLE: 122 W. 73RD ST. MOCKUP
SIGHTLINE PHOTOS

WEST 73RD STREET



1 122 W. 73RD ST. ROOFTOP VIEWS
PARTIAL BLOCK DIAGRAM
LPC-5G SCALE: 1/2" = 1'-0"



2 122 W. 73RD ST. ROOFTOP ADDITION
VIEW FROM ROOF OF 120 W. 73RD ST.
LPC-5G NO SCALE



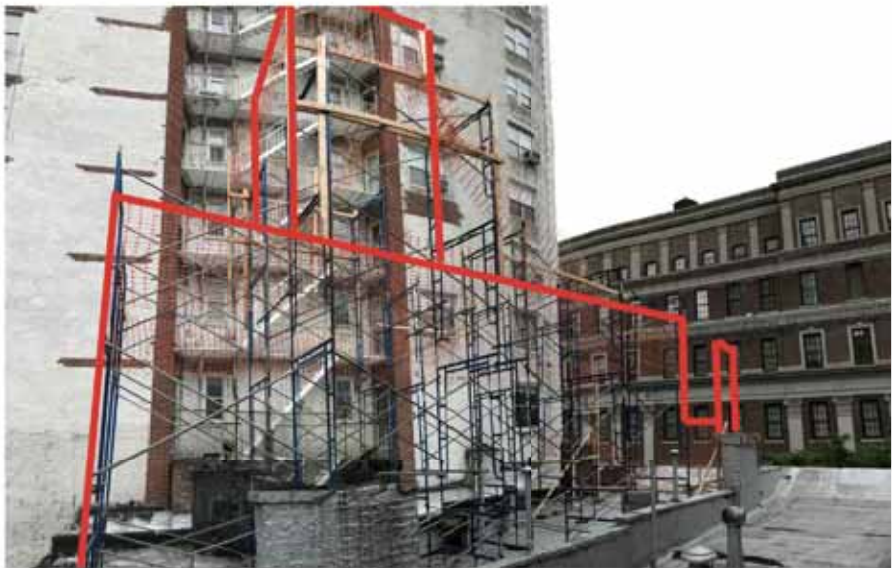
3 122 W. 73RD ST. ROOFTOP ADDITION
VIEW FROM ROOF OF 122 W. 73RD ST.
LPC-5G NO SCALE



4 122 W. 73RD ST. ROOFTOP ADDITION
VIEW FROM ROOF OF 122 W. 73RD ST.
LPC-5G NO SCALE



5 122 W. 73RD ST. ROOFTOP ADDITION
VIEW FROM ROOF OF 124 W. 73RD ST.
LPC-5G NO SCALE



6 122 W. 73RD ST. ROOFTOP ADDITION
VIEW FROM ROOF OF 124 W. 73RD ST.
LPC-5G NO SCALE

NOTE: TOP OF ORANGE NETTING INDICATES
TOP OF PROPOSED PARAPETS.

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521
DATE: 12.16.15
DRAWN BY: AK
SCALE: NTS

DWG.NO.:

LPC-5G

DWG. TITLE: 122 W. 73RD ST. MOCKUP
ROOFTOP PHOTOS



1 | EXISTING ROOF CONDITION
LOOKING NORTHEAST
LPC-12 NO SCALE



2 | EXISTING ROOF CONDITION
LOOKING SOUTHWEST
LPC-12 NO SCALE

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-5H

DWG. TITLE: ROOF PHOTOS

Basic Information:

Location:	122 West 73rd Street, Manhattan
Block:	1144
Lot:	141
Community Board:	107
Zoning District:	R8B
Zoning Map No.:	8C
Special Zoning District:	None
Landmarks District:	Upper West Side - Central Park West
Zoning Lot Area:	16,667' x 102.167' = 1,703 SF

RBB

Maximum Permitted Floor Area Ratio:
Residential: 4.00 (Quality Housing) (ZR 23 - 153)
Maximum Permitted Zoning Floor Area:
Residential: 4.00 X 1,703.00 SF = 6,812.00 ZSF
Maximum Permitted Total Zoning Floor Area: 6,812 ZSF

Existing Floor Area:	Gross FA	Zoning FA
Cellar Floor:	1,001 SF	0 SF
Basement Floor:	917 SF	917 SF
First Floor:	917 SF	917 SF
Second Floor:	917 SF	917 SF
Third Floor:	917 SF	917 SF
Total Existing Floor Area	4,669 SF	3,668 ZSF

Setback Regulations: (ZR 23 - 662)

1. Minimum setback on 73rd Street above the minimum base height or higher than the maximum base height must be 15 feet.

Maximum Heights: (ZR 23 - 662 (c))

Minimum Base Height: 55 feet

Maximum Base Height: 60 feet
Maximum Building Height: 60 feet

Maximum Building Height: 60 feet
Rear Setback Regulations: 30 feet

Rear Setback Regulations: 30 feet

Existing Building Height: 45 feet (4 Stories) As per C of O #89454 dated 9/1/1970.

Existing Building Setback: 6 feet

Proposed Building Setback: 6 feet (Complies)

Proposed Base Building Height = 58'-11"

Proposed Building Height = Permitted Building Height

59'-11" < 60'-0" (Complies)

Minimum Required Front Yard: None (ZR 23 - 45)
Minimum Required Side Yard: None (ZR 23 - 45)(c)

*Note: No side yards are required; however if any open area extending along the side lot line is provided at any level, it must measure at least eight feet wide for the entire length of the side lot line.

Minimum Required Rear Yard:
Residential: 30 feet* (ZFR 23 - 47)

Existing Front Yard: 6 feet
Existing Side Yards: None
Existing Rear Yards: 41 feet +/-

Proposed Yard Conditions:

Journal of Management Education 32(1)

Proposed Front Yard: 6 feet (COMPLIES)

Proposed Side Yards: None (COMPLIES)
Proposed Rear Yard: 30 feet (COMPLIES*)

Proposed Rear Yard: 30 feet (COMPLIES)

*Note: Greenhouses, non-commercial, limited to one story or 14' in height above adjoining grade, whichever is less, and limited to an area not exceeding 25 percent of a required rear yard.

Maximum Greenhouse Area	<	30% of Rear Yard
Proposed Rear Yard	=	500 SF
25% of 500 SF	=	125 SF
Proposed Greenhouse Area	=	89 SF
89 SF	<	125 SF (COMPLIES)



122 W. 73rd St.
New York, NY
10023

ARCHITECT: **BOSTUDIO ARCHITECTURE**
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT: 122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:

REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

LPC SET

PROJ. NO.: 1521

DATE: 12.16.15

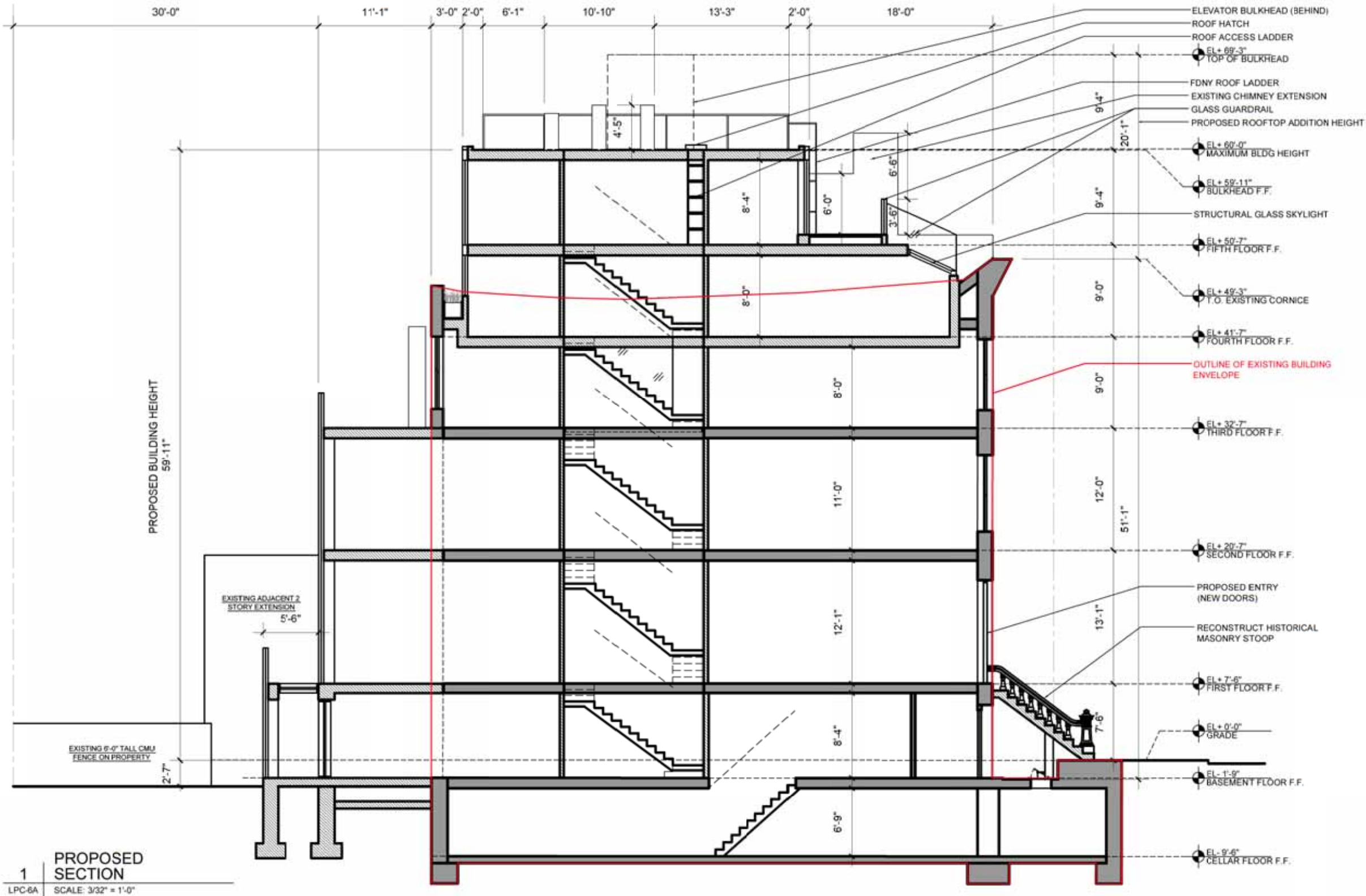
DRAWN BY: AK

SCALE: 3/32"=1'-0"

DWG.NO.:

LPC-6

DWG. TITLE: EXISTING SECTION



ZONING INFORMATION (PROPOSED):

Basic Information

Location:	122 West 73rd Street, Manhattan
Block:	1444
Lot:	141
Community Board:	107
Zoning District:	R8B
Zoning Map No.:	8C
Special Zoning District:	None
Landmarks District:	Upper West Side - Central Park West
Zoning Lot Area:	18,667' x 102.187' = 1,703 SF

Zoning Bulk Regulations:

R8B	
Maximum Permitted Floor Area Ratio:	
Residential: 4.00 - (Quality Housing)	(ZR 23 - 153)
Maximum Permitted Zoning Floor Area:	
Residential: 4.00 X 1,703.00 SF = 6,812.00 ZSF	
Maximum Permitted Total Zoning Floor Area:	6,812 ZSF

Proposed Zoning Building Conditions:

Cellar Floor:	1,001 SF	0 SF
Basement Floor:	1,188 SF	1,188 SF
First Floor:	1,089 SF	1,089 SF
Second Floor:	1,089 SF	1,089 SF
Third Floor:	1,089 SF	1,089 SF
Fourth Floor:	1,080 SF	1,080 SF
Fifth Floor:	786 SF	786 SF
Bulkhead:	138 SF	0 SF
Total Proposed F.A.	7,754 SF	6,321 ZSF

Proposed Total Zoning Area	<	Maximum Permitted Total Zoning Floor Area
6,321 ZSF	<	6,812 ZSF (COMPLIES)

Height and Setback Regulations:

Setback Regulations: (ZR 23 - 662)
1. Minimum setback on 73rd Street above the minimum base height or higher than the maximum base height must be 15 feet.

Maximum Heights: (ZR 23 - 662 (c))
Minimum Base Height: 55 feet
Maximum Base Height: 60 feet
Maximum Building Height: 60 feet
Rear Setback Regulations: 30 feet

Existing Building Height: 45 feet (4 Stories) As per C of O #09454 dated 9/1/1970.

Existing Building Setback: 6 feet
Proposed Building Setback: 6 feet (Complies)
Proposed Base Building Height: 59'-11"

Proposed Building Height: Permitted Building Height
59'-11" < 60'-0" (Complies)

Yard Requirements:

Minimum Required Front Yard: None (ZR 23 - 45)
Minimum Required Side Yard: None (ZR 23 - 462)(c))

*Note: No side yards are required; however if any open area extending along the side lot line is provided at any level, it must measure at least eight feet wide for the entire length of the side lot line.

Minimum Required Rear Yard:
Residential: 30 feet* (ZR 23 - 47)

Existing Yard Conditions:

Existing Front Yard: 6 feet
Existing Side Yards: None
Existing Rear Yards: 41 feet +/-

Proposed Yard Conditions:

Proposed Front Yard: 6 feet (COMPLIES)
Proposed Side Yards: None (COMPLIES)
Proposed Rear Yard: 30 feet (COMPLIES)*

*Note: Greenhouses, non-commercial, limited to one story or 14' in height above adjoining grade, whichever is less, and limited to an area not exceeding 25 percent of a required rear yard.

Maximum Greenhouse Area	<	30% of Rear Yard
Proposed Rear Yard	=	500 SF
25% of 500 SF	=	125 SF
Proposed Greenhouse Area	=	89 SF
89 SF	<	125 SF (COMPLIES)

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:		
REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

LPC SET

PROJ. NO.: 1521

DATE: 12.16.15

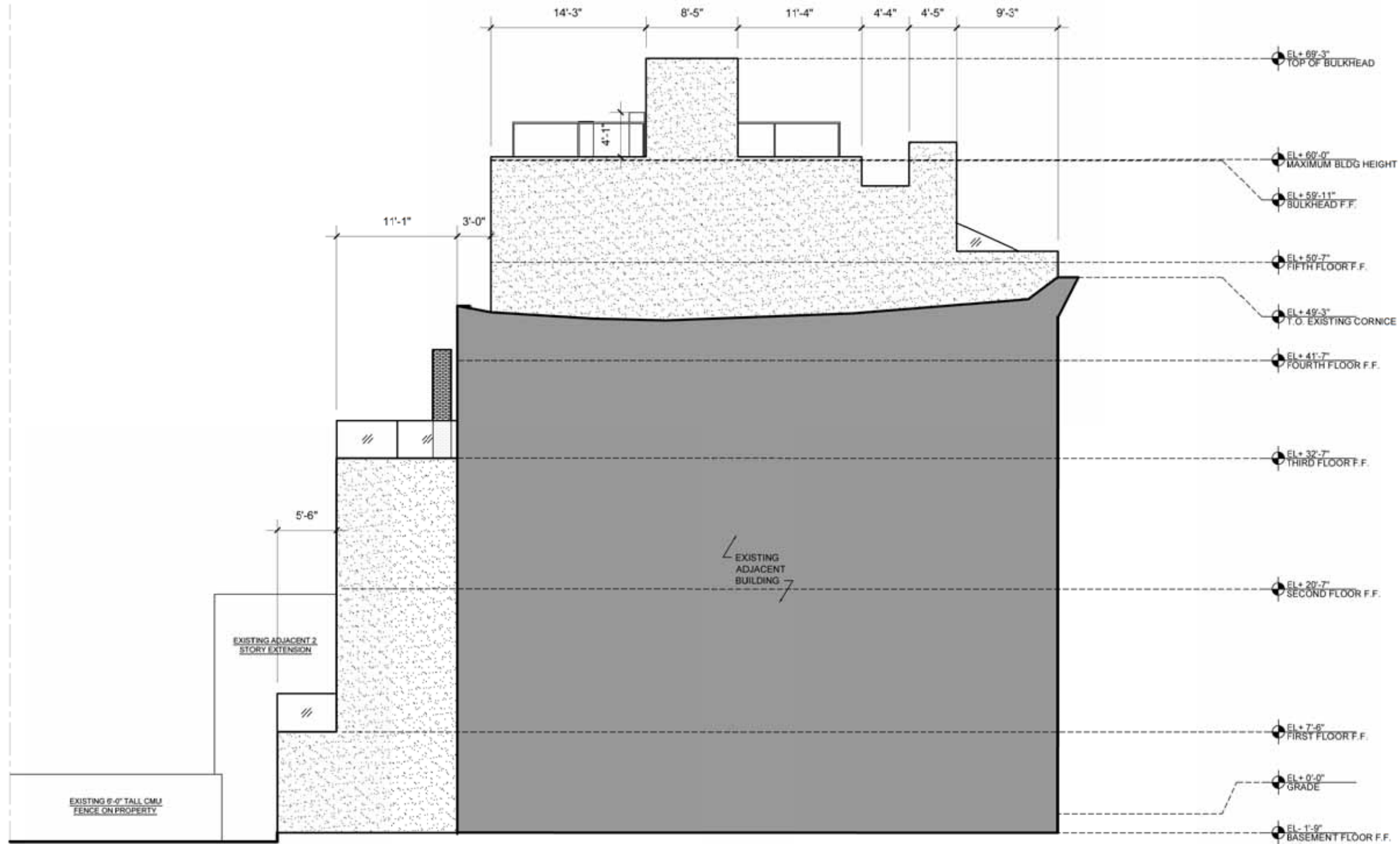
DRAWN BY: AK

SCALE: 3/32"=1'-0"

DWG.NO.:

LPC-6A

DWG. TITLE: PROPOSED SECTION



1 | PROPOSED
EAST ELEVATION
LPC-6B | SCALE: 3/32" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

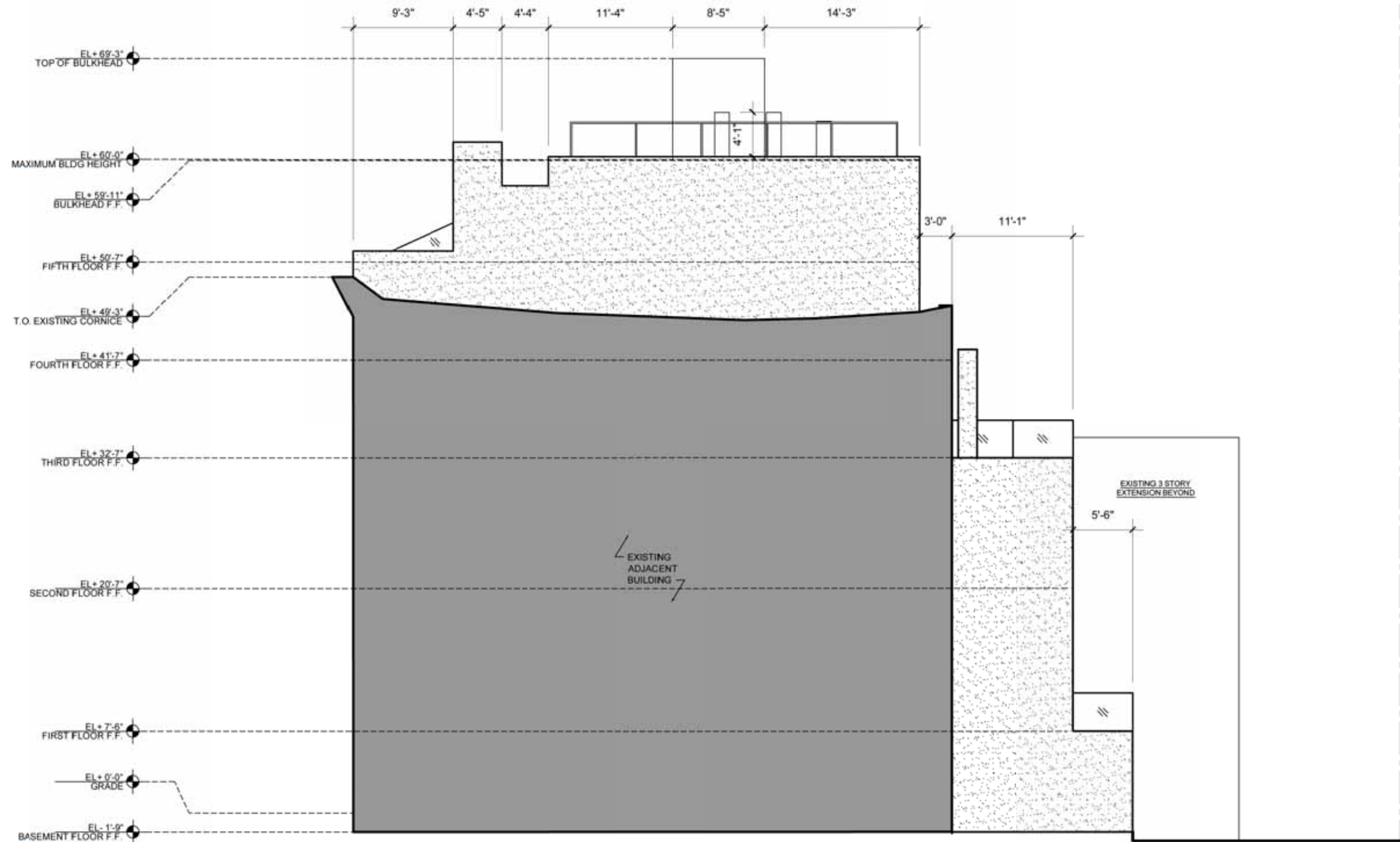
DRAWN BY: AK

SCALE: 3/32"=1'-0"

DWG.NO.:

LPC-6B

DWG. TITLE: PROPOSED SECTION



1 PROPOSED WEST ELEVATION
LPC-6C SCALE: 3/32" = 1'-0"

122 W. 73rd St.
New York, NY
10023

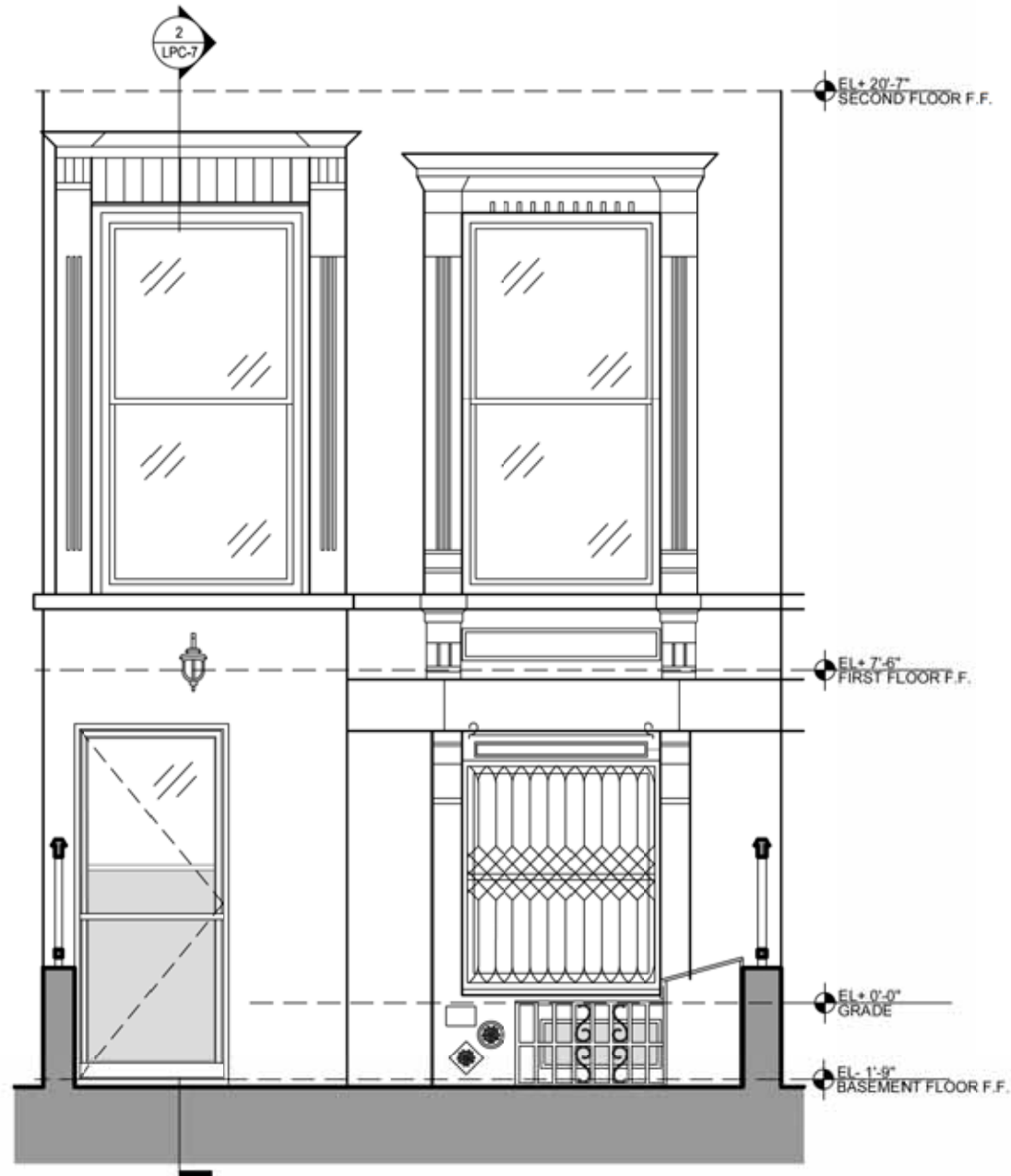
ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

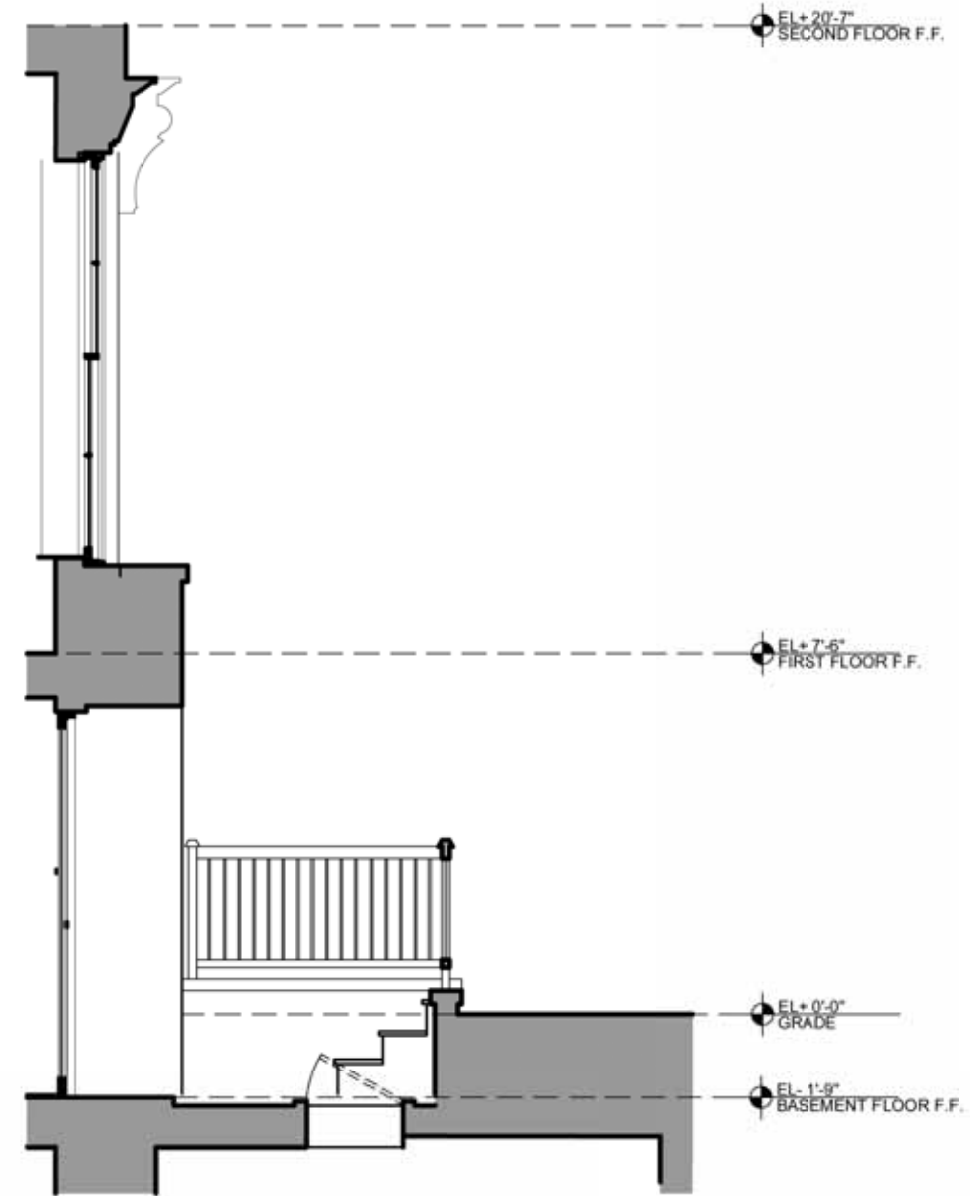
SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	3/32"=1'-0"

DWG.NO.:	LPC-6C
DWG. TITLE:	
PROPOSED SECTION	



1 EXISTING FRONT AREAWAY
ELEVATION
LPC-7 SCALE: 1/4" = 1'-0"



2 EXISTING FRONT AREAWAY
SECTION
LPC-7 SCALE: 1/4" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:

REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

LPC SET

PROJ. NO.: 1521

DATE: 12.16.15

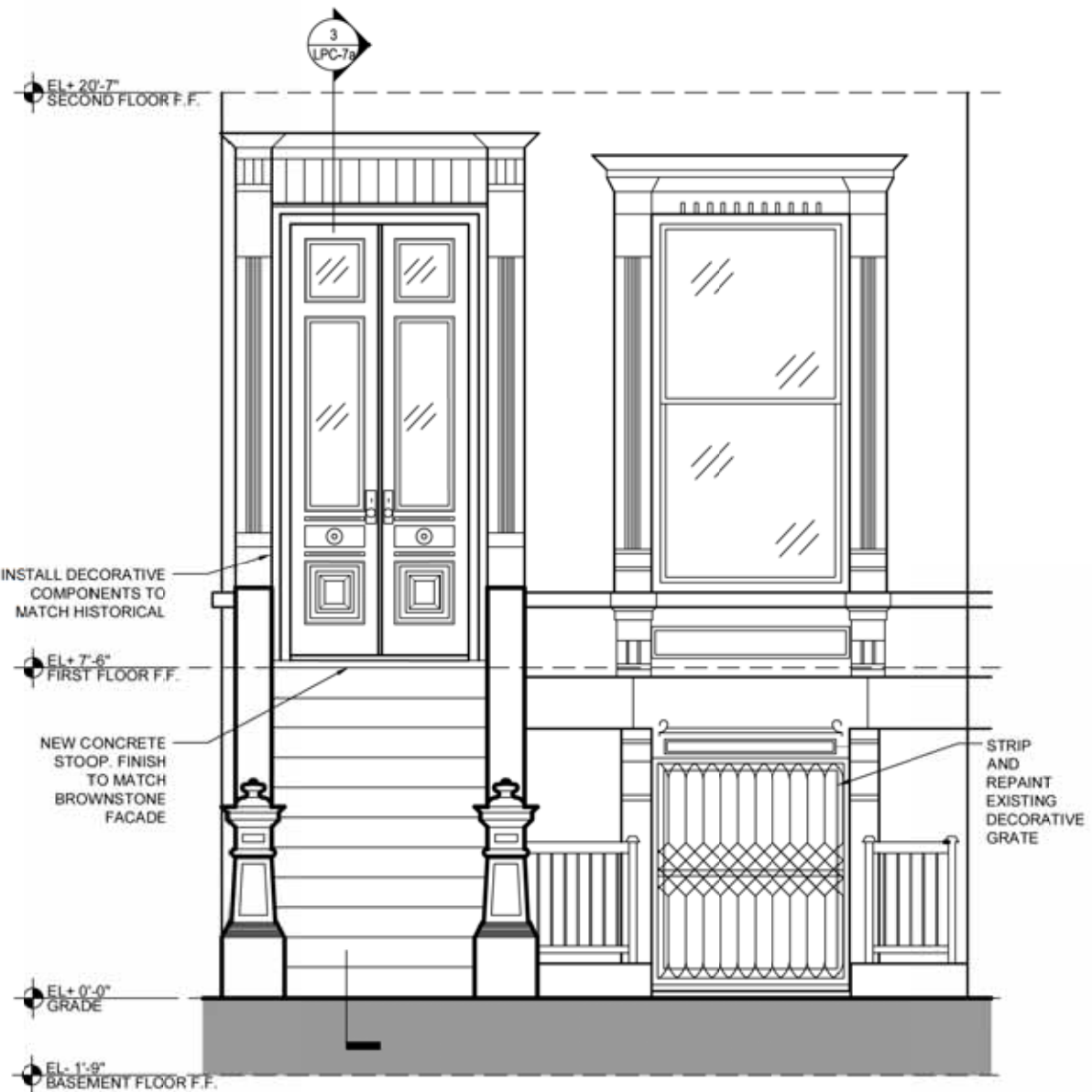
DRAWN BY: AK

SCALE: NOTED

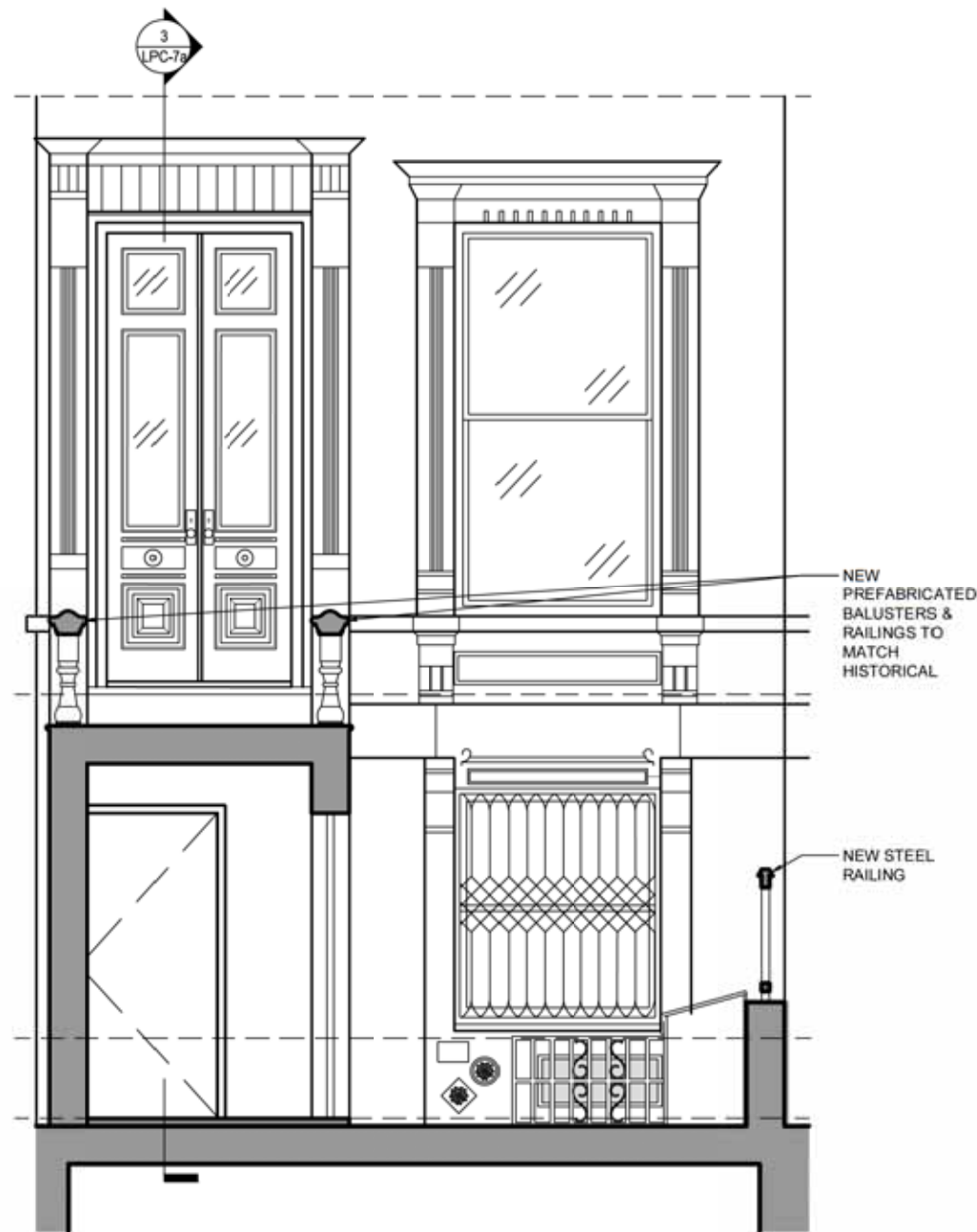
DWG.NO.:

LPC-7

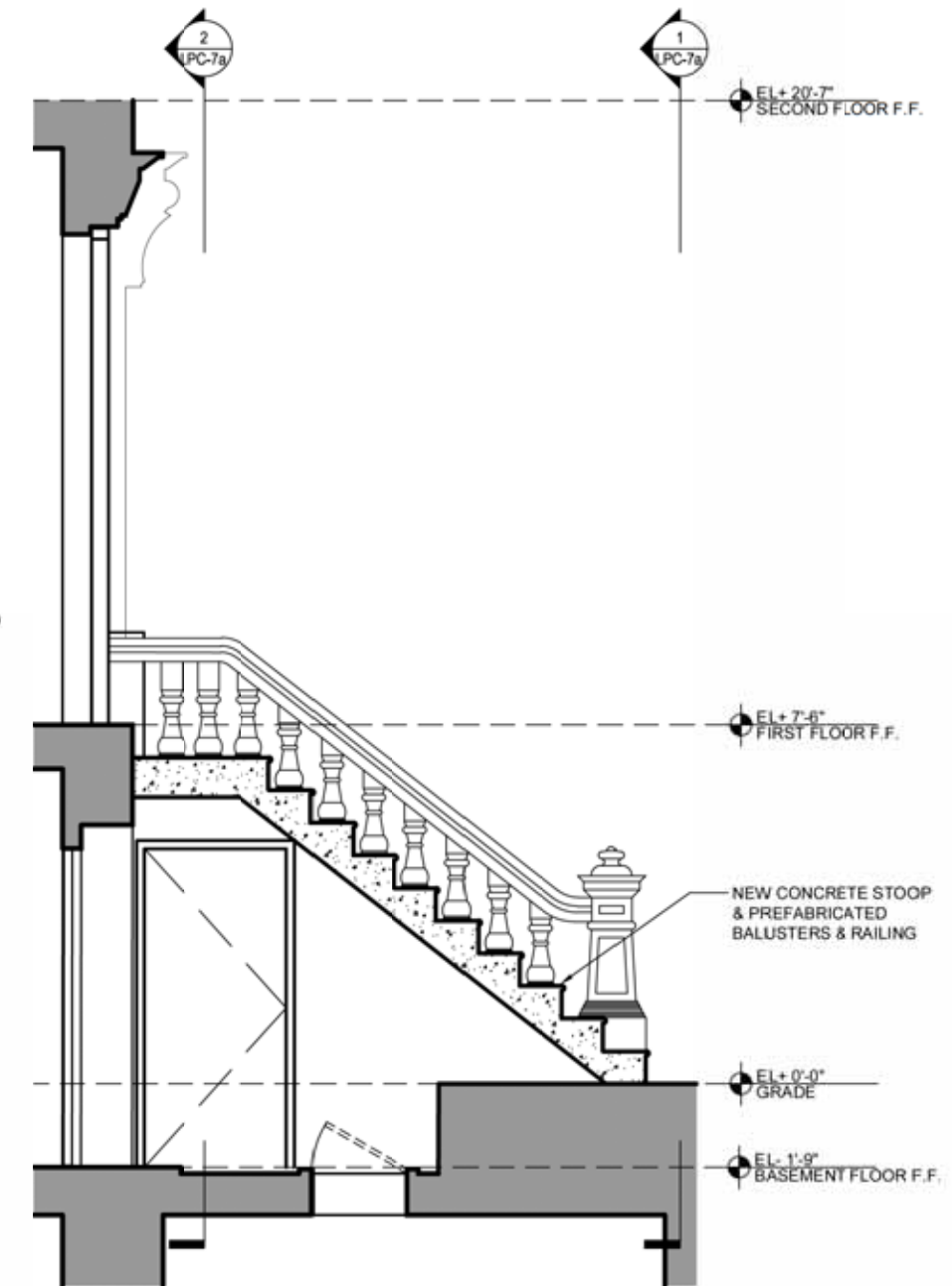
DWG. TITLE: EXISTING
FRONT STOOP DETAILS



1 PROPOSED FRONT STOOP ELEVATION
LPC-7A SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT STOOP SECTION
LPC-7A SCALE: 1/4" = 1'-0"



3 PROPOSED FRONT STOOP SECTION
LPC-7A SCALE: 1/4" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:

REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

LPC SET

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: 1/4"=1'-0"

DWG.NO.:

LPC-7A

DWG. TITLE: PROPOSED FRONT STOOP DETAILS



1 | EXISTING AREAWAY
LPC-10 | NO SCALE



2 | EXISTING AREAWAY
LPC-10 | NO SCALE



3 | EXISTING AREAWAY
LPC-10 | NO SCALE



4 | EXISTING AREAWAY
LPC-10 | NO SCALE

ARCHITECT:

BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-10

DWG. TITLE: EXISTING AREAWAY PHOTOS

122 W. 73rd St.
New York, NY
10023



1 | 112 W. 73RD STREET
LPC-11 | NO SCALE



2 | 156 W. 73RD STREET
LPC-11 | NO SCALE



3 | 138 W. 73RD STREET
LPC-11 | NO SCALE



4 | 144 W. 73RD STREET
LPC-11 | NO SCALE



5 | 154 W. 73RD STREET
LPC-11 | NO SCALE



6 | 108 W. 73RD STREET
LPC-11 | NO SCALE

122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829	
	CLIENT:	
	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011	

SET ISSUE:		
LPC SET		
REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	NTS

DWG.NO.:	LPC-11
DWG. TITLE:	
	W. 73RD CONTEXT FRONT STOOP PHOTOS



1 EXISTING FRONT WINDOW
INTERIOR PHOTO
LPC-12 NO SCALE



2 EXISTING FRONT WINDOW
INTERIOR PHOTO
LPC-12 NO SCALE



3 EXISTING REAR WINDOW
INTERIOR PHOTO
LPC-12 NO SCALE



4 EXISTING REAR WINDOW
INTERIOR PHOTO
LPC-12 NO SCALE



5 EXISTING FRONT WINDOW
INTERIOR PHOTO
LPC-12 NO SCALE



6 EXISTING FRONT BASEMENT
WINDOW EXTERIOR PHOTO
LPC-12 NO SCALE



7 EXISTING FRONT FIRST FLOOR
WINDOW EXTERIOR PHOTO
LPC-12 NO SCALE



8 EXISTING REAR WINDOW
EXTERIOR PHOTO
LPC-12 NO SCALE

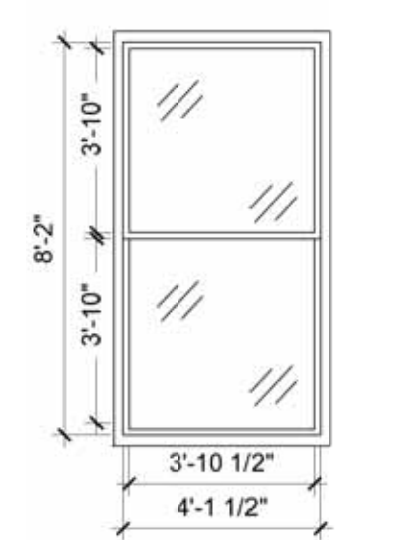
122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829	
	CLIENT:	
	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011	

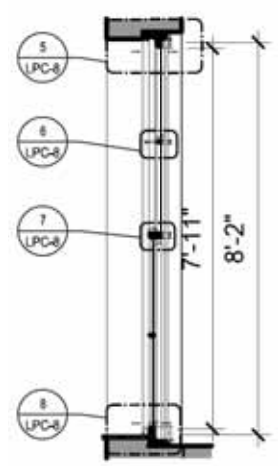
SET ISSUE:		
LPC SET		
REV. NO.:	DATE:	COMMENTS:
	05.30.17	REVISED PER LPC COMMENTS

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	NTS

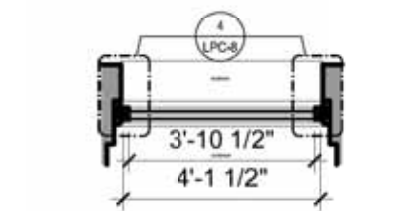
DWG.NO.:	LPC-12
DWG. TITLE:	
FRONT & REAR EXISTING WINDOW PHOTOS	



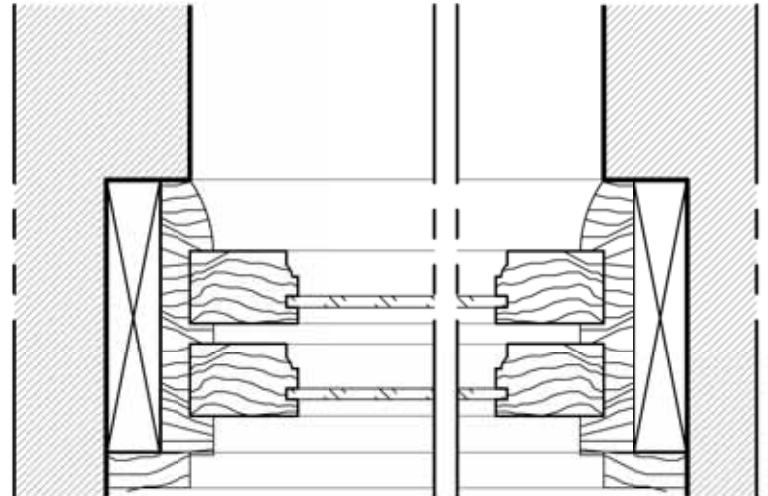
1 EXISTING FRONT WINDOW ELEVATION
LPC-12A SCALE: 1/4" = 1'-0"



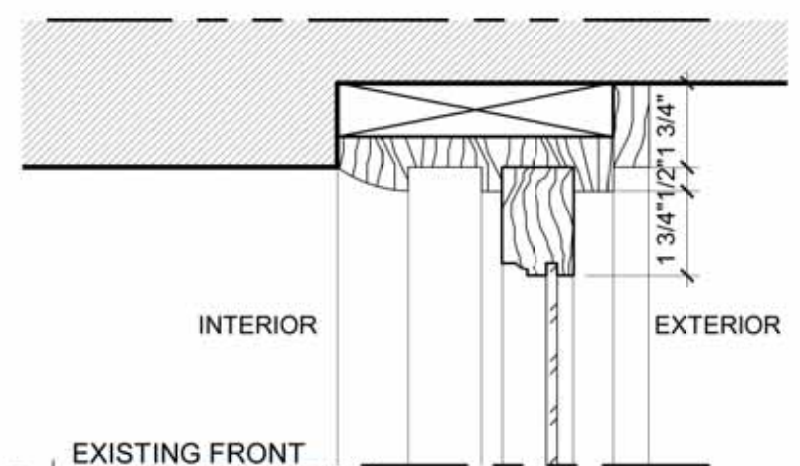
2 EXISTING FRONT WINDOW SECTION
LPC-12A SCALE: 1/4" = 1'-0"



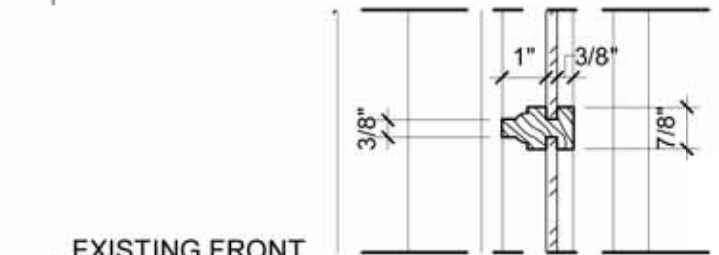
3 EXISTING FRONT WINDOW PLAN
LPC-12A SCALE: 1/4" = 1'-0"



4 EXISTING FRONT WINDOW DETAIL
LPC-12A SCALE: 3" = 1'-0"



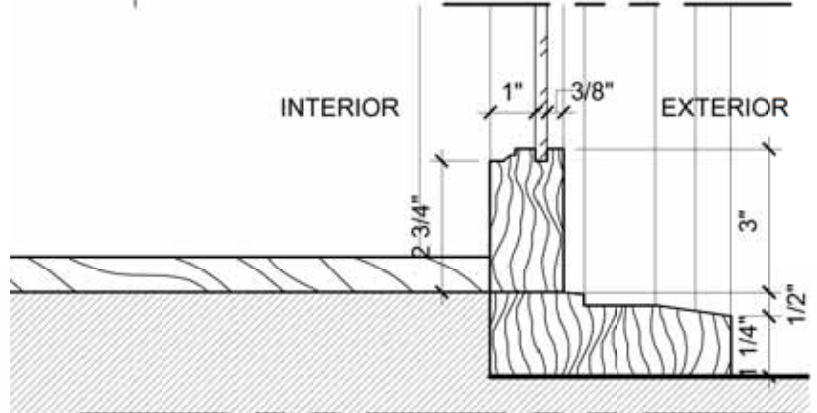
5 EXISTING FRONT WINDOW HEAD DETAIL
LPC-12A SCALE: 3" = 1'-0"



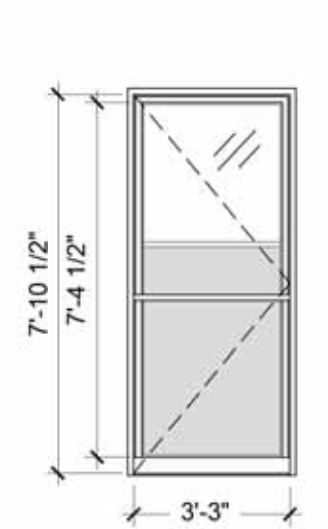
6 EXISTING FRONT WINDOW MUNTIN DETAIL
LPC-12A SCALE: 3" = 1'-0"



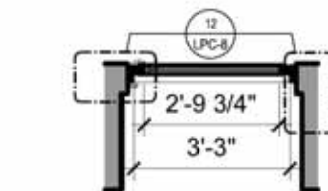
7 EXISTING FRONT WINDOW RAIL DETAIL
LPC-12A SCALE: 3" = 1'-0"



8 EXISTING FRONT WINDOW SILL DETAIL
LPC-12A SCALE: 3" = 1'-0"



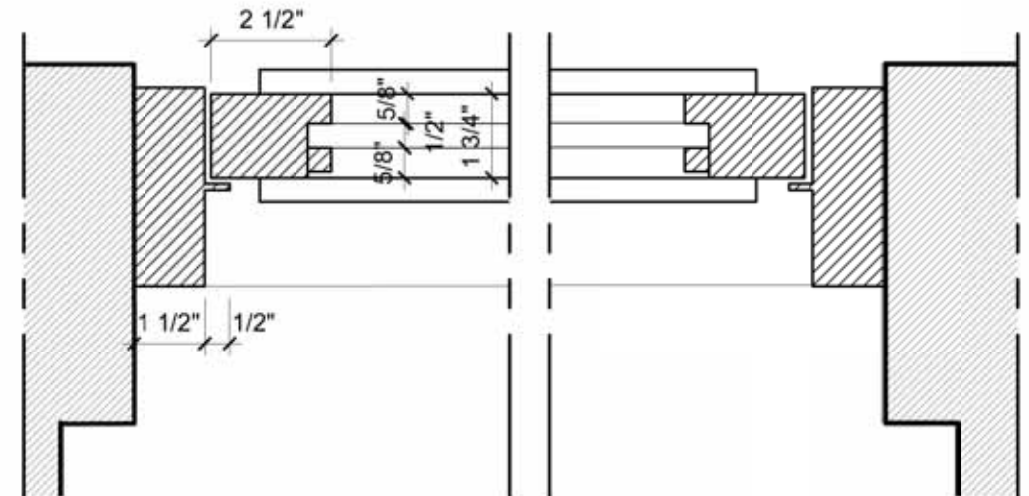
9 EXISTING FRONT DOOR ELEVATION
LPC-12A SCALE: 1/4" = 1'-0"



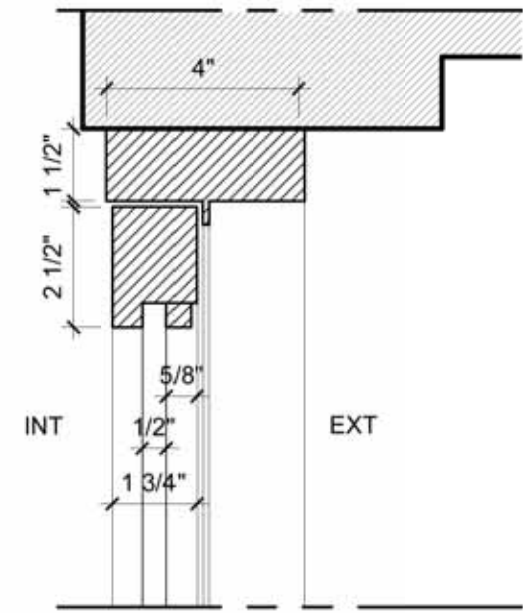
11 EXISTING FRONT DOOR PLAN
LPC-12A SCALE: 1/4" = 1'-0"



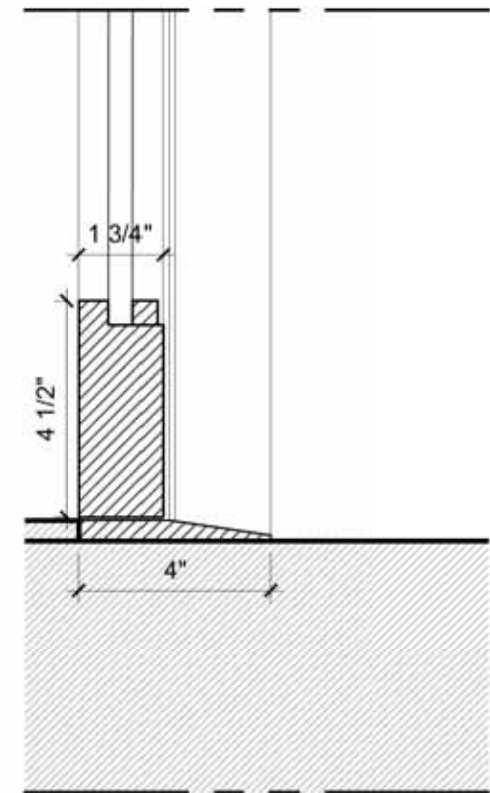
10 EXISTING FRONT DOOR SECTION
LPC-12A SCALE: 1/4" = 1'-0"



12 EXISTING FRONT DOOR DETAIL
LPC-12A SCALE: 3" = 1'-0"



13 EXISTING FRONT DOOR SECTION
LPC-12A SCALE: 3" = 1'-0"



14 EXISTING FRONT DOOR DETAIL
LPC-12A SCALE: 3" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:		
LPC SET		
REV. NO.:	DATE:	COMMENTS:
	05.30.17	REVISED PER LPC COMMENTS

PROJ. NO.: 1521

DATE: 12.16.15

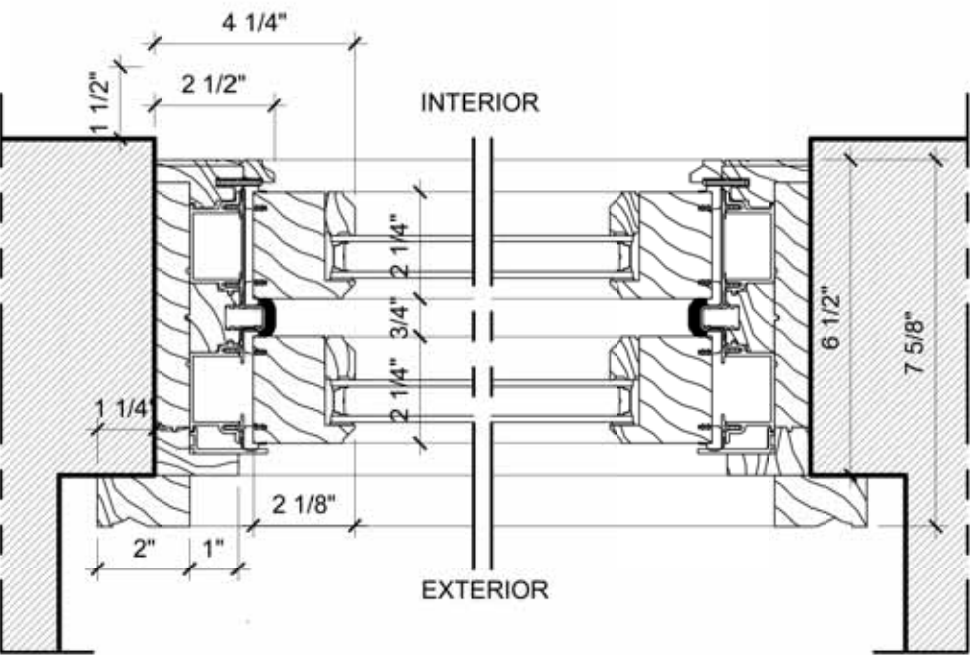
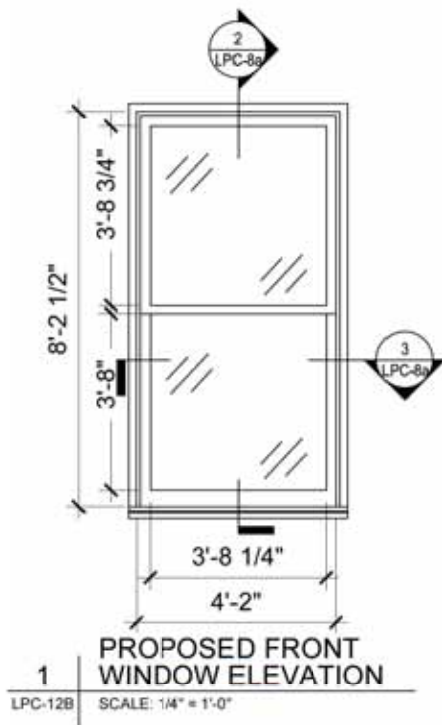
DRAWN BY: AK

SCALE: NOTED

DWG.NO.:

LPC-12A

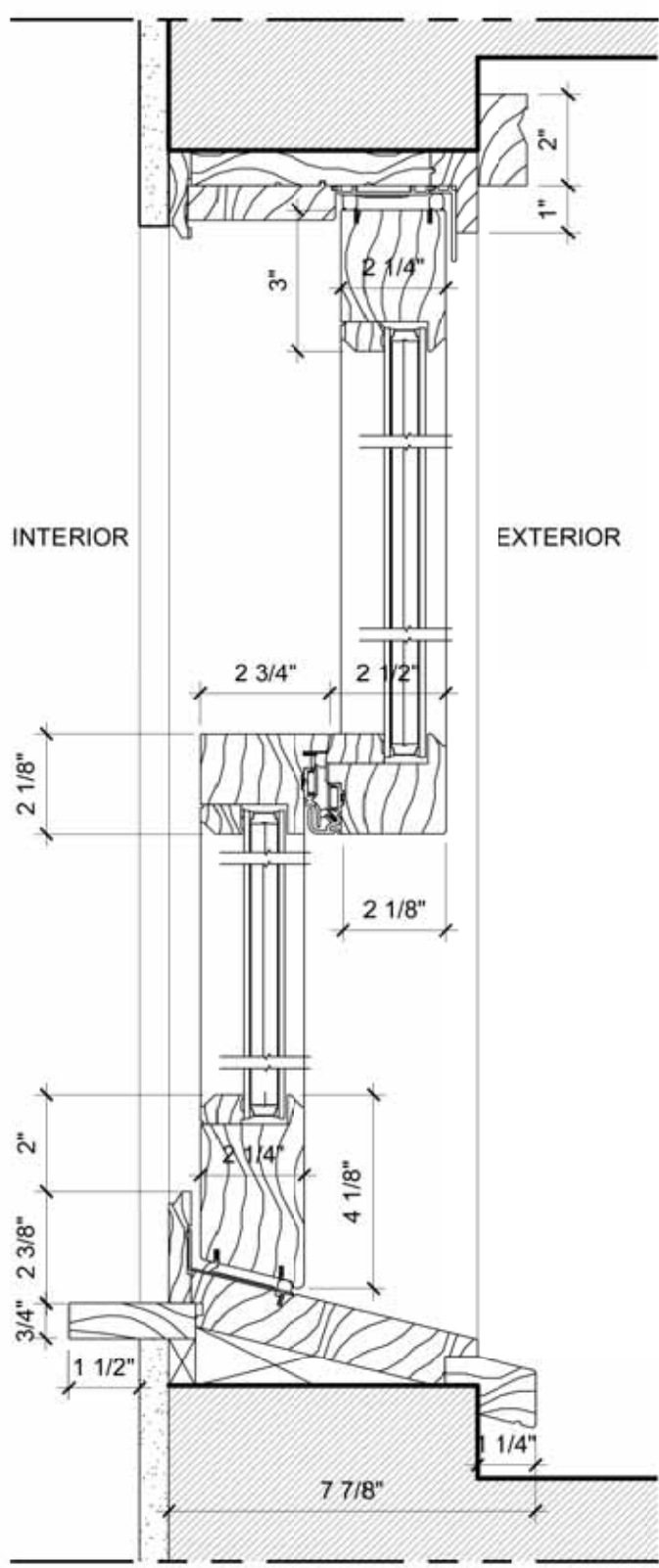
DWG. TITLE: EXISTING FRONT WINDOW DETAILS



2
LPC-12B

PROPOSED FRONT WINDOW DETAIL

SCALE: 3" = 1'-0"



3
LPC-12B

PROPOSED FRONT WINDOW DETAIL

SCALE: 3" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

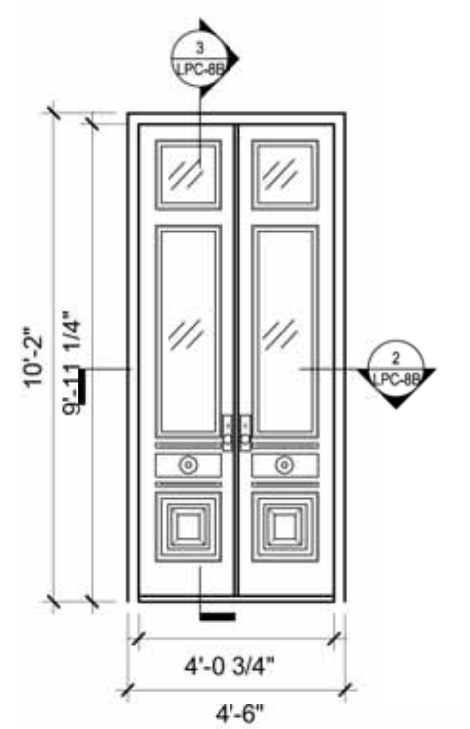
DRAWN BY: AK

SCALE: NOTED

DWG.NO.:

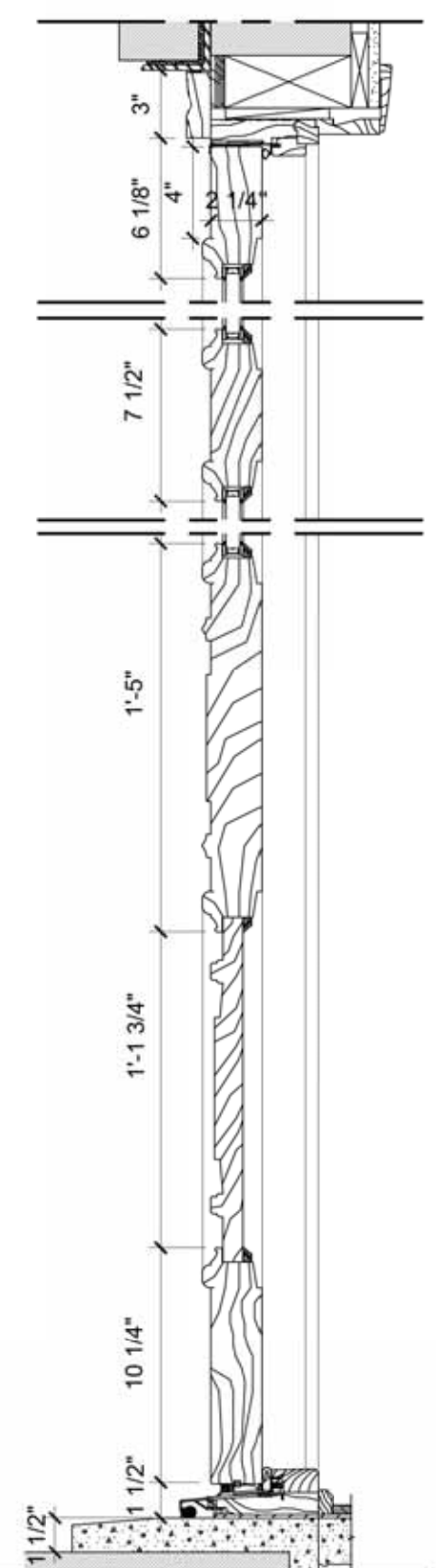
LPC-12B

DWG. TITLE: PROPOSED FRONT WINDOW DETAILS



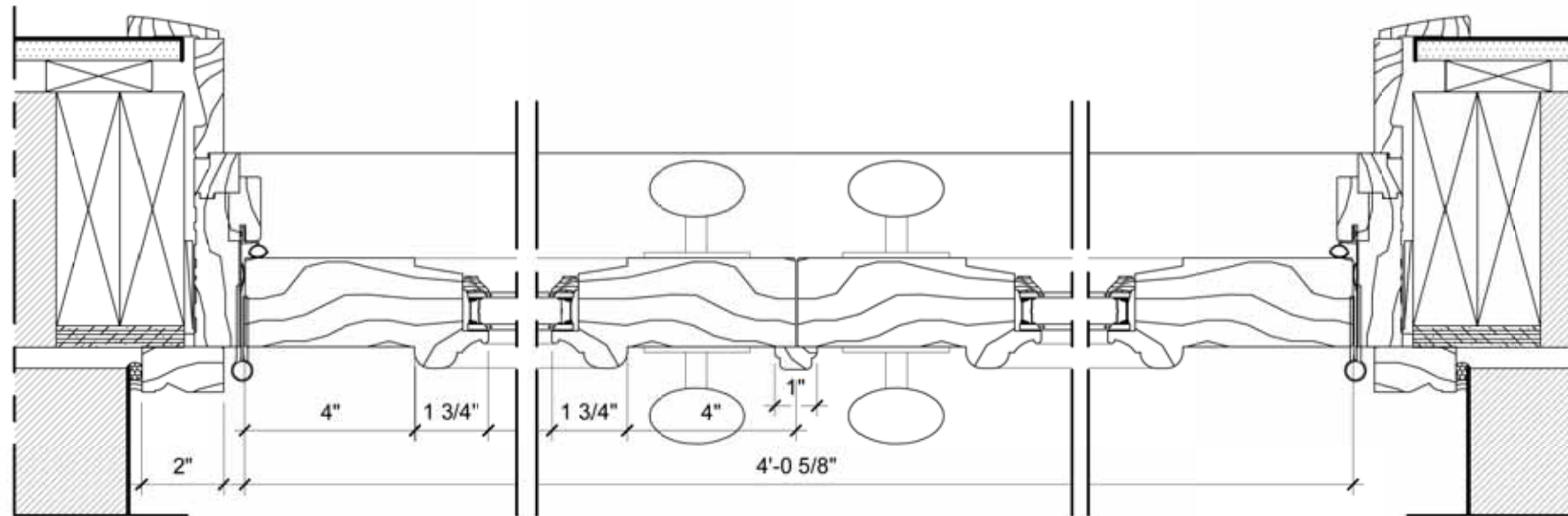
PROPOSED FRONT DOOR
ELEVATION

LPC-12C SCALE: 1/4" = 1'-0"



PROPOSED FRONT DOOR
SECTION DETAIL

LPC-12C SCALE: 1 1/2" = 1'-0"



PROPOSED FRONT DOOR
PLAN DETAIL

LPC-12C SCALE: 3" = 1'-0"

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

122 W. 73rd St.
New York, NY
10023

SET ISSUE:

LPC SET

REV. NO.:	DATE:	COMMENTS:
	05.30.17	REVISED PER LPC COMMENTS

PROJ. NO.: 1521

DATE: 12.16.15

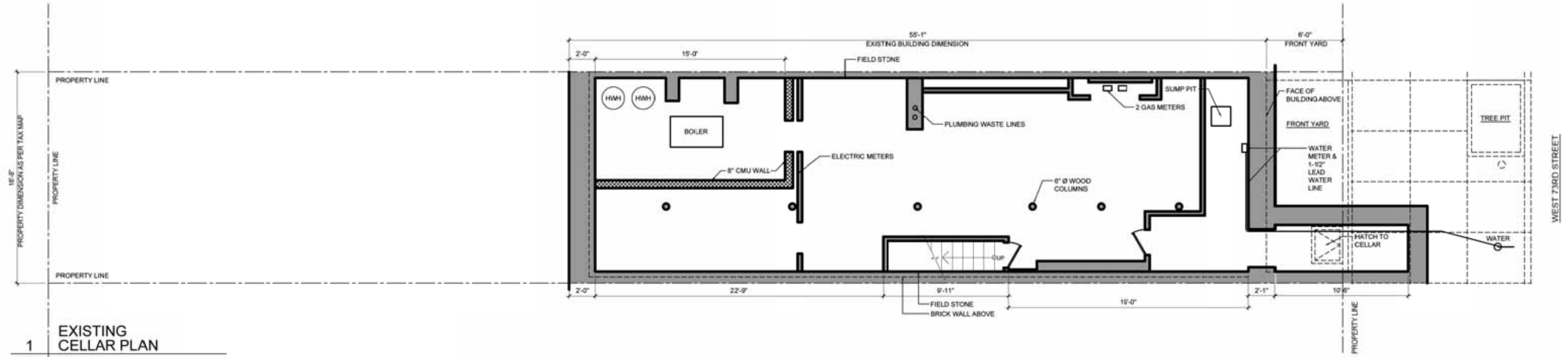
DRAWN BY: AK

SCALE: NOTED

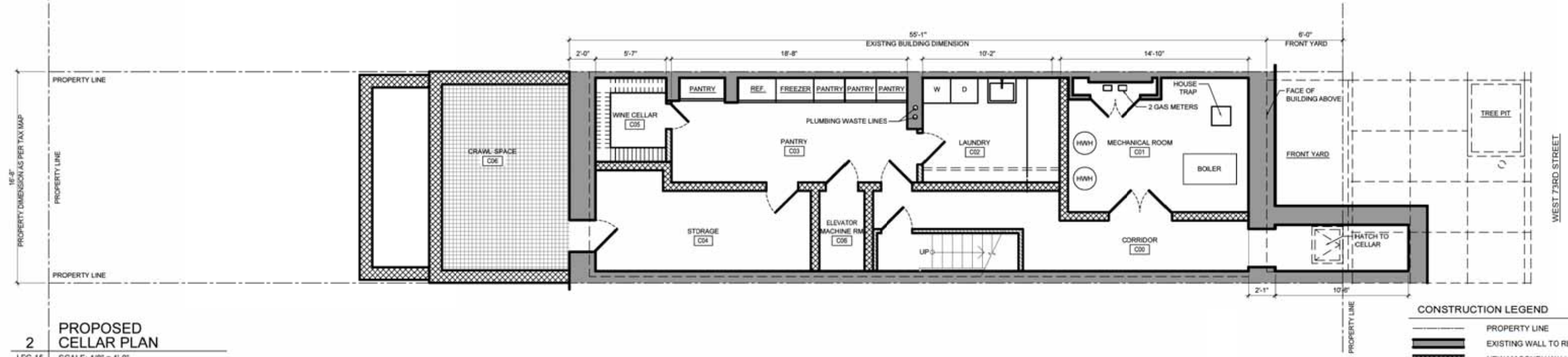
DWG.NO.:

LPC-12C

DWG. TITLE: PROPOSED FRONT DOOR
DETAILS



1
LPC-15
EXISTING
CELLAR PLAN
SCALE: 1/8" = 1'-0"



2
LPC-15
PROPOSED
CELLAR PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION LEGEND	
	PROPERTY LINE
	EXISTING WALL TO REMAIN
	NEW MASONRY WALL
	NEW GYPSUM BOARD AND STUD WALL
	AREA OF NEW SLAB ON GRADE

122 W. 73rd St.
New York, NY
10023

ARCHITECT:

BOSTUDIO ARCHITECTURE
 200 6th Street, Ste. 2A
 Brooklyn NY 11215
 P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
 & 73 OWNERS LLC
 37 W. 20th St. Suite 910
 New York, NY 10011

SET ISSUE:

REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

LPC SET

PROJ. NO.:

1521

DATE:

12.16.15

DRAWN BY:

AK

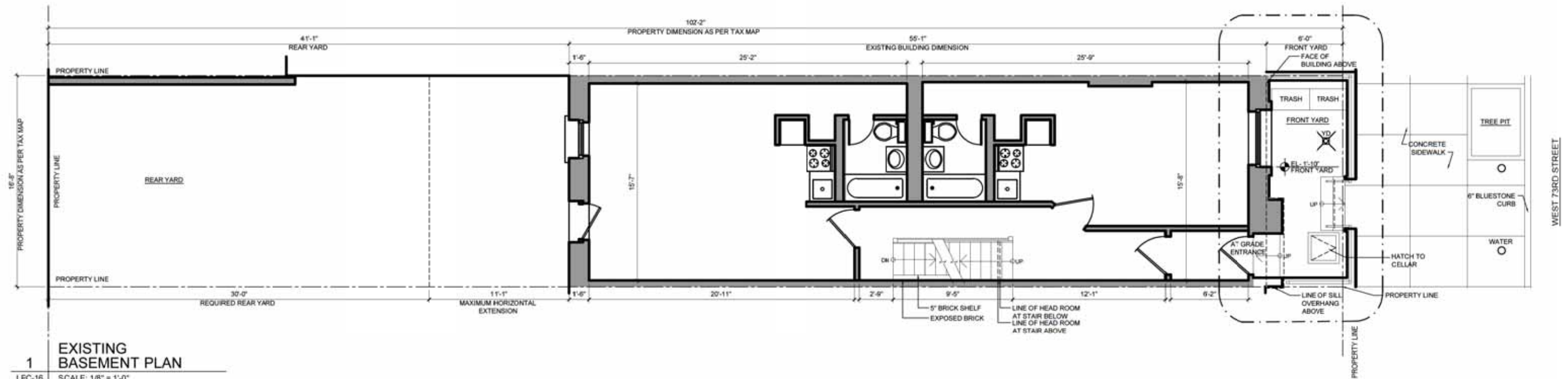
SCALE:

1/8"=1'-0"

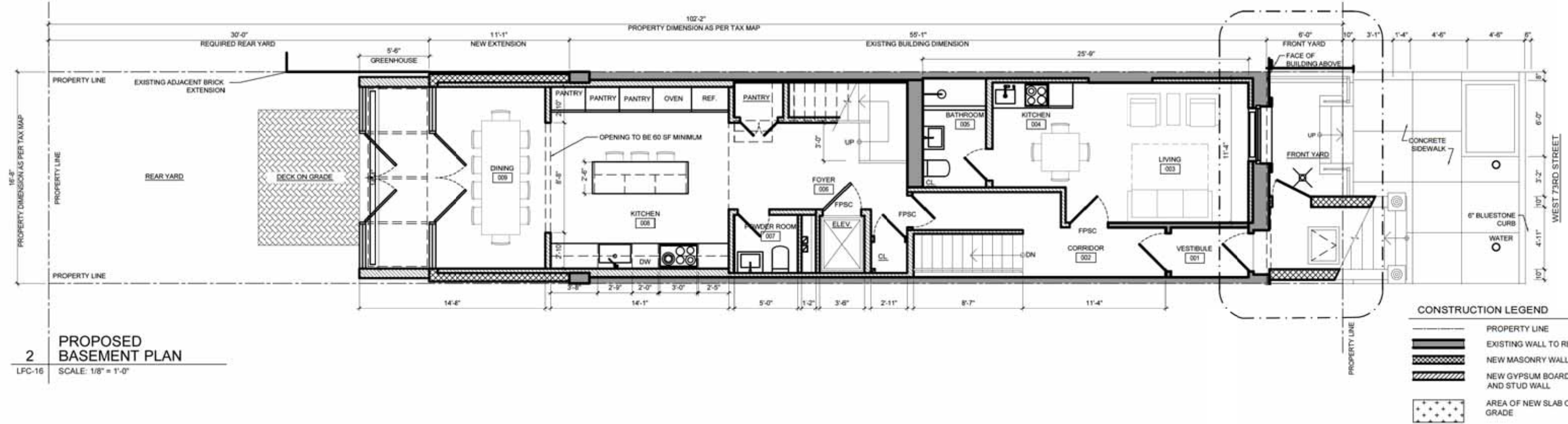
DWG.NO.:

LPC-15

DWG. TITLE: CELLAR PLAN



1
EXISTING
BASEMENT PLAN
LFC-16 SCALE: 1/8" = 1'-0"



2
PROPOSED
BASEMENT PLAN
LFC-16 SCALE: 1/8" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

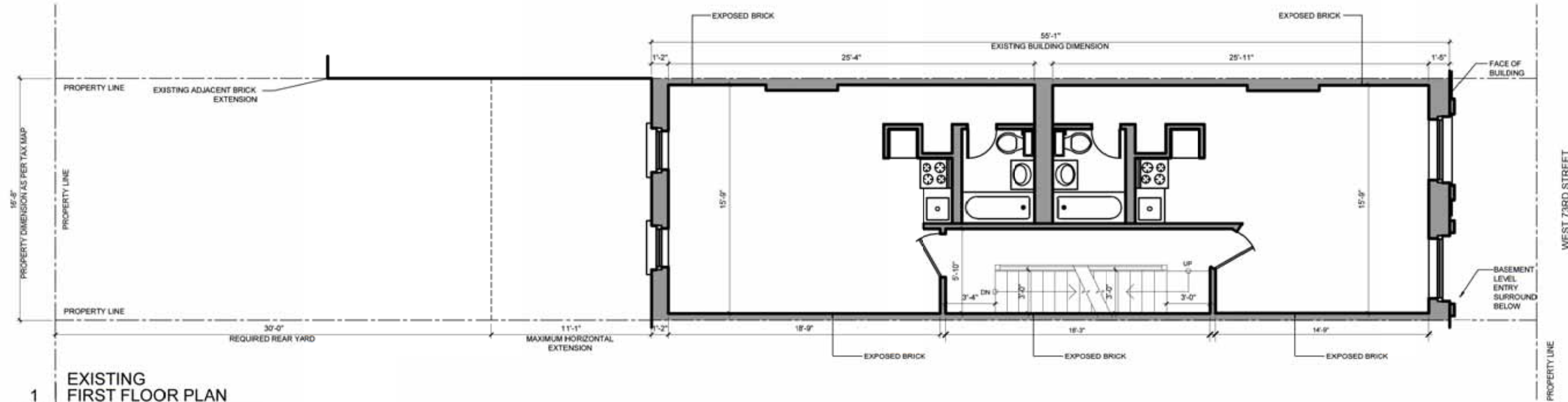
SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521
DATE: 12.16.15
DRAWN BY: AK
SCALE: 1/8"=1'-0"

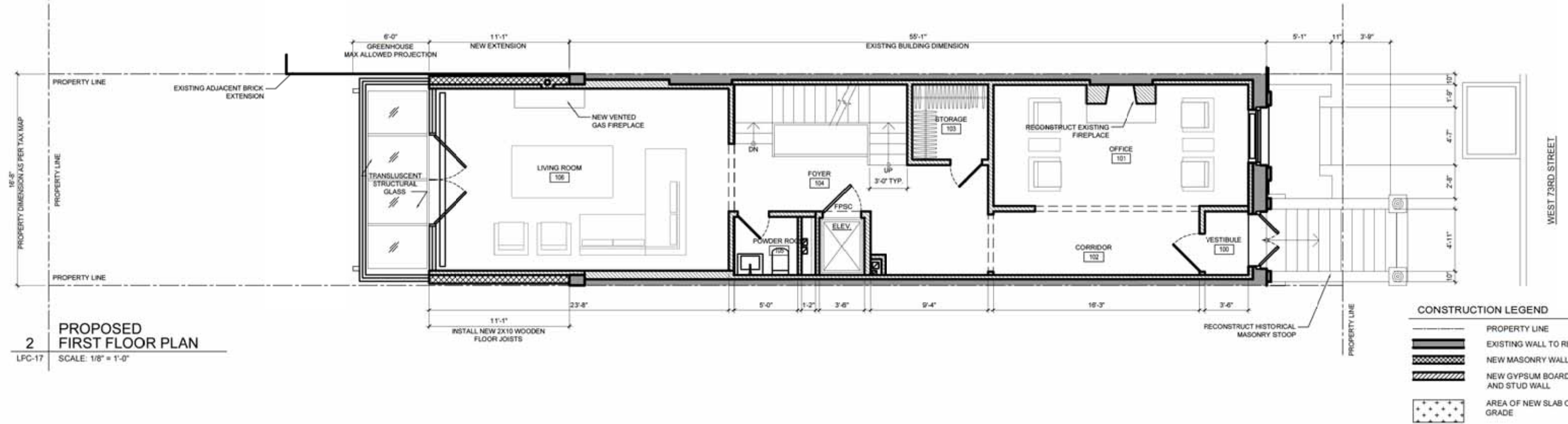
DWG.NO.:

LPC-16

DWG. TITLE: BASEMENT PLAN



1
EXISTING
FIRST FLOOR PLAN
LFC-17 SCALE: 1/8" = 1'-0"



2
PROPOSED
FIRST FLOOR PLAN
LFC-17 SCALE: 1/8" = 1'-0"

122 W. 73rd St.
New York, NY
10023

ARCHITECT: **BOSTUDIO ARCHITECTURE**
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT: **22 OWNERS LLC & 73 OWNERS LLC**
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

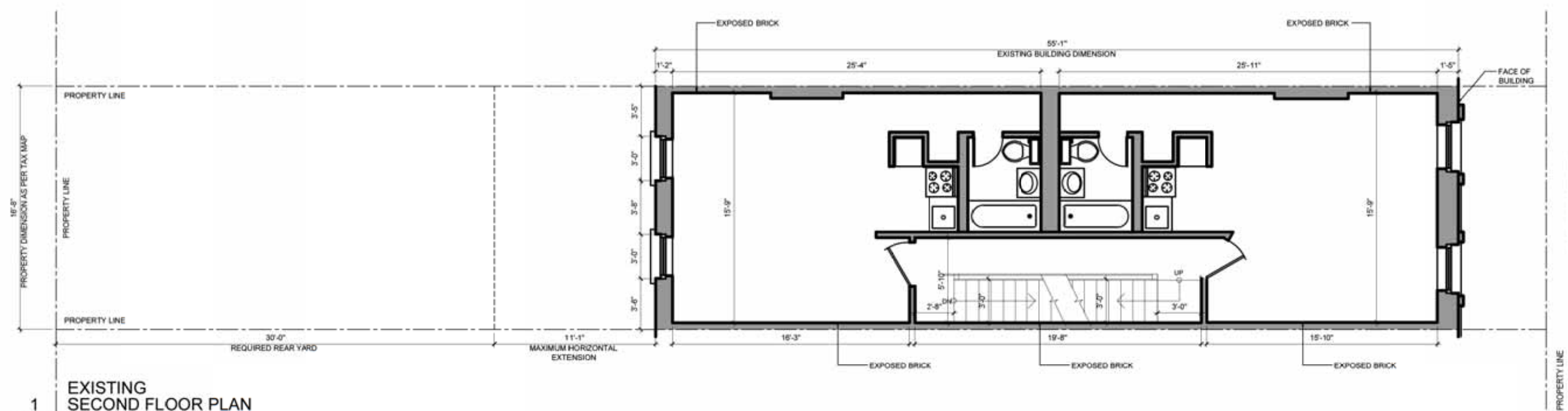
DRAWN BY: AK

SCALE: 1/8"=1'-0"

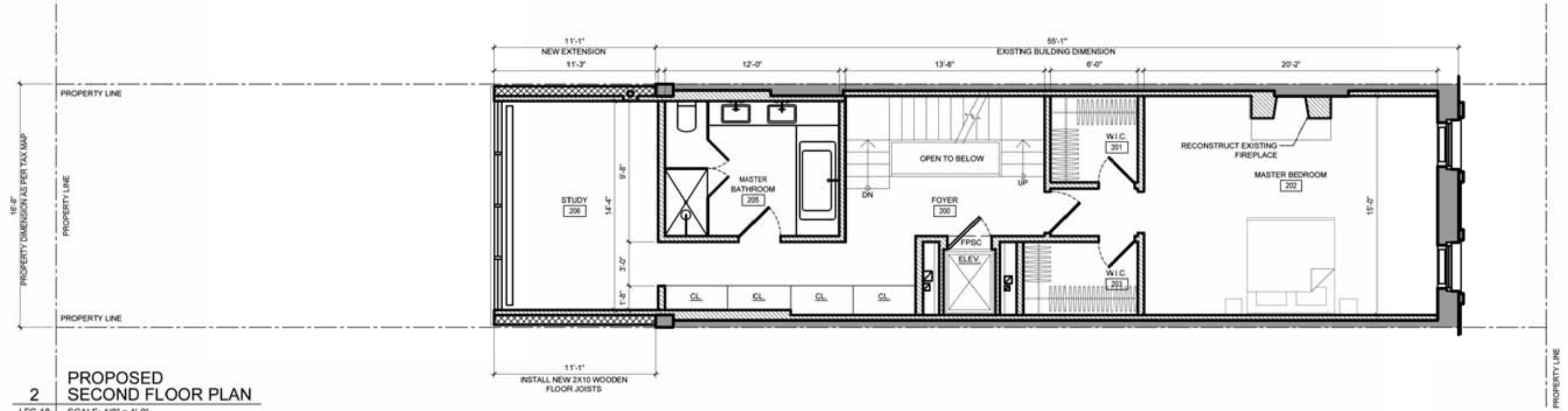
DWG.NO.:

LPC-17

DWG. TITLE: FIRST FLOOR PLAN



1
LFC-18
EXISTING
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2
LFC-18
PROPOSED
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION LEGEND	
	PROPERTY LINE
	EXISTING WALL TO REMAIN
	NEW MASONRY WALL
	NEW GYPSUM BOARD AND STUD WALL
	AREA OF NEW SLAB ON GRADE

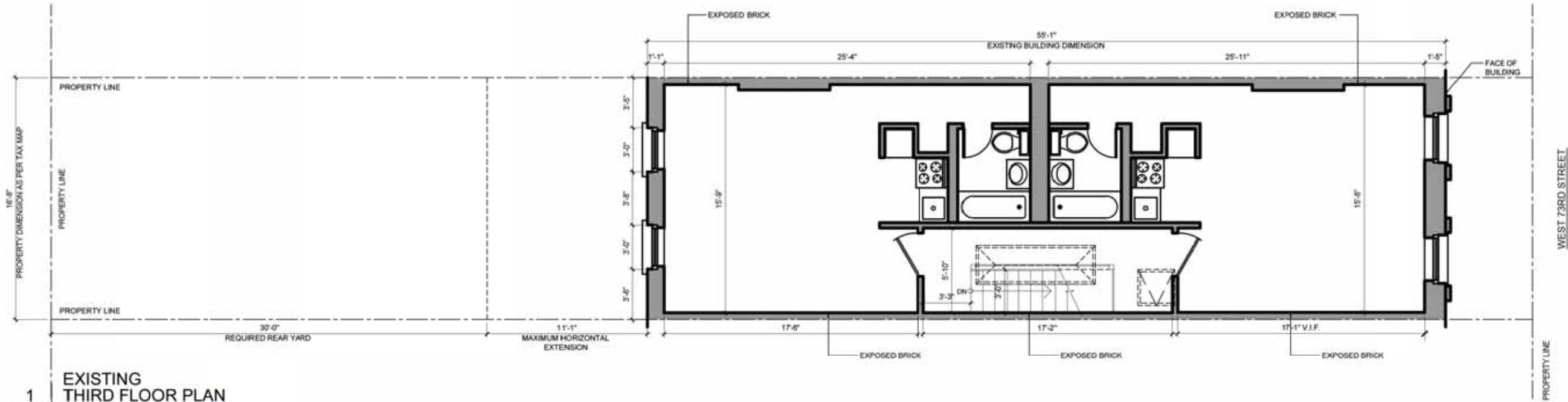
122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829
CLIENT:	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011

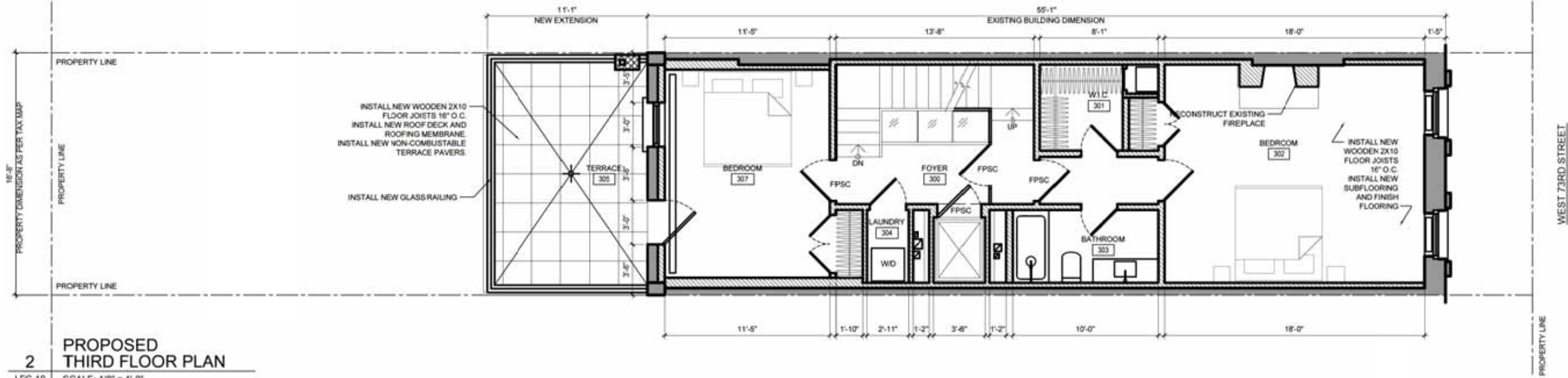
SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	1/8"=1'-0"

DWG.NO.:	LPC-18
DWG. TITLE:	
SECOND FLOOR PLAN	



1
LFC-19
EXISTING
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2
LFC-19
PROPOSED
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION LEGEND

	PROPERTY LINE
	EXISTING WALL TO REMAIN
	NEW MASONRY WALL
	NEW GYPSUM BOARD AND STUD WALL
	AREA OF NEW SLAB ON GRADE

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:
22 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:

REV. NO.:	DATE:	COMMENTS:
	03.01.17	REVISED PER LPC COMMENTS
	04.10.17	REVISED PER LPC COMMENTS
	05.30.17	REVISED PER LPC COMMENTS

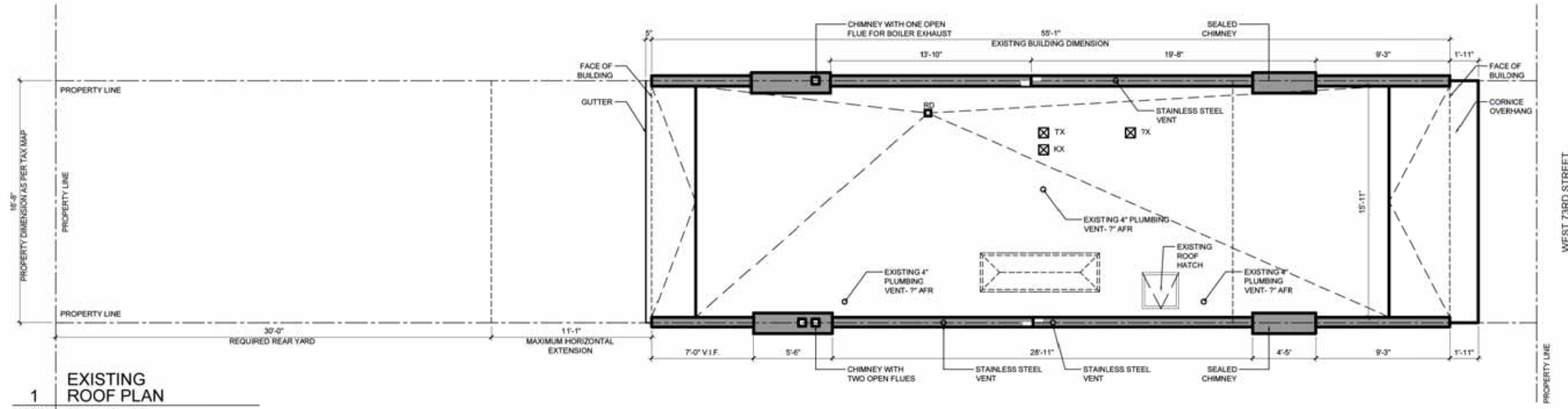
LPC SET

PROJ. NO.: 1521
DATE: 12.16.15
DRAWN BY: AK
SCALE: 1/8"=1'-0"

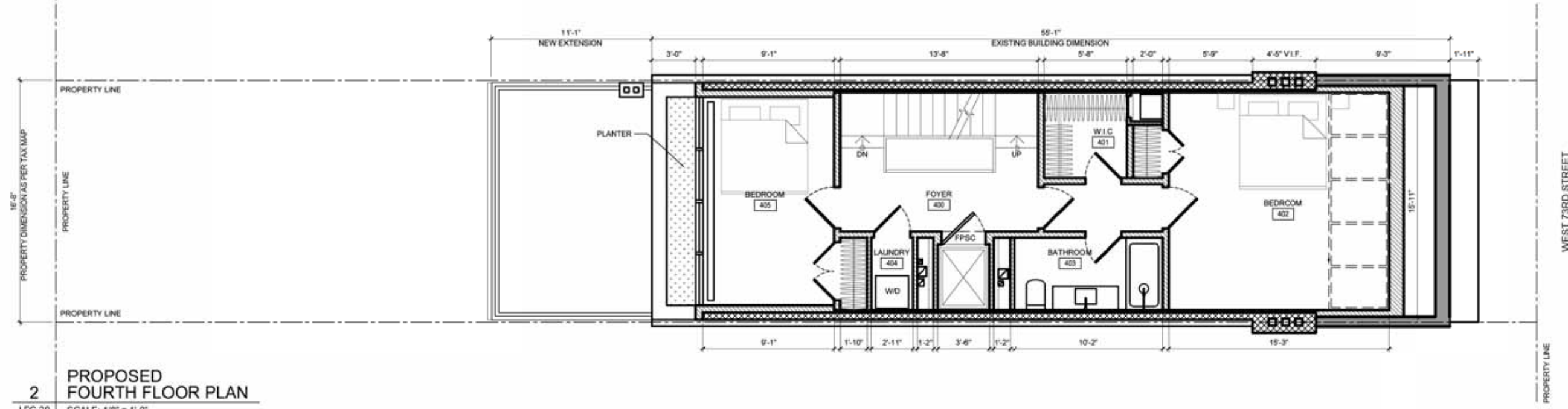
DWG.NO.:

LPC-19

DWG. TITLE: THIRD FLOOR PLAN



1
EXISTING
ROOF PLAN
LFC-20 SCALE: 1/8" = 1'-0"



2
PROPOSED
FOURTH FLOOR PLAN
LFC-20 SCALE: 1/8" = 1'-0"

CONSTRUCTION LEGEND	
	PROPERTY LINE
	EXISTING WALL TO REMAIN
	NEW MASONRY WALL
	NEW GYPSUM BOARD AND STUD WALL
	AREA OF NEW SLAB ON GRADE

122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829
CLIENT:	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011

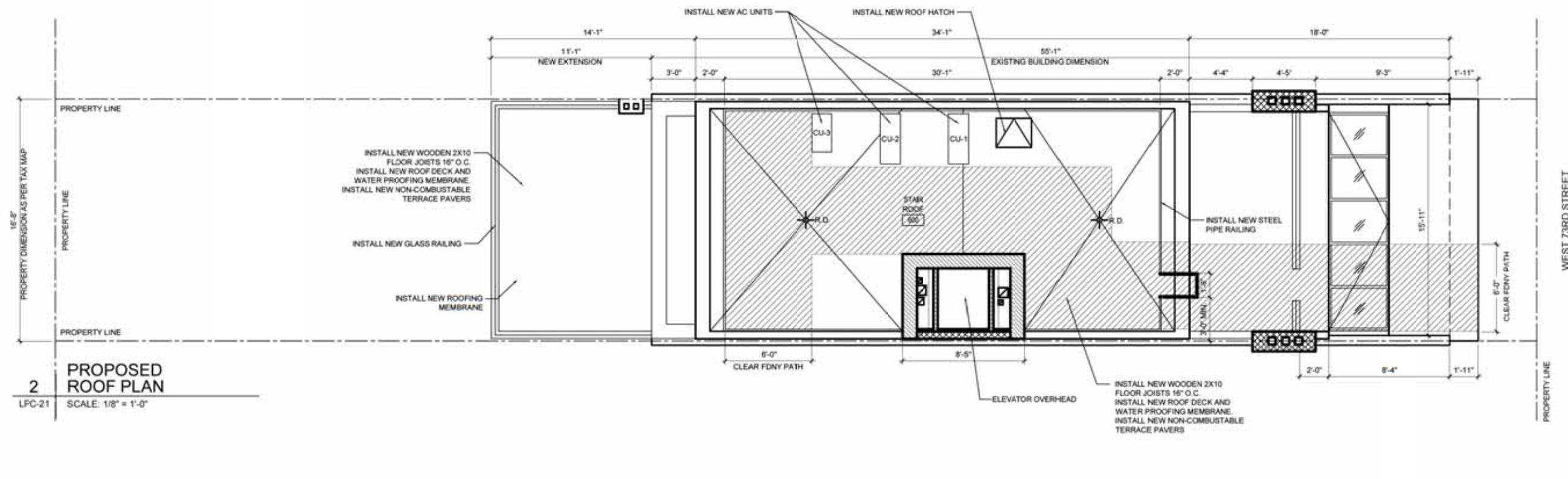
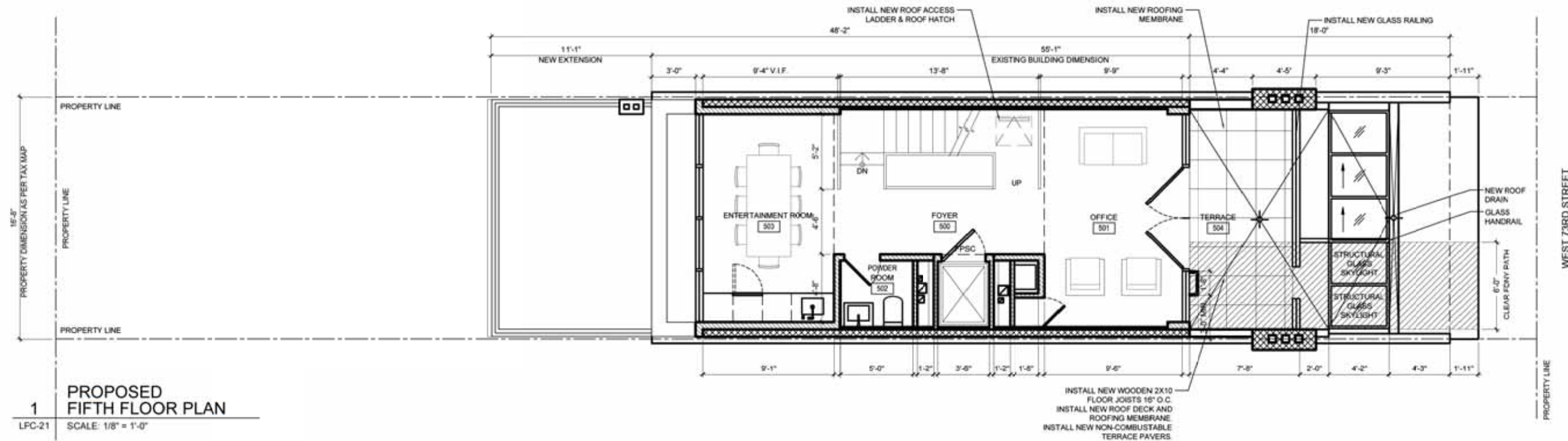
SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	1/8"=1'-0"

DWG.NO.:

LPC-20

DWG. TITLE: ROOF AND FOURTH FLOOR PLAN



CONSTRUCTION LEGEND

	PROPERTY LINE
	EXISTING WALL TO REMAIN
	NEW MASONRY WALL
	NEW GYPSUM BOARD AND STUD WALL
	AREA OF NEW SLAB ON GRADE

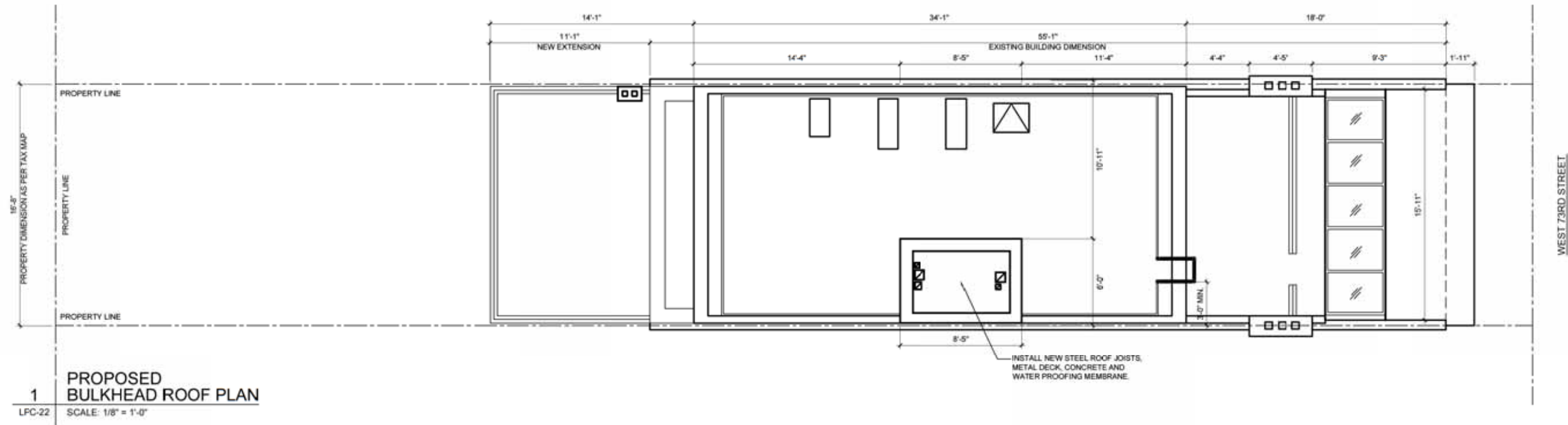
122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829
CLIENT:	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	1/8"=1'-0"

DWG.NO.:	LPC-21
DWG. TITLE:	



CONSTRUCTION LEGEND	
	PROPERTY LINE
	EXISTING WALL TO REMAIN
	NEW MASONRY WALL
	NEW GYPSUM BOARD AND STUD WALL
	AREA OF NEW SLAB ON GRADE

122 W. 73rd St.
New York, NY
10023

ARCHITECT:	BOSTUDIO ARCHITECTURE 200 6th Street, Ste. 2A Brooklyn NY 11215 P: 718.788.7828 F: 718.788.7829
CLIENT:	122 OWNERS LLC & 73 OWNERS LLC 37 W. 20th St. Suite 910 New York, NY 10011

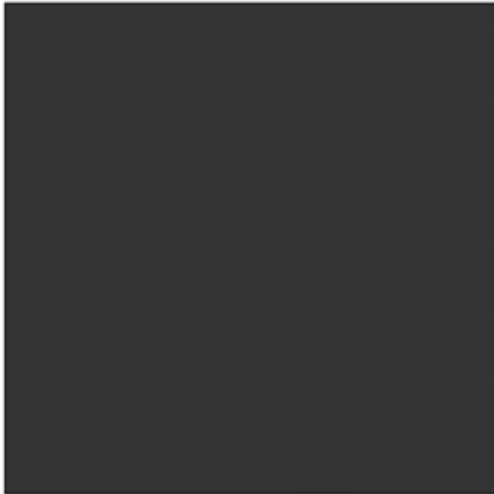
SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.:	1521
DATE:	12.16.15
DRAWN BY:	AK
SCALE:	1/8"=1'-0"

DWG.NO.:	LPC-22
DWG. TITLE:	
ROOF PLAN	



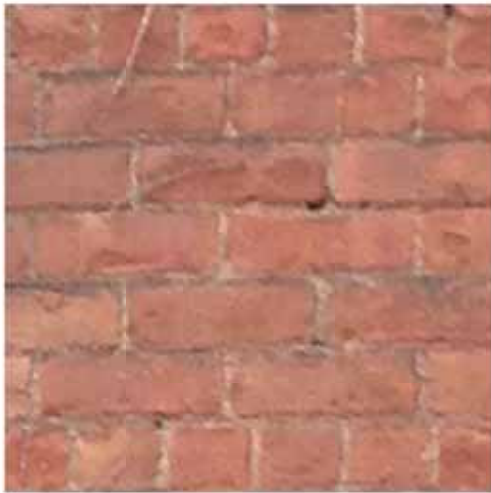
1 FRONT FACADE:
RESTORED BROWNSTONE
LPC-23 NO SCALE



2 FRONT WINDOW FRAMES:
BM - BLACK
LPC-23 NO SCALE



3 REAR FACADE:
CLADDING IN BLK. ANODIZED ALUM.
LPC-23 NO SCALE



4 REAR FACADE:
BRICK TO MATCH EXISTING
LPC-23 NO SCALE



5 REAR WINDOW FRAMES:
BLACK ANODIZED ALUMINUM
LPC-23 NO SCALE



6 EAST & WEST FACADES:
EIFS- STUCCO FINISH
LPC-23 NO SCALE

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

122 W. 73rd St.
New York, NY
10023

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

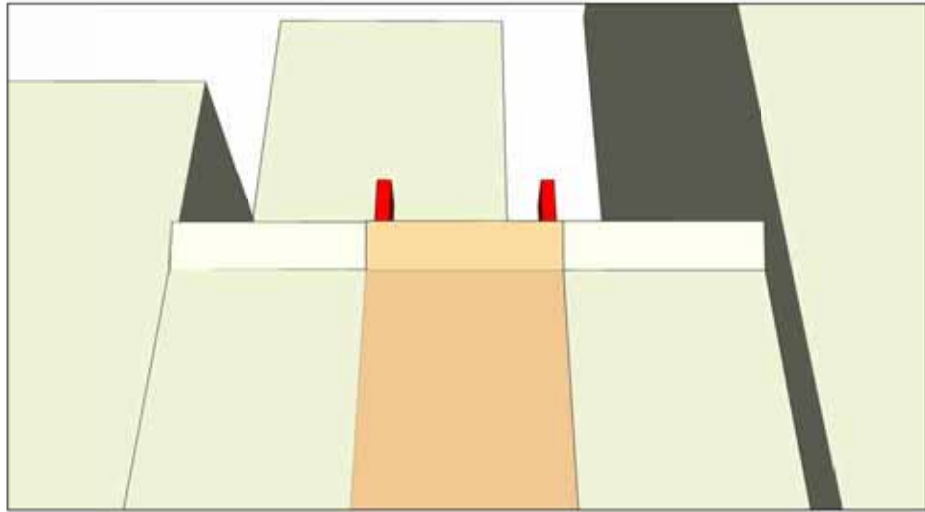
DRAWN BY: AK

SCALE: NTS

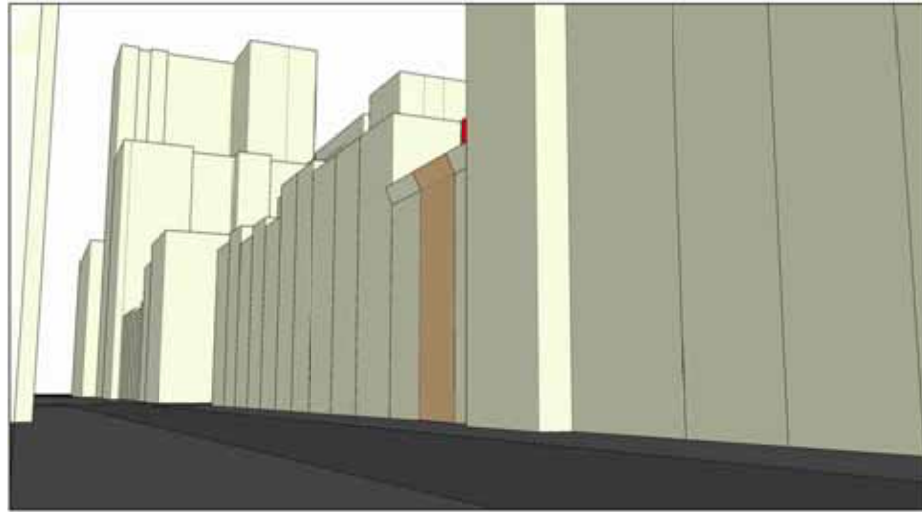
DWG.NO.:

LPC-23

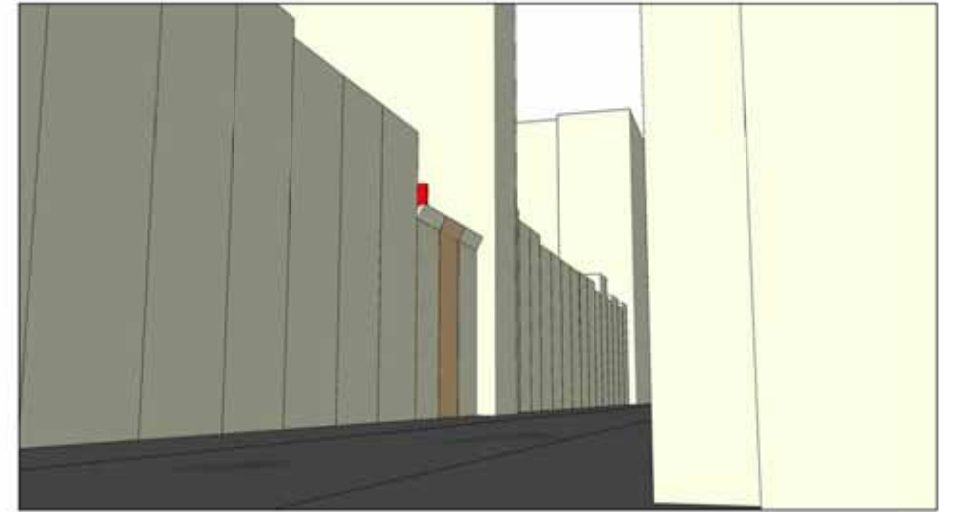
DWG. TITLE: MATERIAL BOARD



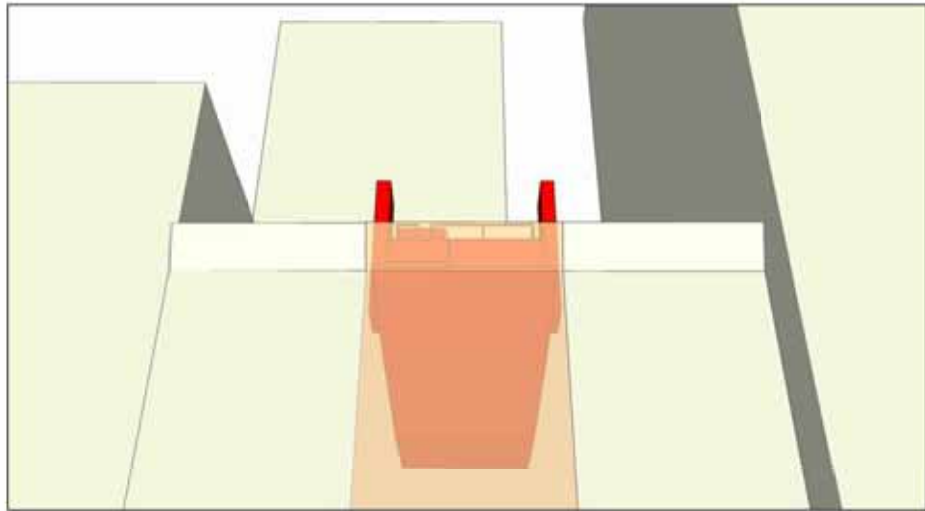
1 | VIEW 1 - NO VISIBILITY
LPC-24 | SCALE: NTS



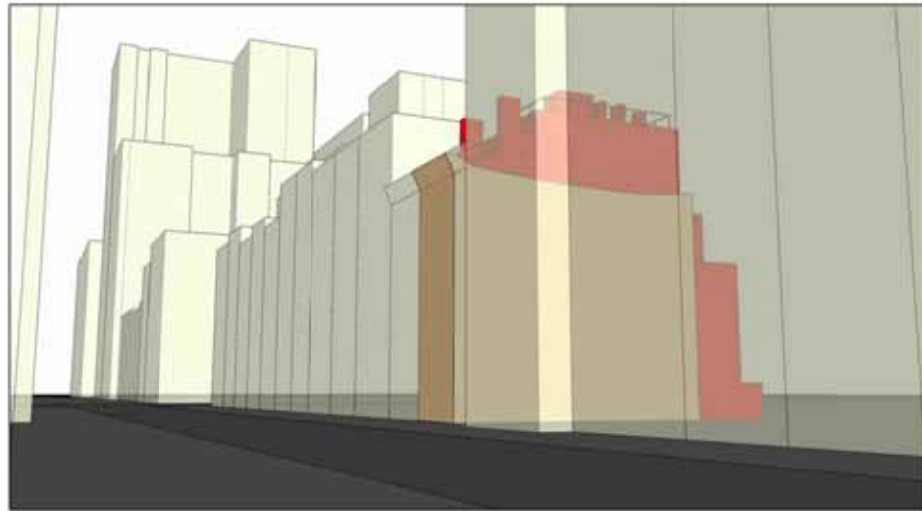
3 | VIEW 2 - NO VISIBILITY
LPC-24 | SCALE: NTS



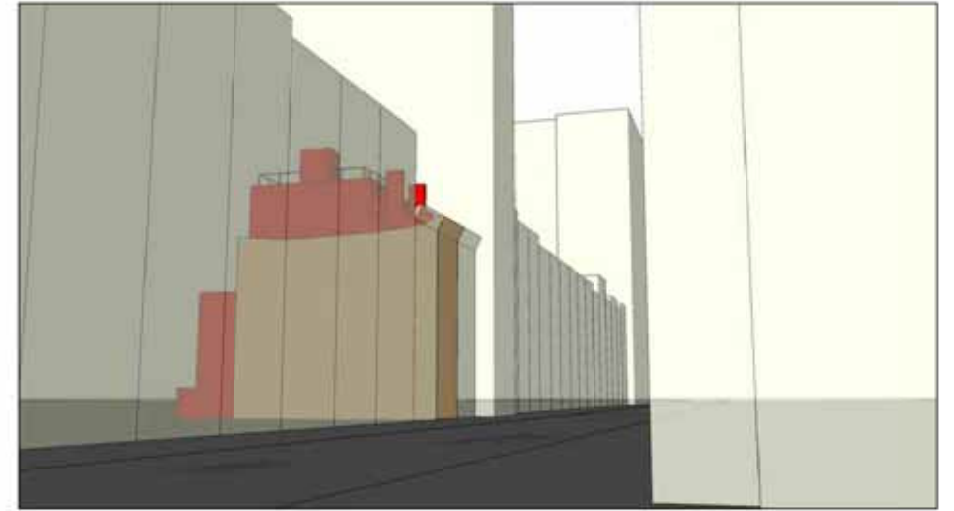
5 | VIEW 3 - NO VISIBILITY
LPC-24 | SCALE: NTS



2 | VIEW 1 - X-RAY
LPC-24 | SCALE: NTS



4 | VIEW 2 - X-RAY
LPC-24 | SCALE: NTS



6 | VIEW 3 - X-RAY
LPC-24 | SCALE: NTS

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

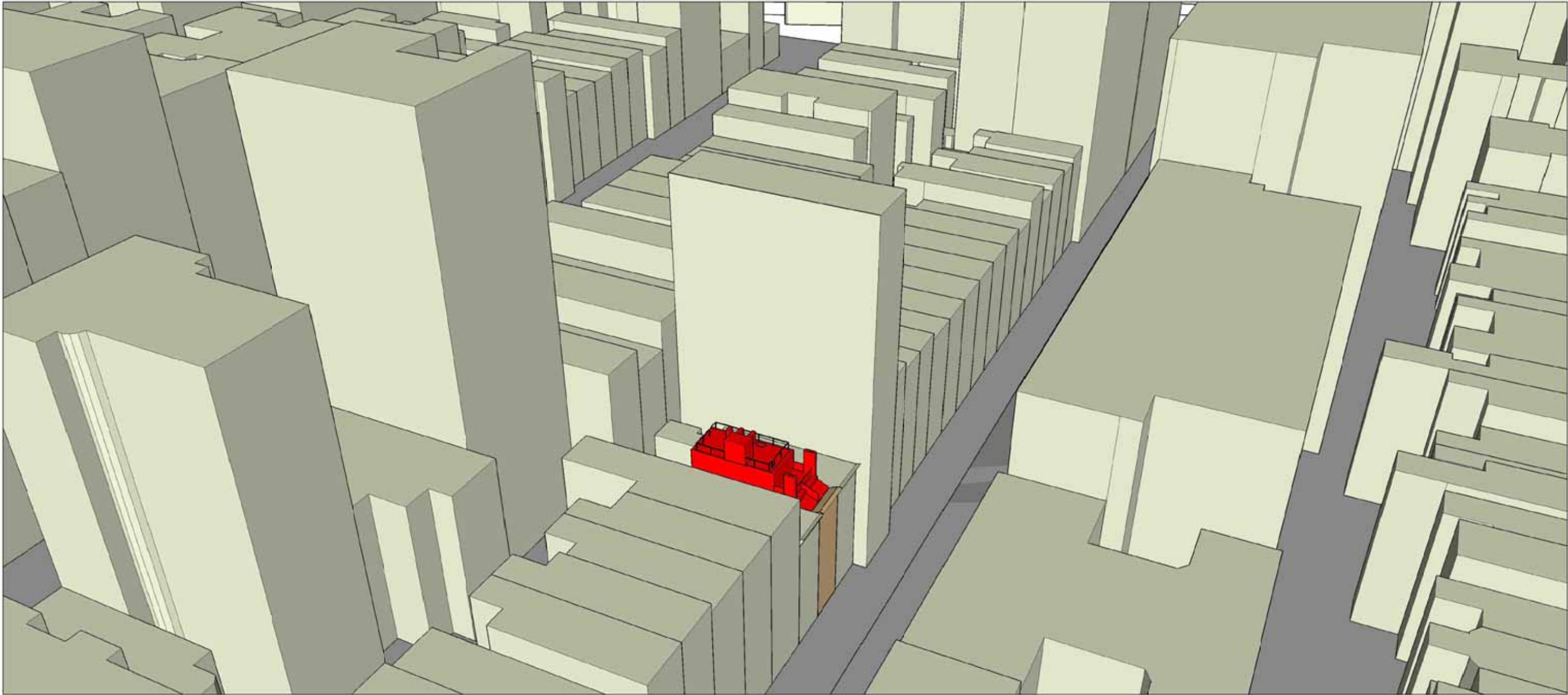
DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-24

DWG. TITLE: VISIBILITY STUDY



1

VIEW 4 - BIRD'S EYE

LPC-25

SCALE: NTS

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-25

DWG. TITLE: VISIBILITY STUDY



1 VIEW 4- BIRD'S EYE
RENDERED WITH MATERIALS
LPC-25A SCALE: NTS

122 W. 73rd St.
New York, NY
10023

ARCHITECT:
BOSTUDIO ARCHITECTURE
200 6th Street, Ste. 2A
Brooklyn NY 11215
P: 718.788.7828 F: 718.788.7829

CLIENT:

122 OWNERS LLC
& 73 OWNERS LLC
37 W. 20th St. Suite 910
New York, NY 10011

SET ISSUE:			LPC SET
REV. NO.:	DATE:	COMMENTS:	
	03.01.17	REVISED PER LPC COMMENTS	
	04.10.17	REVISED PER LPC COMMENTS	
	05.30.17	REVISED PER LPC COMMENTS	

PROJ. NO.: 1521

DATE: 12.16.15

DRAWN BY: AK

SCALE: NTS

DWG.NO.:

LPC-25A

DWG. TITLE: VISIBILITY STUDY