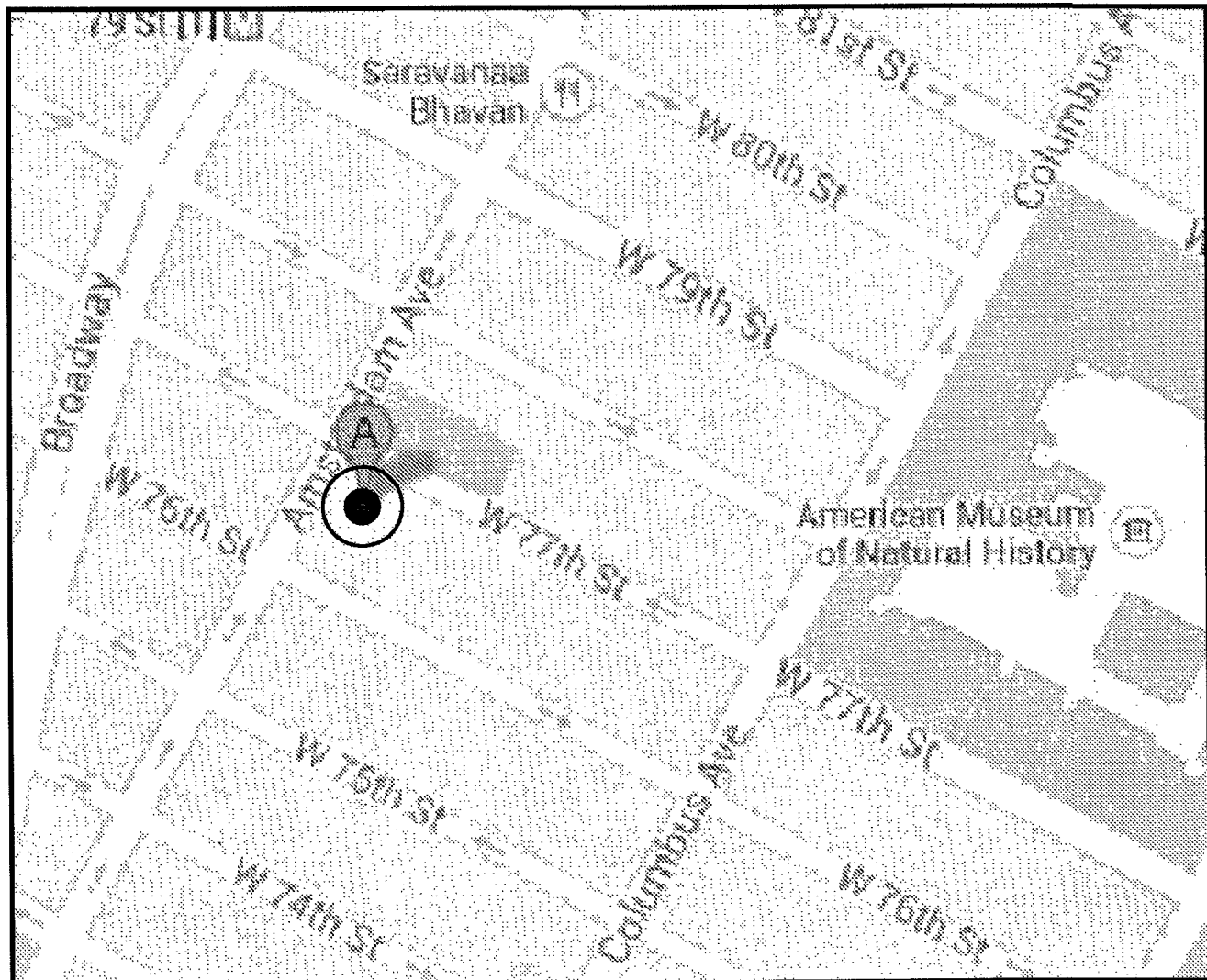


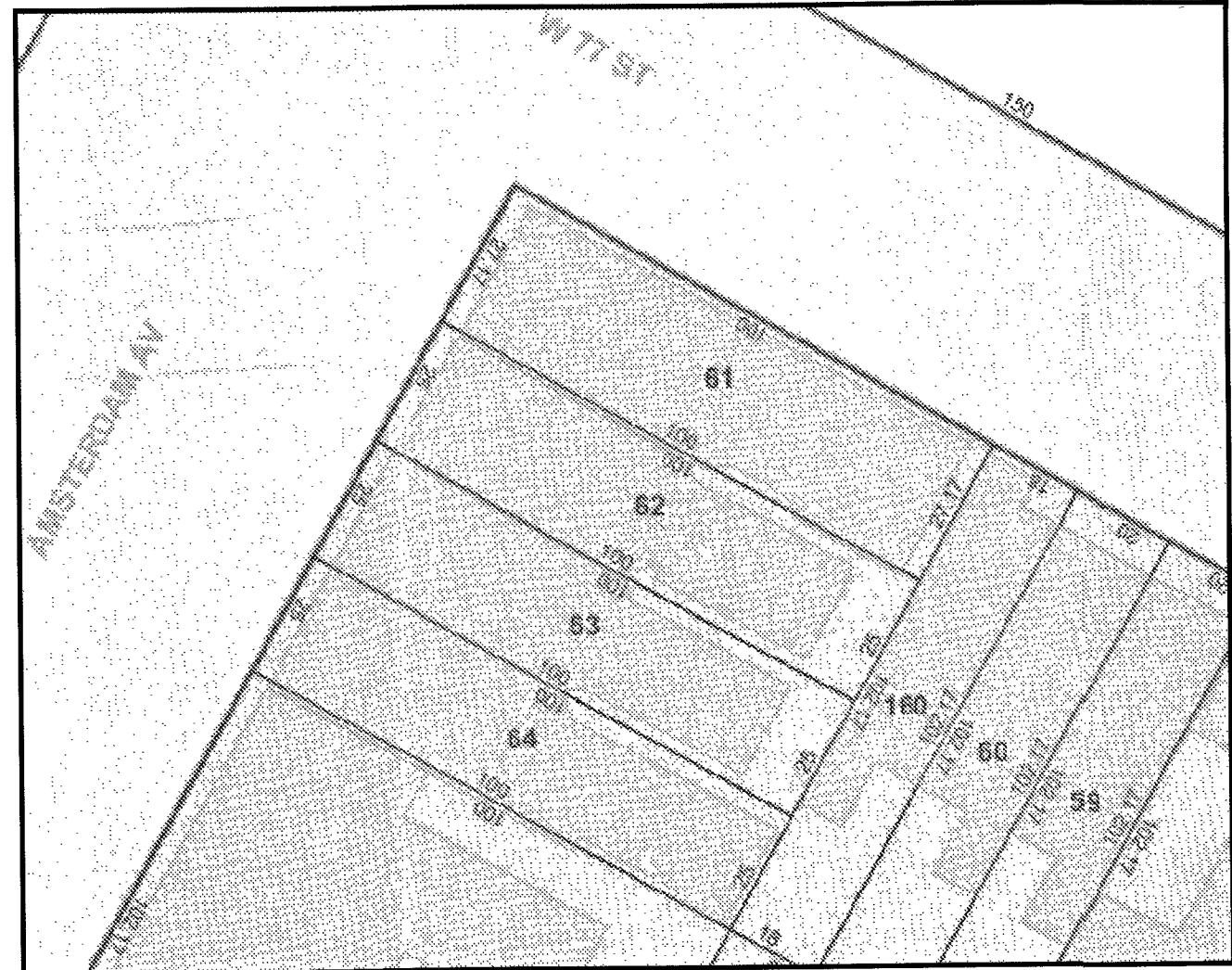
RENOVATIONS TO: 351 Amsterdam Avenue

NEW YORK, NY
CORE & SHELL
ALTERATIONS & ADDITION
CELLAR + FIRST FLOOR



BUILDING ADDRESS: 351 AMSTERDAM AVENUE
BBL: 1-1148-63 MANHATTAN ZIP 10024
ZONING: Zone C2-7A - MAP 8C
OCCUPANCY TYPE: EXISTING - RESIDENTIAL WALK-UP J2

VICINITY MAP / PROJECT DATA



TAX MAP PLAN

SPECIAL INSPECTIONS			
Y	N	SPECIAL INSPECTION	CODE/SECTION
X		FLOOD ZONE COMPLIANCE	BC 610.5
X		FIRE ALARM TEST	BC 907.1704.13
X		PHOTOLUMINESCENT EXIT PATH MARKINGS	BC 1026.11
X		EMERGENCY POWER SYSTEMS (GENERATOR)	BC 1704.13/2702
X		STRUCTURAL STEEL WELDING	BC 1704.3.1
X		STRUCTURAL ERECTION & BOLTING	BC 1704.3.2/3.3
X		STRUCTURAL COLD FORMED STEEL	BC 1704.3.4
X		CONCRETE CAST-IN-PLACE	BC 1704.4
X		CONCRETE PRECAST	BC 1704.4
X		CONCRETE PRESTRESSED	BC 1704.4
X		MASONRY	BC 1704.5
X		WOOD OFF-SITE FABRICATION OF STRUCTURAL ELEMENTS	BC 1704.6
X		WOOD INSTALLATION OF HIGH-LOAD BRACKETS	BC 1704.6.1
X		WOOD INSTALLATION OF METAL PLATE CONNECTED BRUSSES	BC 1704.6.3
X		WOOD INSTALLATION OF PRE-FABRICATED JOISTS	BC 1704.6.4
X		SOILS SITE PREPARATION	BC 1704.7.1
X		SOILS FILL PLACEMENT AND DENSITY INVESTIGATIONS	BC 1704.7.3
X		SOILS FILL PLACEMENT AND DENSITY INVESTIGATIONS (TEST PITS)	BC 1704.7.4
X		PIER FOUNDATIONS	BC 1704.8
X		UNDERPINNING	BC 1704.9
X		WALL PANELS, CURTAIN WALLS & VENEERS	BC 1704.10
X		SPRAYED FIRE-RESISTANT MATERIALS	BC 1704.11
X		EXTERIOR INSULATION FINISH SYSTEMS (EIFS)	BC 1704.12
X		ALTERNATIVE MATERIALS - OTHER BUILDING MATERIALS	BC 1704.13
X		SMOKE CONTROL SYSTEMS	BC 1704.14
X		MECHANICAL SYSTEMS	BC 1704.15
X		FUEL OIL STORAGE AND FUEL OIL PIPING SYSTEMS	BC 1704.16
X		HIGH PRESSURE STEAM PIPING (WELDING)	BC 1704.17
X		FUEL GAS PIPING (WELDING)	BC 1704.18
X		STRUCTURAL SAFETY/STRUCTURAL STABILITY	BC 1704.19
X		MECHANICAL DEMOLITION	BC 1704.19/3305.6
X		EXCAVATION/SHEETPIILING/BRACING	BC 1704.19/3304.4.1
X		SOIL PERCOLATION TEST - DRYWELL	BC 1704.20.1
X		SOIL PERCOLATION TEST - SEPTIC	BC 1704.20.1
X		SEPTIC SYSTEM INSTALLATION	BC 1704.20
X		SEPTIC SYSTEM INSTALLATION	BC 1704.20
X		SPRINKLER SYSTEMS	BC 1704.21
X		STANDPIPE SYSTEMS	BC 1704.22
X		HEATING SYSTEMS	BC 1704.23
X		CHIMNEYS	BC 1704.24
X		FIRESTOP, DRAFTSTOP AND FIREBLOCK SYSTEMS	BC 1704.25

SPECIAL INSPECTIONS			
Y	N	SPECIAL INSPECTION	CODE/SECTION
X		ALUMINUM WELDING	BC 1704.26
X		SEISMIC ISOLATION SYSTEMS	BC 1707.8
X		CONCRETE TEST CYLINDERS	BC 1905.8
X		CONCRETE DESIGN MIX	BC 1905.3
PROGRESS INSPECTIONS			
Y	N	PROGRESS INSPECTIONS	CODE/SECTION
X		PRELIMINARY	BC 109.2/28-16.2.1
X		FOOTING AND FOUNDATION	BC 109.3.1
X		LOWEST FLOOR ELEVATION (ATTACH FEMA FORMS)	BC 109.3.2
X		FRAME INSPECTION	BC 109.3.3
X		ENERGY CODE COMPLIANCE INSPECTIONS	BC 109.3.5
X		FIRE RESISTANCE RATED CONSTRUCTION	BC 109.3.4
X		PUBLIC ASSEMBLY EMERGENCY LIGHTING	28-116.2.2
X		FINAL	28-116.2.2 / BC 109.3.5 DIRECTIVE 44 OF 1976 & 1 RNY 104-0
ENERGY CODE PROGRESS INSPECTIONS			
Y	N	PROGRESS INSPECTIONS	CODE/SECTION
X		PROTECTION OF FOUNDATION INSULATION	(IA1) (IA1)
X		INSULATION PLACEMENT AND R VALUES	(IA2) (IA2)
X		FENESTRATION THERMAL VALUES & RATINGS	(IA3) (IA3)
X		FENESTRATION RATINGS FOR AIR LEAKAGE	(IA4) (IA4)
X		FENESTRATION AREAS	(IA5) (IA5)
X		AIR SEALING AND INSULATION - VISUAL	(IA6) (IA6)
X		AIR SEALING AND INSULATION - TESTING	(IA7)
X		PROJECTION FACTORS	(IA7)
X		LOADING DOCK WEATHER SEALS	(IA8)
X		VESTIBULES	(IA9)
X		FIREPLACES	(IB1) (IB1)
X		DAMPERS INTEGRAL TO BUILDING ENVELOPE	(IB2) (IB2)
X		HVAC & SERVICE WATER HEATING EQUIPMENT	(IB3) (IB3)
X		HVAC SERVICE WATER HEATING AND SYSTEM CONTROLS	(IB4) (IB4)
X		DUCT PLENUM AND PIPING INSULATION	(IB5) (IB5)
X		DUCT LEAKAGE TESTING	(IB6) (IB6)
X		ELECTRICAL METERING	(IC1) (IC1)
X		LIGHTING IN DWELLING UNITS	(IC2) (IC2)
X		INTERIOR LIGHTING POWER	(IC3)
X		EXTERIOR LIGHTING POWER	(IC4)
X		LIGHTING CONTROLS	(IC5)
X		EXIT SIGNS	(IC6)
X		TANDEM WIRING	(IC7)
X		ELECTRICAL MOTORS	(IC8)
X		MAINTENANCE INFORMATION	(ID1) (ID1)
X		PERMANENT CERTIFICATE	(ID2)

INDICATES REPORT REQUIRED

NATURAL LIGHT / VENTILATION CHART					
PROJECT AREA = 2,232 SQ FT ALL DATA SHOWN IN SQUARE FEET ALL ACTUAL DIMS FROM FIELD SURVEY					
SPACE TYPE	ROOM NAME	AREA (SF)	NATURAL LIGHT (GLAZED)		NATURAL VENTIL (OPENED)
			10% REQD	ACTUAL	5% REQD ACTUAL
HABITABLE	1st FLOOR MERCANTILE	1650 NET	165	154	82 70
OCCUPABLE	CELLAR (STORAGE AREA)	644 NET	70	21	4% REQD 28 9
NON-OCCUPABLE	HALLWAYS SMALL CLOSETS STAIR WALL THICKNESSES TOTAL USABLE AREA	123 639	-	-	-

PLUMBING FIXTURE CALCULATION			
IN ACCORDANCE WITH SECTION 27-122.3 (TABLE 16-1)			
RESTAURANT SPACE (TABLE 6-2 NET AREA) DINING SPACES = 12 SF PER OCCUPANT			
1641 / 12 = 137 PEOPLE			
REQUIRED:			
NUMBER OF PERSONS	WATER CLOSETS (MEN)	WATER CLOSETS (WOMEN)	
1-150	1	2	
PROVIDED:			
(1) UNISEX TOILET ROOM (ACCESSIBLE) FOR (1) MENS WATER CLOSET + (1) WOMENS WATER CLOSET			
(1) WOMENS TOILET ROOM (NON-ACCESSIBLE) FOR (1) WOMENS WATER CLOSET			

TENANT PROTECTION PLAN

THE PROJECT SCOPE AREA IS 1ST FLOOR & CELLAR - ALL UPPER LEVEL APARTMENTS THROUGHOUT THE BUILDING SHALL REMAIN OCCUPIED DURING CONSTRUCTION. THE BUILDING OWNER AND CONTRACTOR SHALL ENSURE THE FOLLOWING CONDITIONS ARE MET AS PART OF THE PROJECT SCOPE:

1. EGRESS - ALL CONSTRUCTION WORK ON EXISTING 1ST FLOOR SHALL BE ACCOMPLISHED WITHOUT BLOCKING OR REDUCING EGRESS. NEW STAIR WORK SHALL BE DONE PRIOR TO REMOVAL OF EXISTING LOWER RUN. ALL COMPONENTS SHALL BE KEPT CLEAN AND FREE OF DEBRIS AT ALL TIMES SO AS TO ALLOW UNINTERRUPTED EGRESS. ALL LIGHTING AND ANY EMERGENCY DEVICES SHALL REMAIN EFFECTIVE THROUGHOUT CONSTRUCTION.

2. PROTECTION AND SEPARATION - THE CONSTRUCTION AREA SHALL BE SEPARATED FROM ALL EGRESS CORRIDORS AND STAIRS BY RATED WALL CONSTRUCTION WITH FIRE RATED GUB (BOTH SIDES) UNTIL WORK IS COMPLETE.

3. HEALTH - UNTIL CONSTRUCTION IS COMPLETE ALL OPENINGS INTO THE CONSTRUCTION AREA SHALL BE KEPT CLOSED AND COVERED WITH MEMBRANE (6 MIL PLASTIC) SO AS TO MITIGATE MIGRATION OF DUST TO ANY EGRESS CORRIDORS OR STAIR AREAS. ALL DEBRIS FROM DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REMOVED FROM THE BUILDING TO DUMPSTERS LOCATED AT GRADE AND SHALL NOT AFFECT ANY MEANS OF EGRESS.

4. NOISE - ALL CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT BETWEEN THE HOURS OF 7:00 AM AND 6:00 PM (OR AS CITED IN OWNER / TENANT AGREEMENTS) AND WHERE APPLICABLE SHALL BE IN ACCORDANCE WITH THE NYC NOISE CODE (LL 113).

5. HAZARDOUS MATERIALS - ALL CONSTRUCTION ACTIVITIES AND OPERATIONS SHALL COMPLY WITH ALL FEDERAL, STATE AND NEW YORK CITY RULES, REGULATIONS AND CODES REGARDING THE DISCOVERY, HANDLING, ENCAPSULATION OR REMEDIATION OF ANY KNOWN HAZARDOUS MATERIAL.

BUILDING ACCESS NOTES

1. DELIVERIES - THROUGHOUT PROJECT ALL DELIVERIES SHALL BE BROUGHT INTO THE BUILDING IN ACCORDANCE WITH BUILDING STANDARDS. SCHEDULE DELIVERIES APPROPRIATELY W/ JOB OR BUILDING MANAGER TO ENSURE THIS REQ.

2. LOBBY ACCESS - PROJECT WORK SHALL BE DONE IN COORDINATION WITH BUILDING MANGER/OWNER REQUIREMENTS FOR LOBBY ACCESS AND EGRESS. PHASE OR SCHEDULE WORK TO ENSURE TENANT ACCESS THROUGHOUT COURSE OF PROJECT. DO NOT CLOSE OFF EGRESS COMPONENTS AT ANY TIME. DO NOT DISTURB TENANT ACCESS OR EGRESS.

LIST OF DRAWINGS:

GEC DESIGN GROUP - ARCHITECTURAL

A-000.00
A-001.00
A-010.00
A-020.00
A-030.00
A-040.00
A-050.00

COVER SHEET
SITE CONDITIONS & SIGHT LINE ANALYSIS
EXISTING CONDITIONS
DEMOLITION PLANS & ELEVATIONS
PROPOSED PLANS AND ELEVATIONS
WALL SECTIONS AND DETAILS
STAIR SECTIONS AND DETAILS

BUILDING DEPARTMENT SUMMARY:

APPLICABLE CODES

NYC CONSTRUCTION CODES

1938 NEW YORK CITY BUILDING CODE (EXISTING INTERIOR ALTERATIONS)
2008 NEW YORK CITY BUILDING CODE (NEW ADDITION)
2008 NYC PLUMBING CODE
2008 NYC MECHANICAL CODE
2008 NYC FUEL AND GAS CODE
2008 NYC FIRE CODE
2011 NYC ENERGY CONSERVATION CODE
NEW YORK CITY LOCAL LAW LL 1 OF 2011
NEW YORK CITY LOCAL LAW LL 48 OF 2010
NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE 2010

PROJECT SCOPE OF WORK

INTERIOR RENOVATION IN EXISTING RESIDENTIAL BUILDING (5-STORY WALK-UP).
CREATE NEW COMMERCIAL SPACE AT STREET LEVEL (1ST FLOOR).
NEW PERMITTED OBSTRUCTION (ADDITION) IN REAR COURT (1ST FLOOR / CELLAR)

OCCUPANCY USE GROUP

NYCCC - 1938 / 1968 - SECTION J2 (APARTMENT HOUSES)
NYCCC - SECTION 303.1 BUILDING CODE OCCUPANCY GROUP "F-4" (RESTAURANT)

TOTAL RESTAURANT AREA

1641 SF

OCCUPANT LOAD - RESTAURANT AREA

1641 SF / 12 PPL/SF = 137 PEOPLE

TOTAL AREA OF NEW OBSTRUCTION (ADDITION)

260 SF

HAZARD CLASSIFICATION

ORDINARY HAZARD
FIRE PROTECTION
NON-SPRINKLERED

EXIT ACCESS TRAVEL LIMIT TO EXIT

REQD: 150 FEET NYCCC - TABLE 1013.1
PROVIDED: 98 FEET MAXIMUM

MAXIMUM DEAD END

REQD: 20 FEET NYCCC
PROVIDED: NONE

COMMON PATH OF TRAVEL LIMIT

REQD: 75 FEET NYCCC - SECTION 1013.3
PROVIDED: 98 FEET

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE CURRENT 2011 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY AND THE ECCCNY-2010.

ENERGY CODE ANALYSIS - Commercial

SUMMARY OF PROJECT:

INTERIOR ALTERATIONS (PERMIT ALT 2) SCOPE FOR ADDITIONAL MERCANTILE SPACE ON 1ST FLOOR WITH NEW PERMITTED OBSTRUCTION IN EXISTING RESIDENTIAL WALK-UP.

CLIMATE ZONE:

4A

WORK ITEMS INCLUDING NEW AND/OR REPLACEMENT	PROPOSED DESIGN VALUE	CODE PRESCRIBED VALUE / CITATION
ENVELOPE SYSTEMS: WALLS, WINDOWS, DOORS		
EXTERIOR ENVELOPE	WALLS-R19 ROOF-R38	R-13 / R-38
EXTERIOR DOOR	0.35 U Factor	0.35 U Factor
WINDOW	0.35 U Factor	0.35 U Factor
MECHANICAL & SERVICE WATER HEATING SYSTEMS:	N/A NO NEW SCOPE REUSE EXISTING	N / A
LIGHTING & ELECTRICAL SYSTEMS		
PROVIDE NEW CEILING MOUNTED FIXTURES FOR TEMPORARY LIGHTING UNTIL TENANT FIT-OUT WORK IS DONE UNDER SEPARATE PERMITTING PROCESS.	50% OF ALL FIXTURES SHALL BE EQUIPPED WITH HIGH EFFICACY LAMPS	



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SACKMAN ENTERPRISES
RENOVATIONS TO: 351 AMSTERDAM AVENUE
Cellar and First Floor Renovations & Addition
New York City, New York 10023

DATE	06/29/14
ISSUE FOR	
CLIENT REVIEW AND PERMITTING	
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ISSUE	1.

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SCALE: AS NOTED
DRAWN BY: KAD
CHECKED BY: GEC
DATE: 05/22/14
PROJECT NO.: 140603
APPROVED BY:

COVER

DRAWING NO:

A-000.00

Site - 351 Amsterdam Ave
Block - 1148
Lot - 63
Zoning District - C2-7a (Residential Equiv per ZR 34-112 is R9a)
Map # - 8c
Lot Size - 25' x 100' = 2500 sq ft
Mixed Use (Residential/Commercial) - ZR 35-00

Residential FAR (ZR 35-23/23-145) - 7.52

Residential Lot Coverage - 80% (Lot is within 100' of a corner, deemed as a corner lot)

Residential Density (ZR 23-20) Max Permitted Res ZFA/740 7.52 x 2500 = 18800/740 = 25.4 (25 Dwelling Units)

Commercial FAR - (ZR 35-31/33-122) 2.0

Residential Yards (ZR 23-45 - Front) None Required
(ZR 23-46 - Side) None Required. (If any are proposed, they must be 8'in width).
(ZR 23-54 - Rear) None Required for lots within 100' of an intersection.
xlf any windows are installed at rear of building and required for light/air, a 30'rear yard would then be required.

Commercial Yards (ZR 33-25 - Side) None Required. (If any are proposed, they must be 8'in width).
(ZR 33-50 - Rear) None Required for lots within 100' of an intersection.

Residential Height/Setback (ZR 23-633(a)(3) - Street Wall) - The street wall shall extend along entire street frontage of the zoning lot;

At least 70 percent of the aggregate width of street walls shall be located within eight feet of the street line and extend to at least the minimum base height specified in the table in this Section or the height of the building, whichever is less.

The remaining 30 percent of the aggregate width of street walls may be recessed beyond eight feet of the street line provided any such recesses deeper than 10 feet along a wide street are located within an outer court.

(ZR 23-633(b) - Height/Setback) At a height not lower than the minimum base height or higher than the maximum base height specified in the table in this Section, a setback with a depth of at least 10 feet shall be provided from any street wall fronting on a wide street.

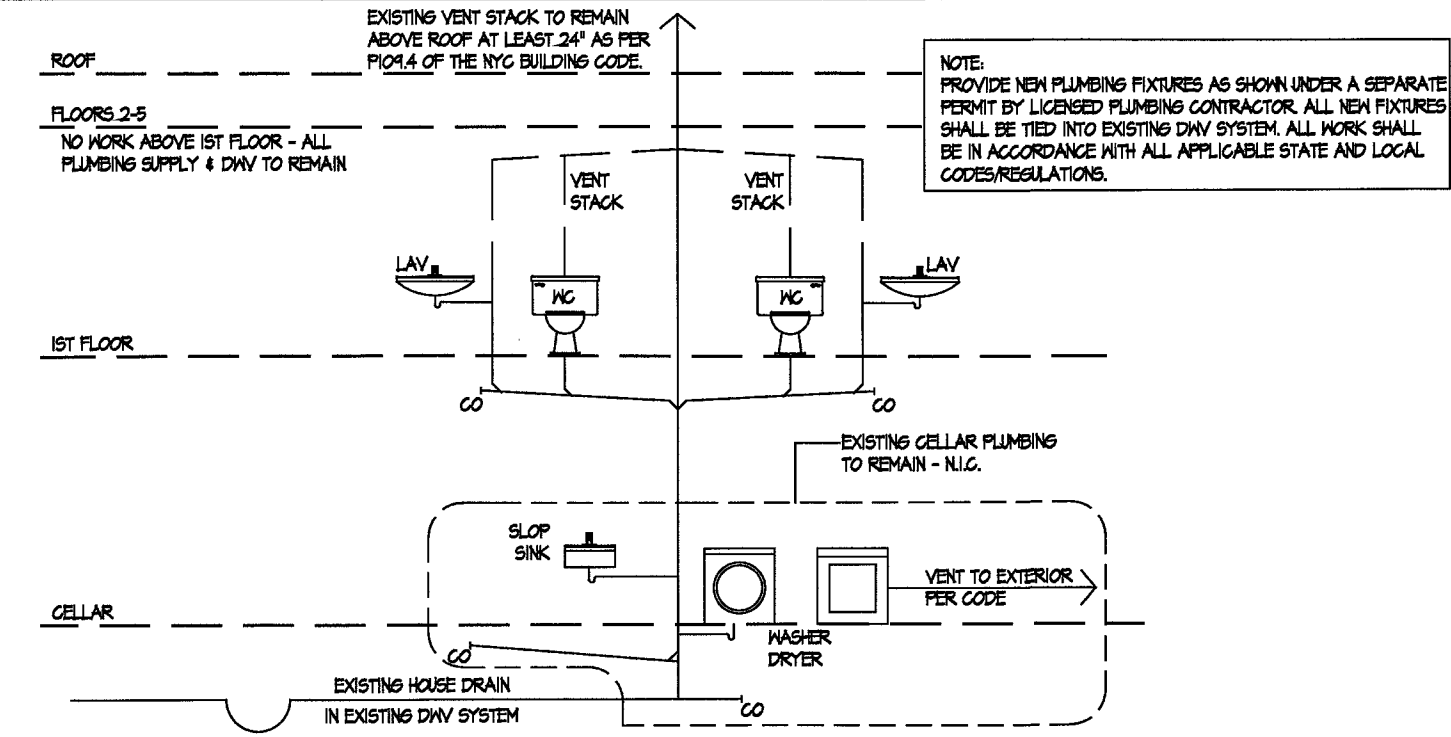
Min Base Height - 60'
Max Base Height - 102'
Max Height - 100'x

x(ZR 23-692_ Height limitations for narrow buildings or enlargements R7-2 R7D R7X R8 R9 R10

In the districts indicated, portions of buildings with street walls less than 45 feet in width shall not be permitted above the following heights:

For corner lots bounded by at least one wide street, a height equal to the width of the widest street on which it fronts, or 100 feet, whichever is less.

Commercial Height/Setback (ZR 33-432)

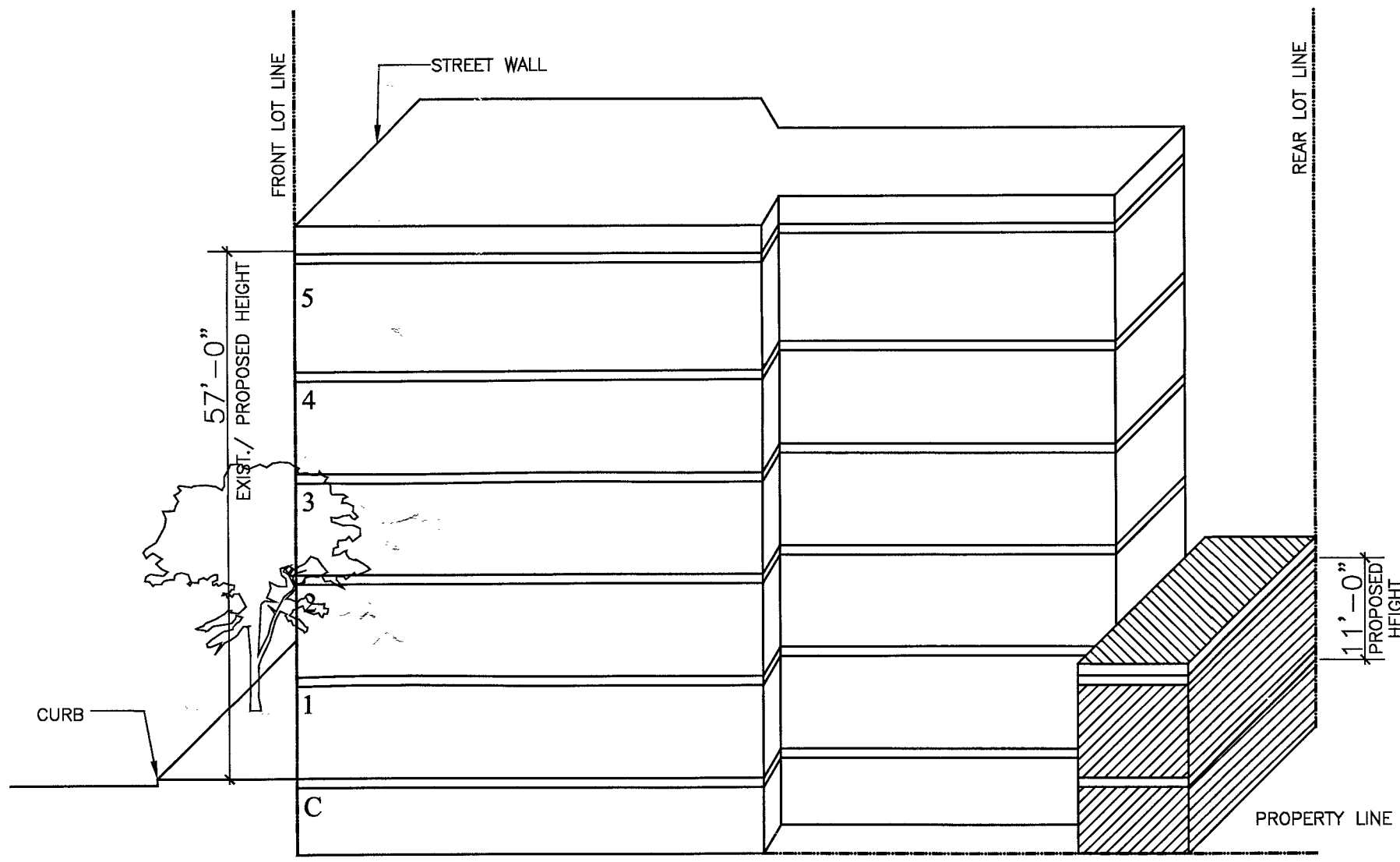


ZONING DATA

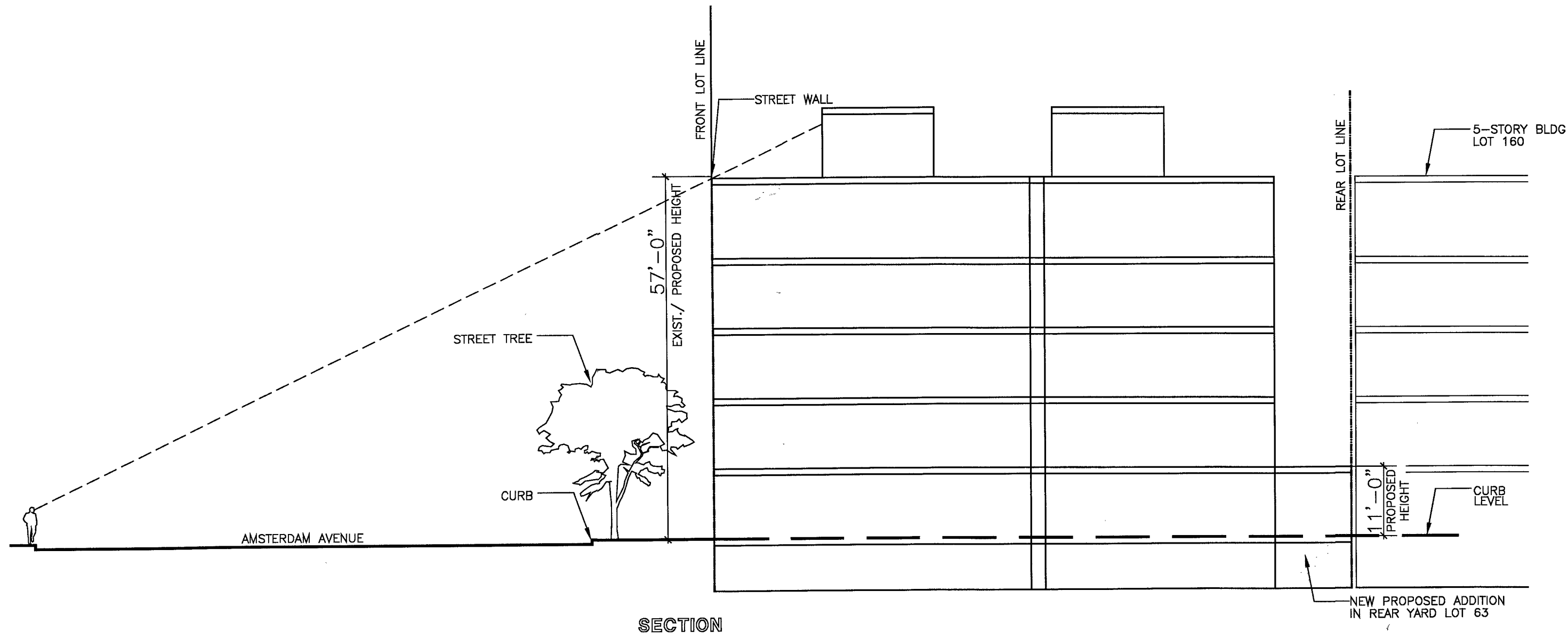
PLUMBING RISER DIAGRAM

FLOOR	EXIST. RESIDENTIAL	EXIST. COMMERCIAL
1ST FLOOR	1,268 SF	758 SF
2ND FLOOR	2,026 SF	0 SF
3RD FLOOR	2,026 SF	0 SF
4TH FLOOR	2,026 SF	0 SF
5TH FLOOR	2,026 SF	0 SF
PENTHOUSE	600 SF	0 SF
SUBTOTAL	9,972 SF	758 SF
TOTAL EXISTING:	10,730 SF	

FLOOR	PROPOSED RES.	PROPOSED COM.
1ST FLOOR	305 SF	1,981 SF
2ND FLOOR	2,026 SF	0 SF
3RD FLOOR	2,026 SF	0 SF
4TH FLOOR	2,026 SF	0 SF
5TH FLOOR	2,026 SF	0 SF
PENTHOUSE	600 SF	0 SF
SUBTOTAL	9,009 SF	1,981 SF
TOTAL PROPOSED:	10,990 SF	



ISOMETRIC



SECTION

4 SITE LINE AND VIEW ANALYSIS OF PROPOSED REAR ADDITION

1/16"=1'-0"

1 EXISTING SITE PLAN

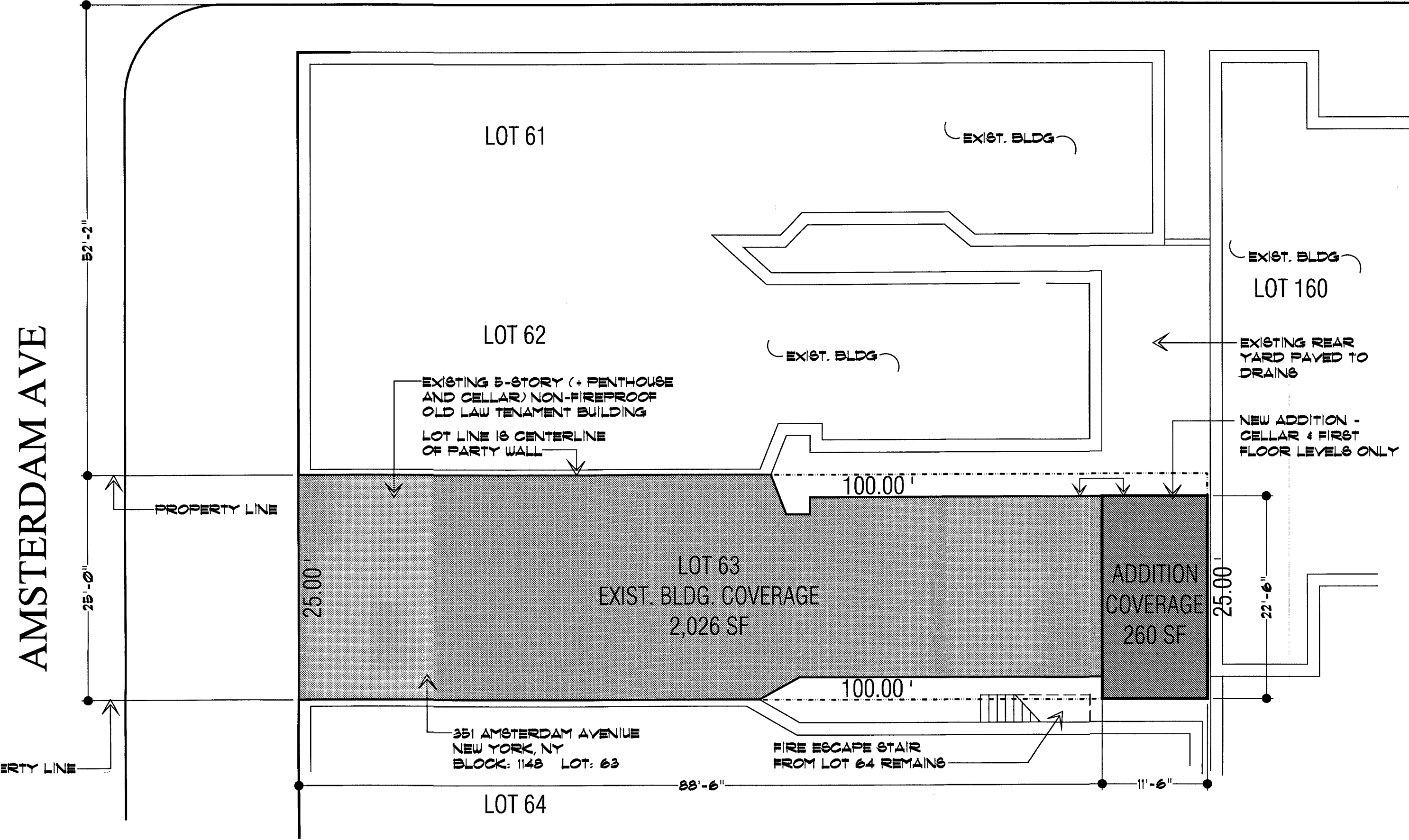
1/8"=1'-0"

AMSTERDAM AVE

AMSTERDAM AVE

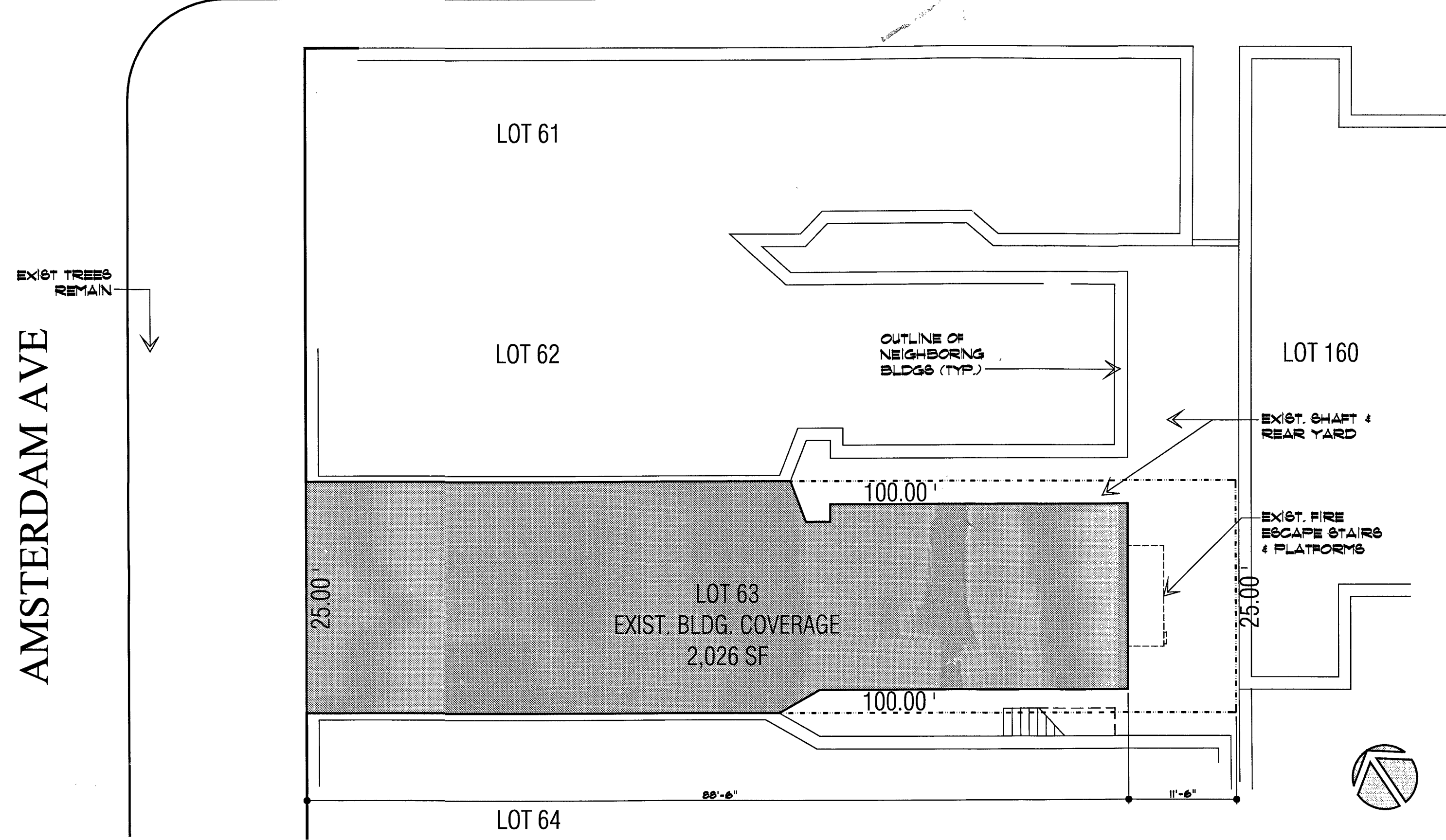
WEST 77 STREET

WEST 77 STREET



3 PROPOSED SITE PLAN - NEW ADDITION

1/8"=1'-0"



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KA DAVIGNON
ARCHITECT

SACKMAN ENTERPRISES
RENOVATIONS TO: 351 AMSTERDAM AVENUE
Cellar and First Floor Renovations & Addition
New York City, New York 10023

DATE	06/29/14
ISSUE FOR	CLIENT REVIEW AND PERMITTING
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REGISTERED ARCHITECT
KEVIN A. DAVIGNON
031528
STATE OF NEW YORK

SCALE: AS NOTED	DATE: 05/22/14	PROJECT NO.: 140503
DRAWN BY: KAD	CHECKED BY: GEC	APPROVED BY:
DRAWING TITLE: SITE CONDITIONS		

DRAWING NO: AS-010.00

$$1/8' = 1' - 0'$$

	$1/8' = 1' - 0''$
--	-------------------

1/8"=1'-0"

	$1/8^{\circ}=1^{\circ}-0^{\circ}$
--	-----------------------------------

1/8"=1'-0"

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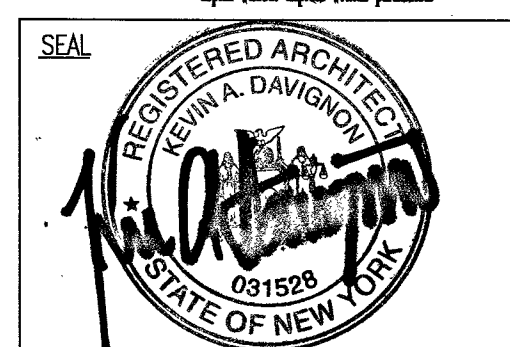
**K.A. DAVIGN
ARCHITECT**

6000 E. 10TH AVE.
DENVER, CO 80231
303.733.1111

PROJECT:
 SACKMAN ENTERPRISES
 RENOVATIONS TO: 351 AMSTERDAM AVENUE
 Cellar and First Floor Renovations & Addition
 New York City, New York 10023

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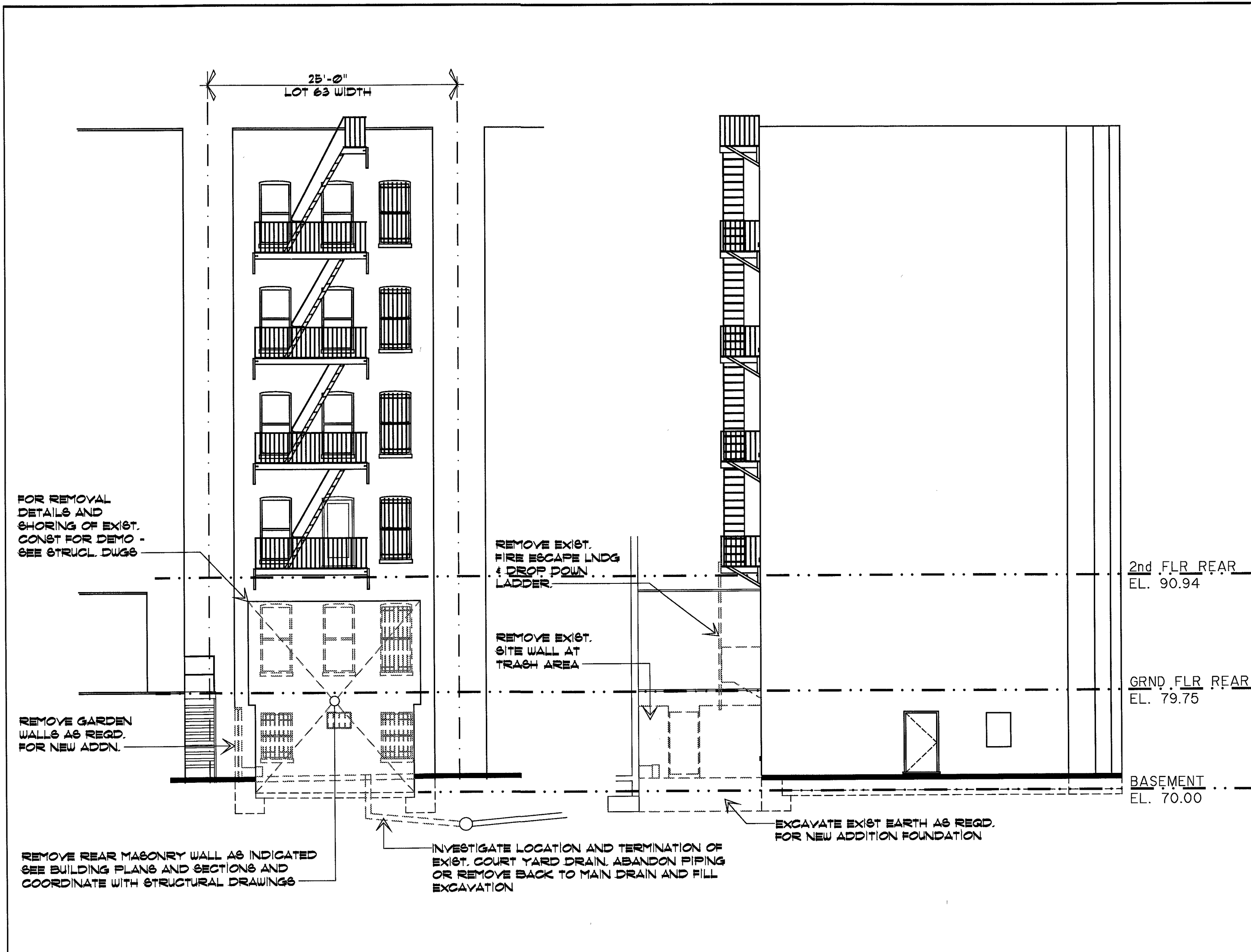
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SCALE: AS NOTED	DATE: 05/22/14	PROJECT N 140503
DRAWN BY: KAD	CHECKED BY: GEC	APPROVED
DRAWING TITLE:		

EXISTING CONDITIONS

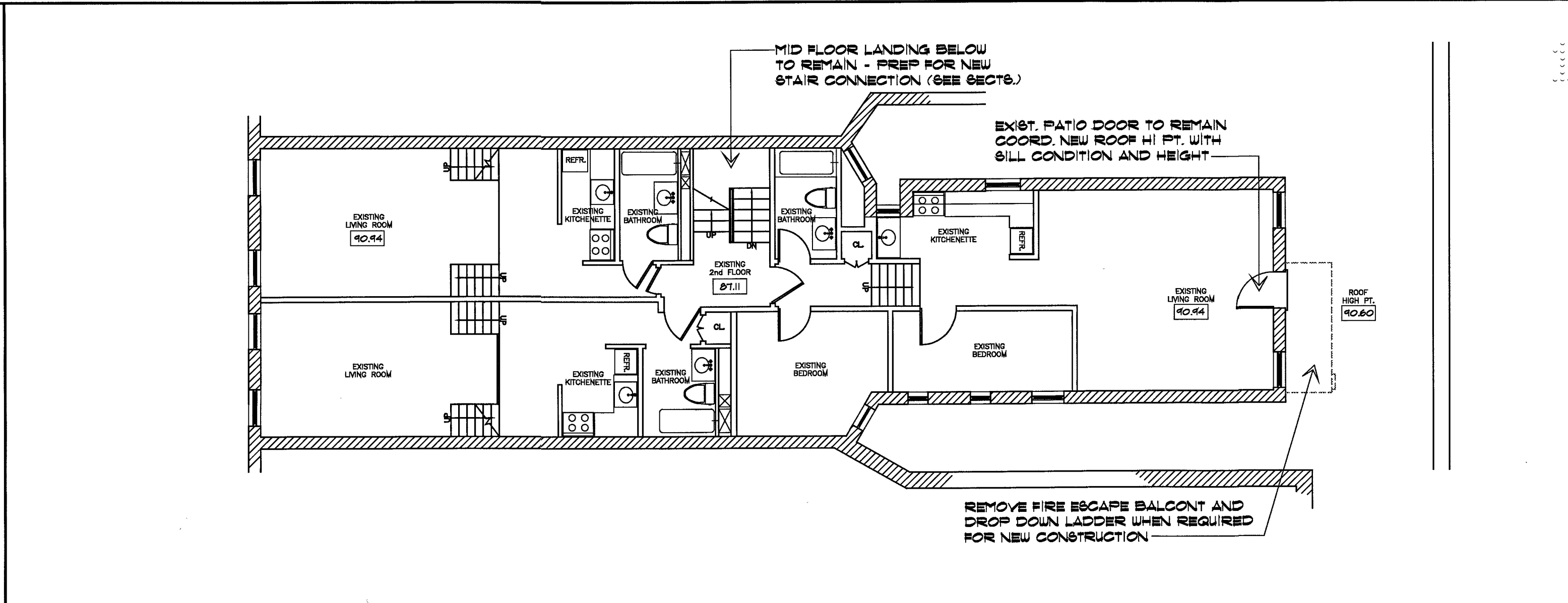
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A-010.00



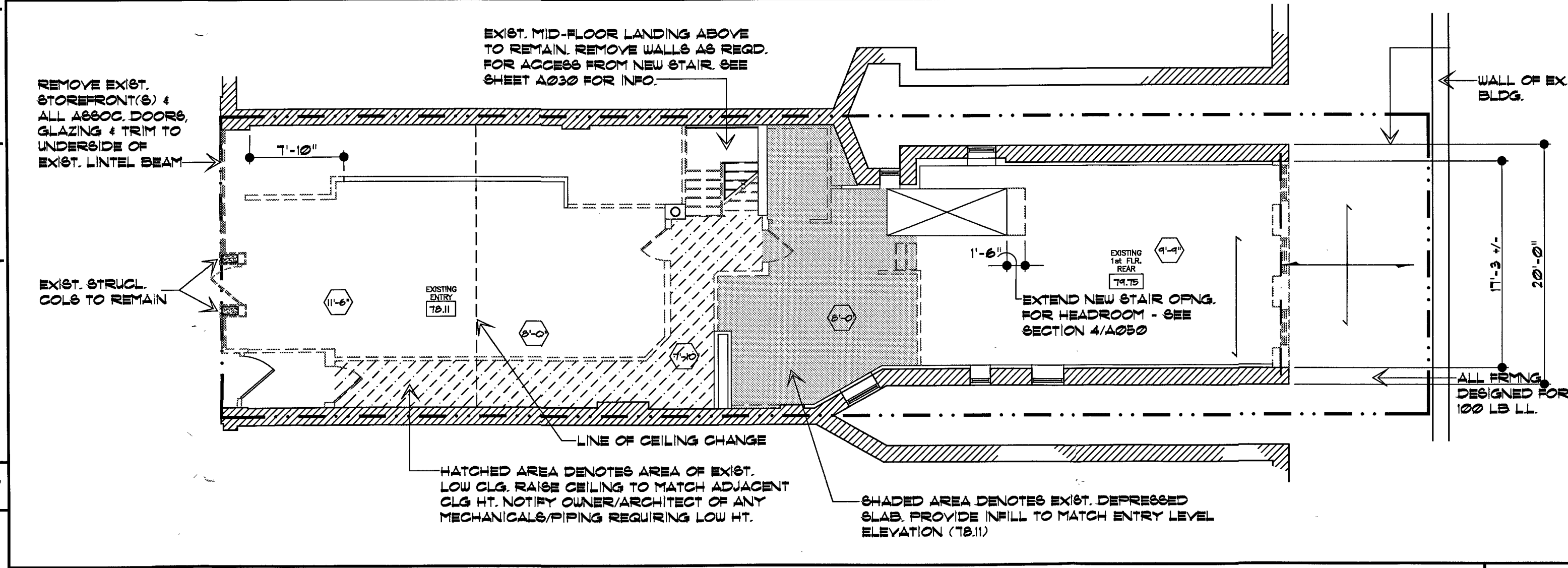
5 REAR and NORTH SHAFT DEMOLITION ELEVATION 1/8"=1'-0"



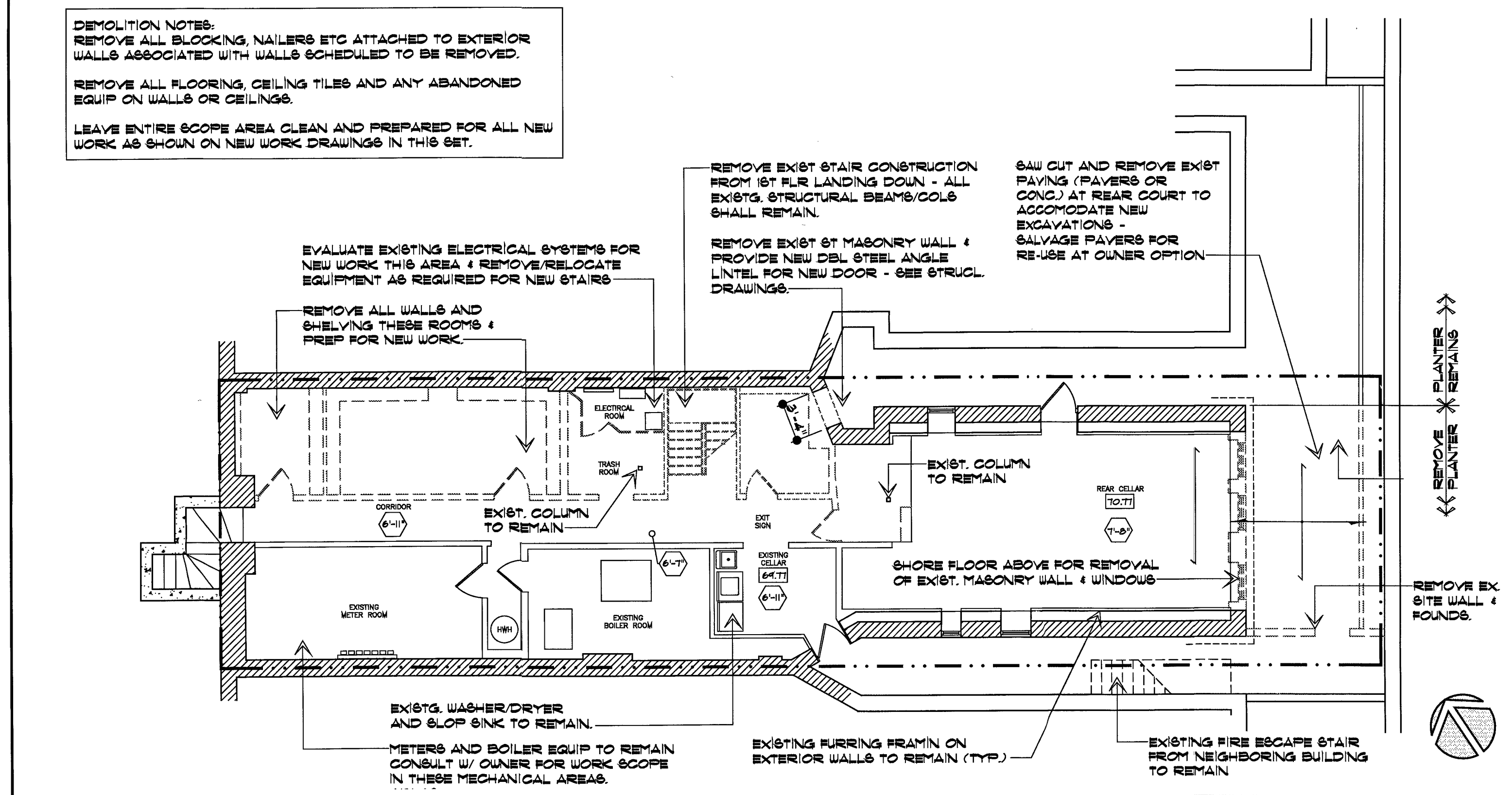
4 FRONT ELEVATION DEMOLITION (AMSTERDAM AVE ELEVATION) 1/8"=1'-0"



3 2ND FLOOR DEMOLITION PLAN 1/8"=1'-0"



2 FIRST FLOOR DEMOLITION PLAN 1/8"=1'-0"



1 BASEMENT DEMOLITION PLAN 1/8"=1'-0"

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FARMINGTON CT 06030

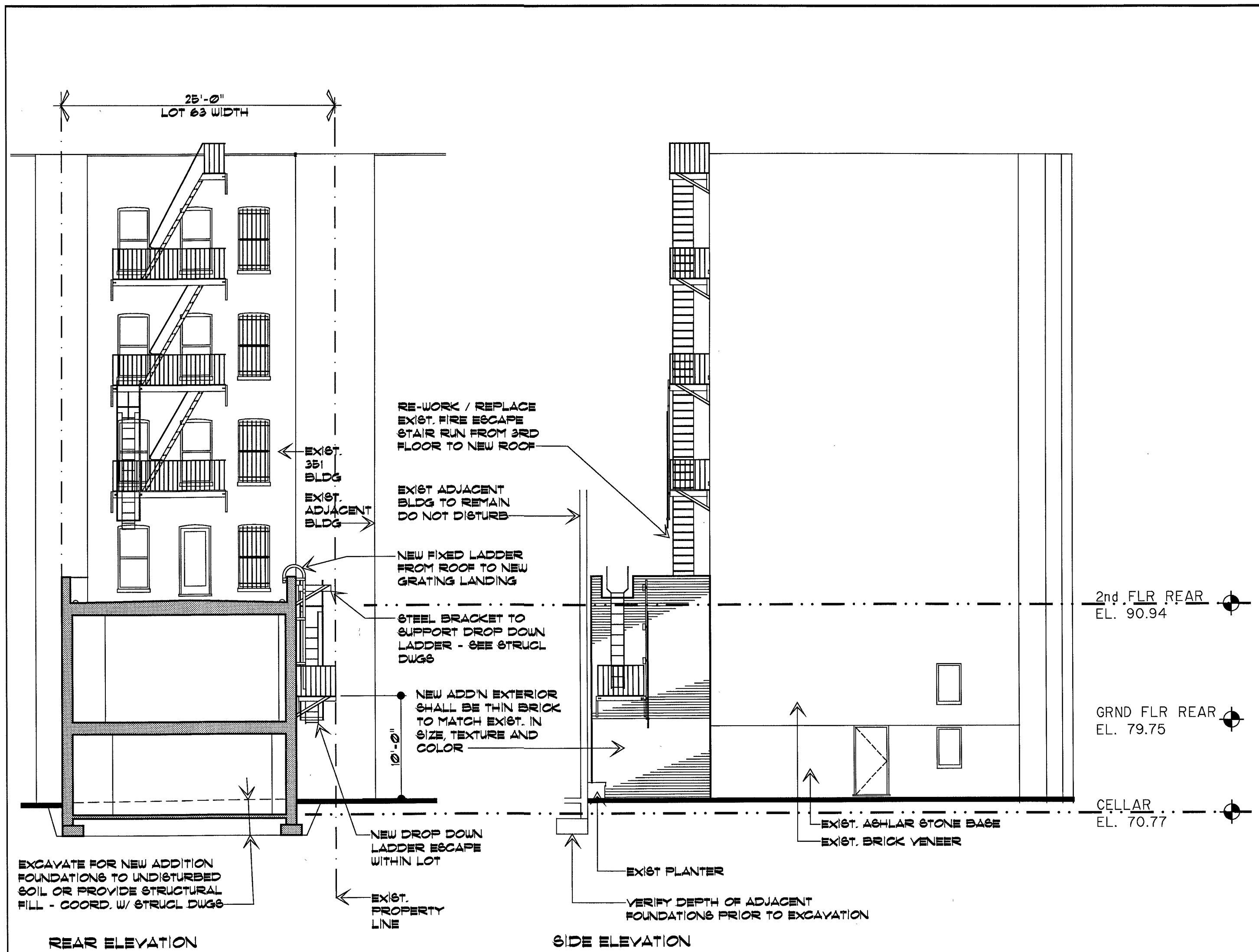
SACKMAN ENTERPRISES
RENOVATIONS TO: 351 AMSTERDAM AVENUE
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REGISTERED ARCHITECT
KWIM A. DAVIGNON
031528
STATE OF NEW YORK
SCALE: AS NOTED
DATE: 05/22/14
PROJECT NO.: 140503
DRAWN BY: KAD
CHECKED BY: GEC
APPROVED BY:
DRAWING TITLE: **PROPOSED DEMOLITION**

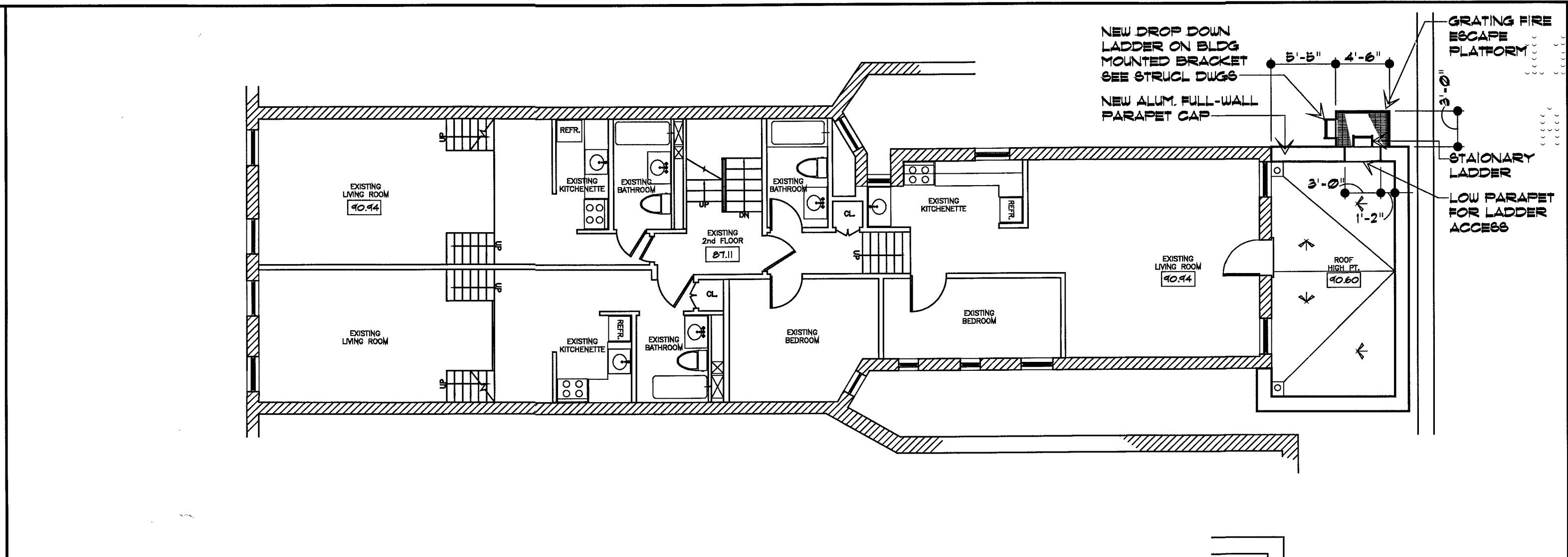
DRAWING NO: **A-020.00**



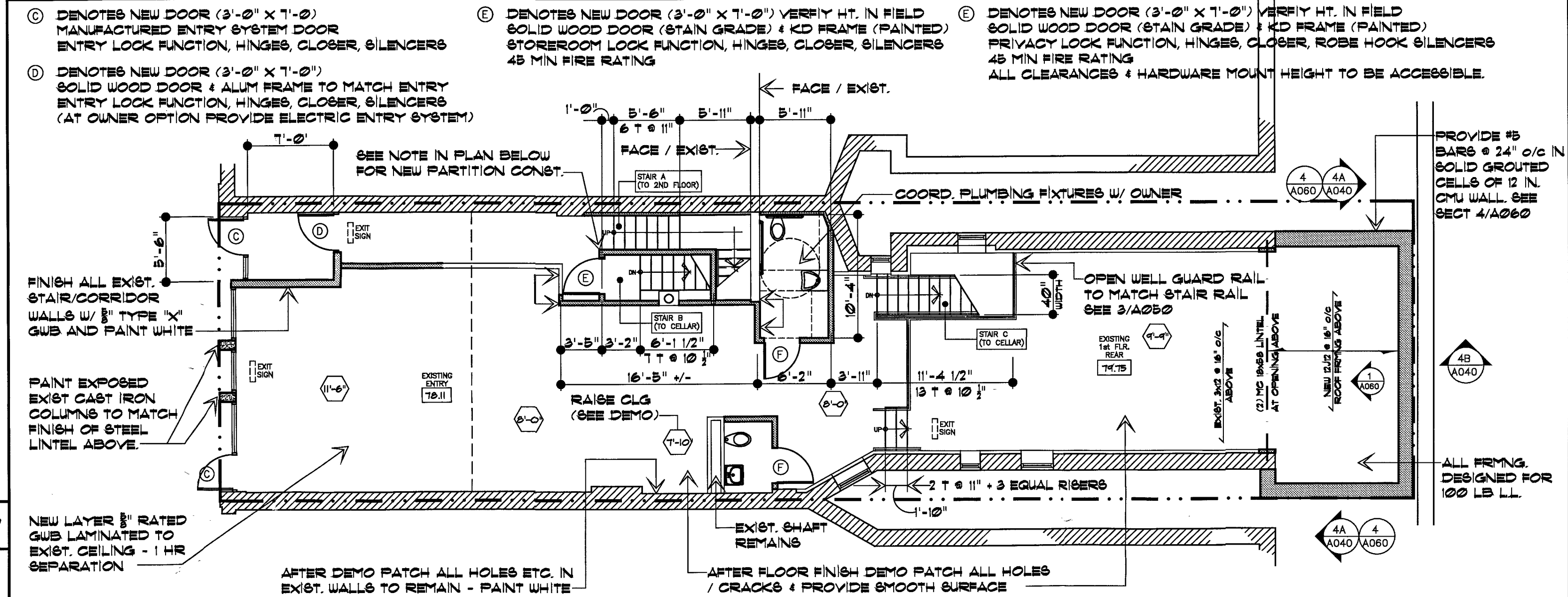
5 REAR and NORTH SHAFT ELEVATION 1/8"=1'-0"



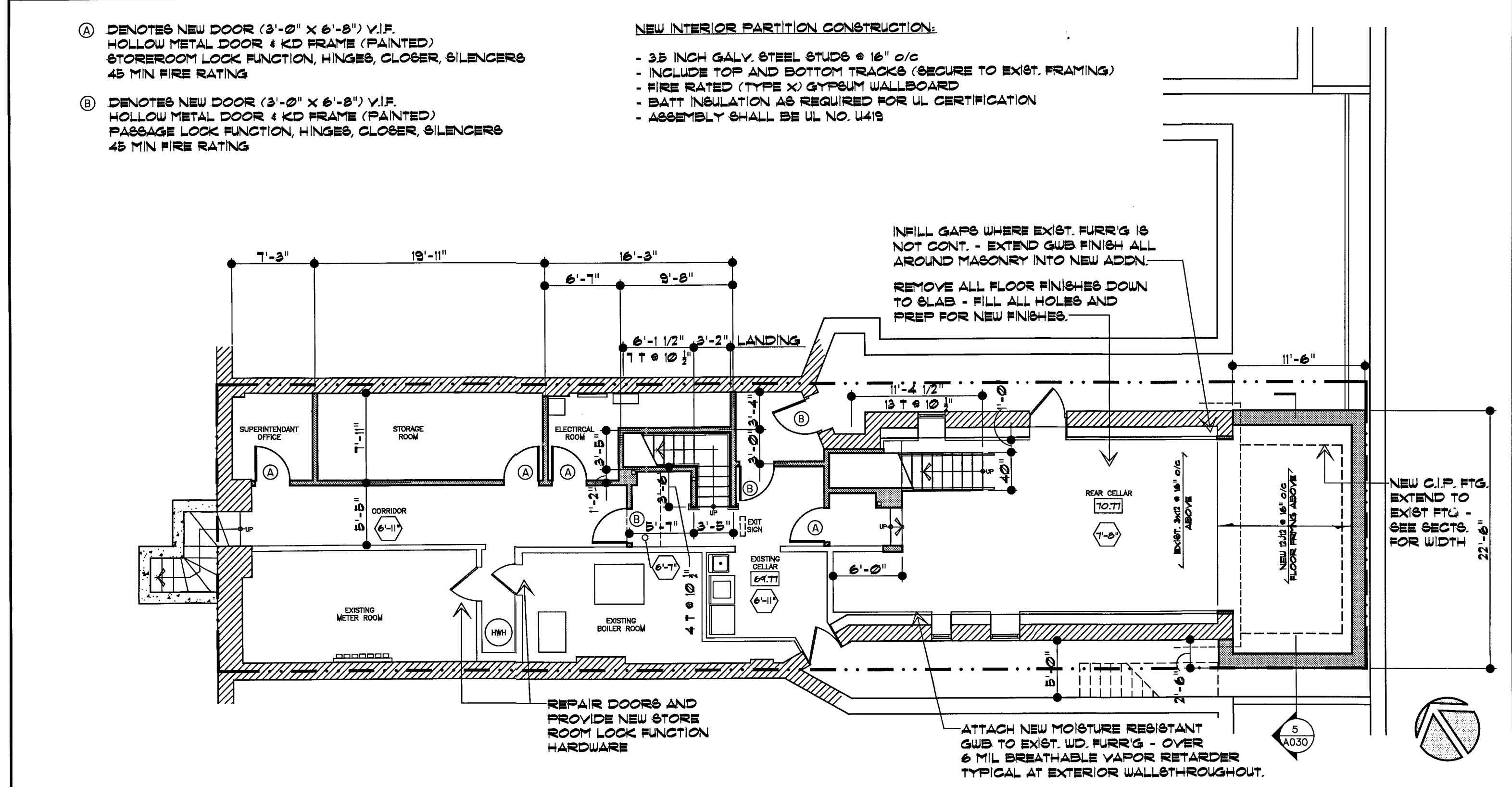
4 FRONT ELEVATION (AMSTERDAM AVE ELEVATION) 1/8"=1'-0"



3 2ND FLOOR PLAN 1/8"=1'-0"



2 FIRST FLOOR PLAN 1/8"=1'-0"



1 BASEMENT PLAN 1/8"=1'-0"

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DATE	06/29/14
ISSUE FOR	ISSUE FOR
CLIENT REVIEW AND PERMITTING	CLIENT REVIEW AND PERMITTING
REV	REV
ISSUE	ISSUE

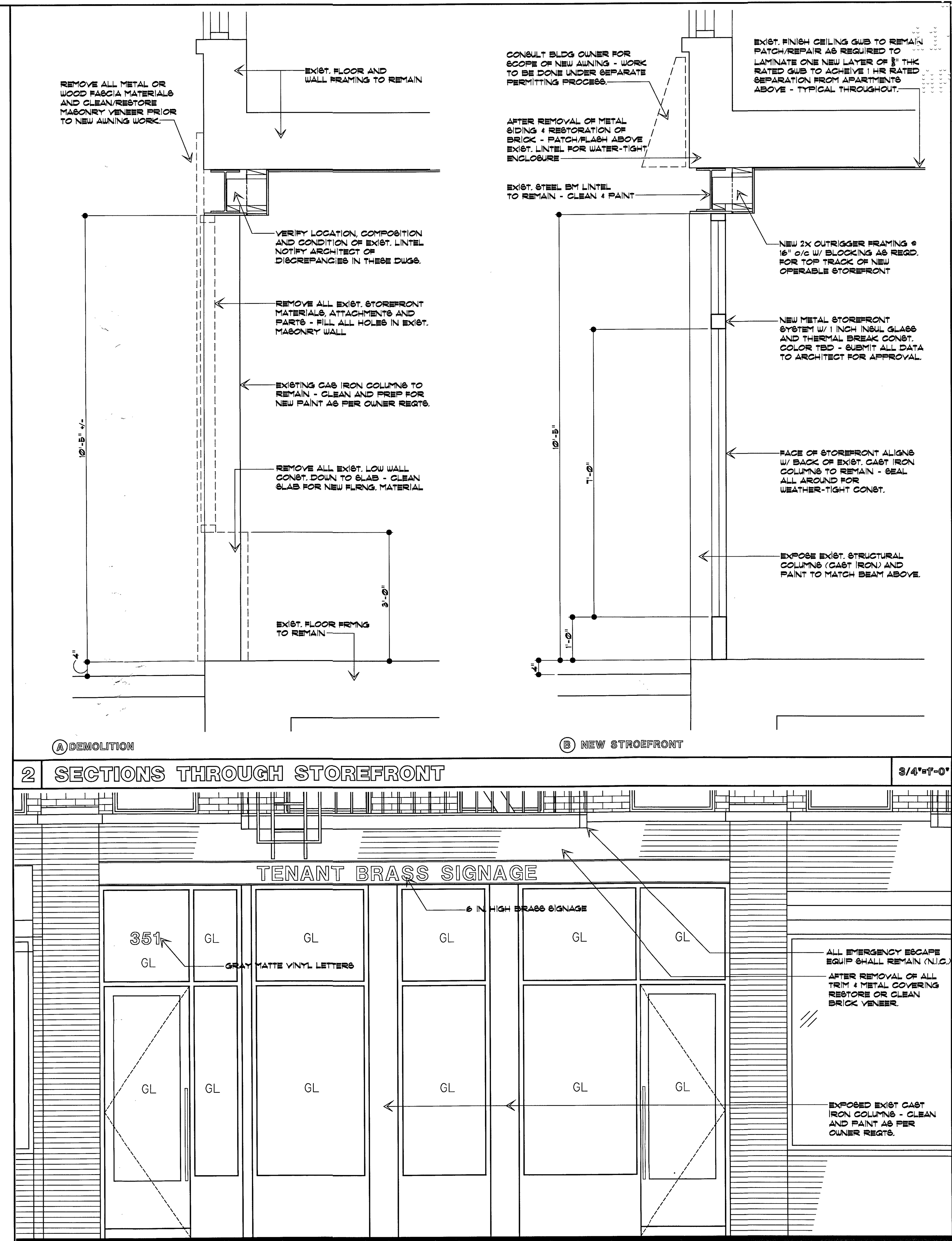
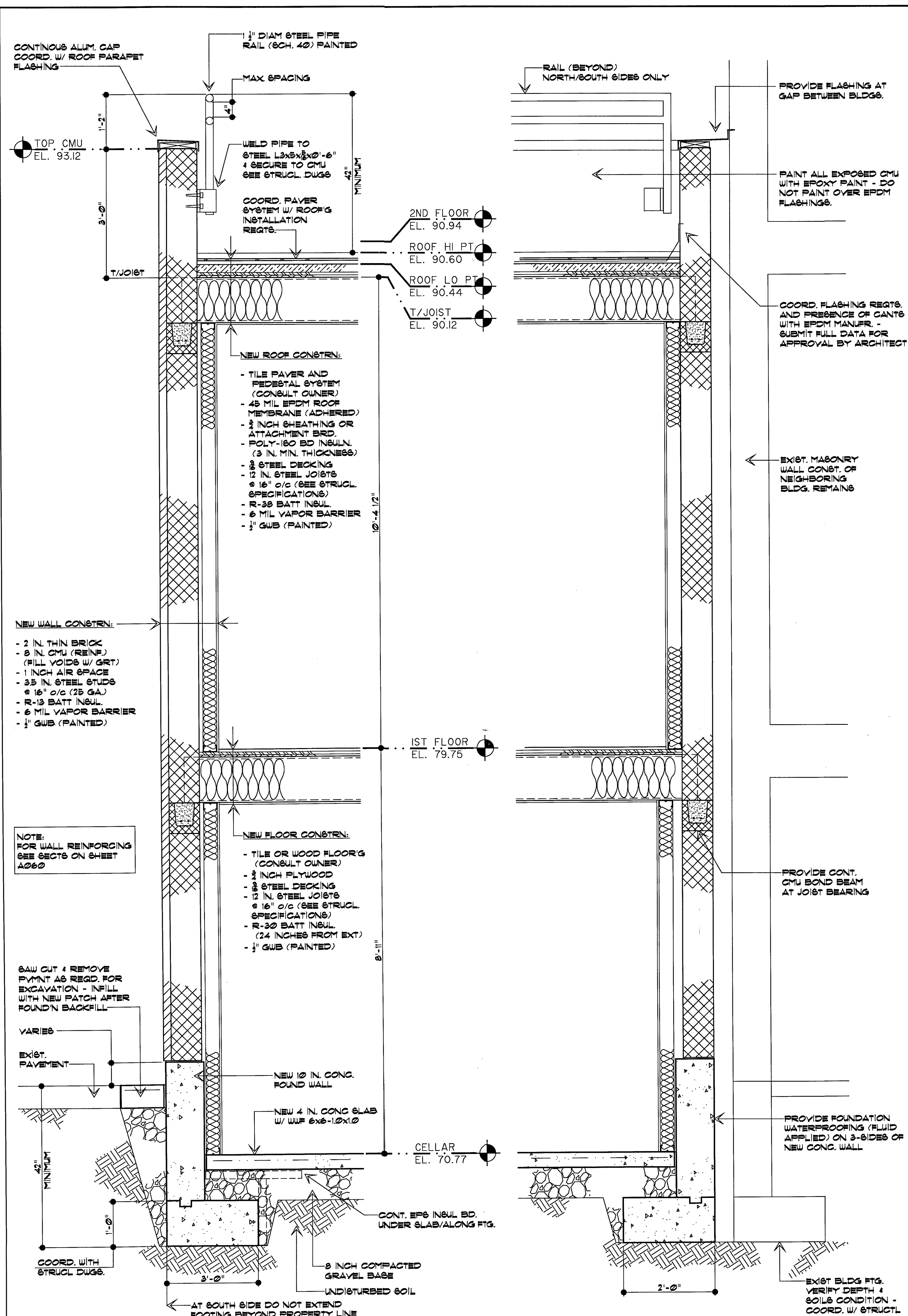
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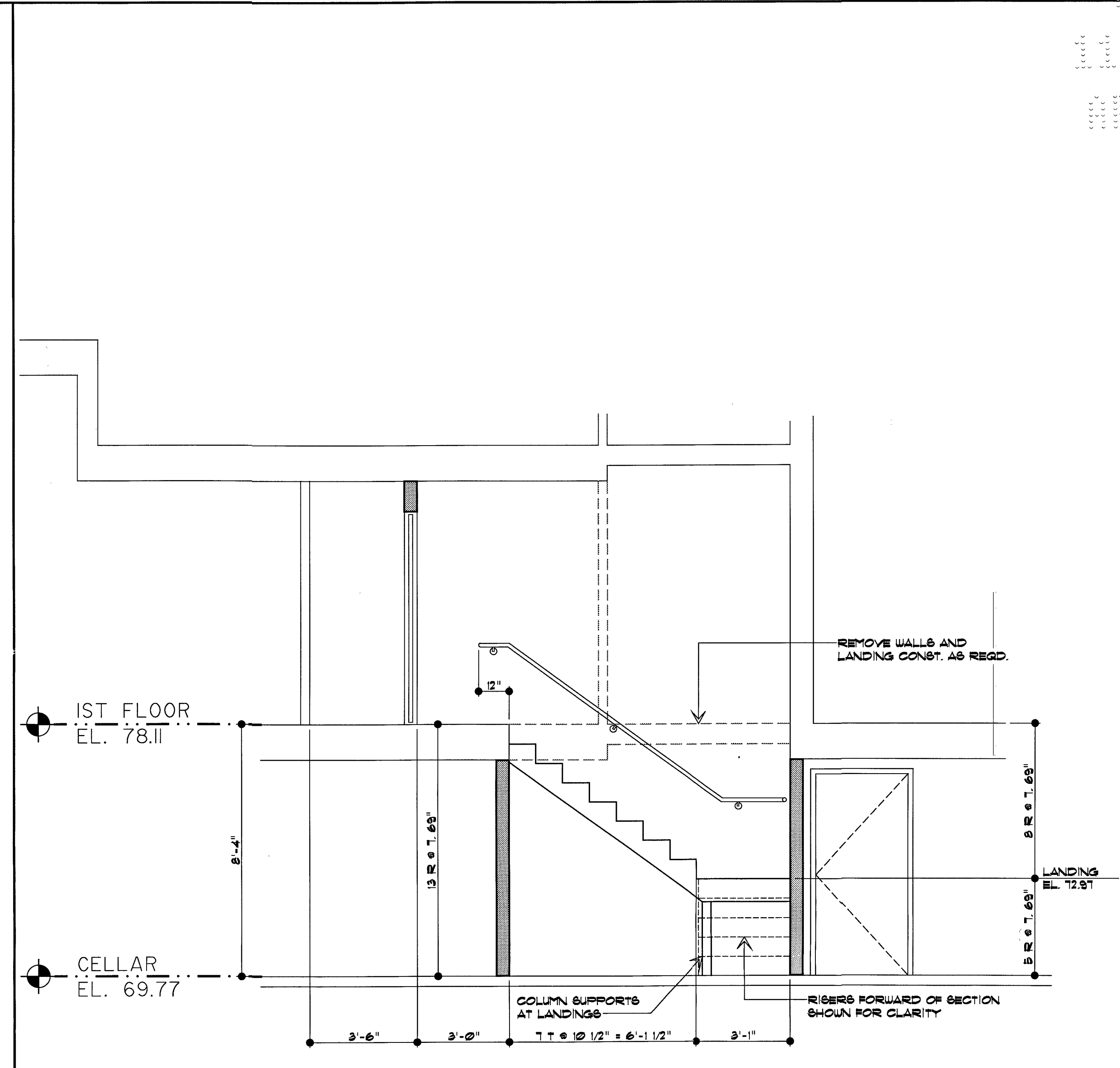
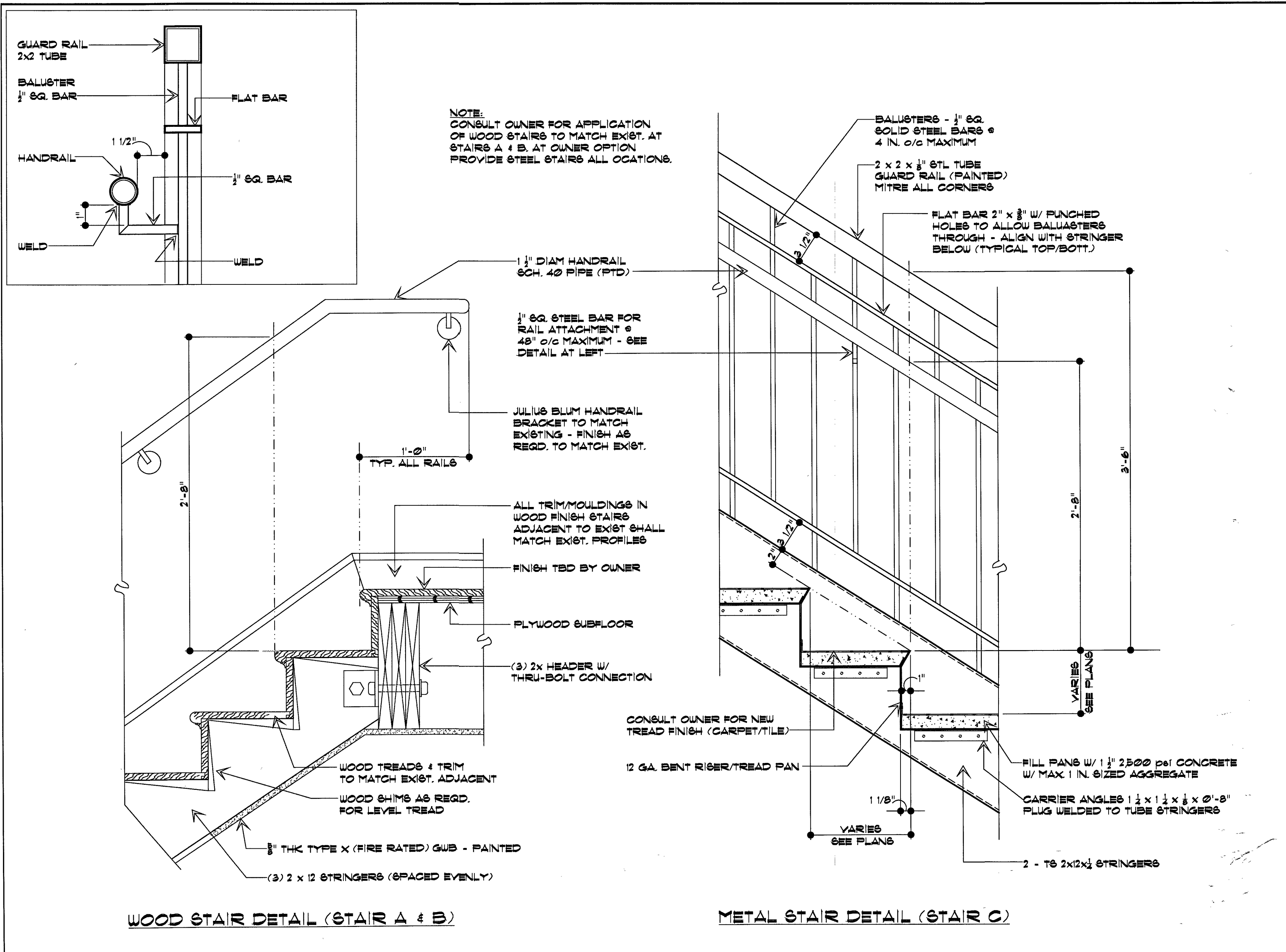
REGISTERED ARCHITECT
KATHA DAVIGNON
STATE OF NEW YORK
031528

SCALE: AS NOTED
DATE: 05/22/14
DRAWN BY: KAD
CHECKED BY: GEC
PROJECT NO.: 140503
APPROVED BY:

DRAWING TITLE: PROPOSED CONDITIONS

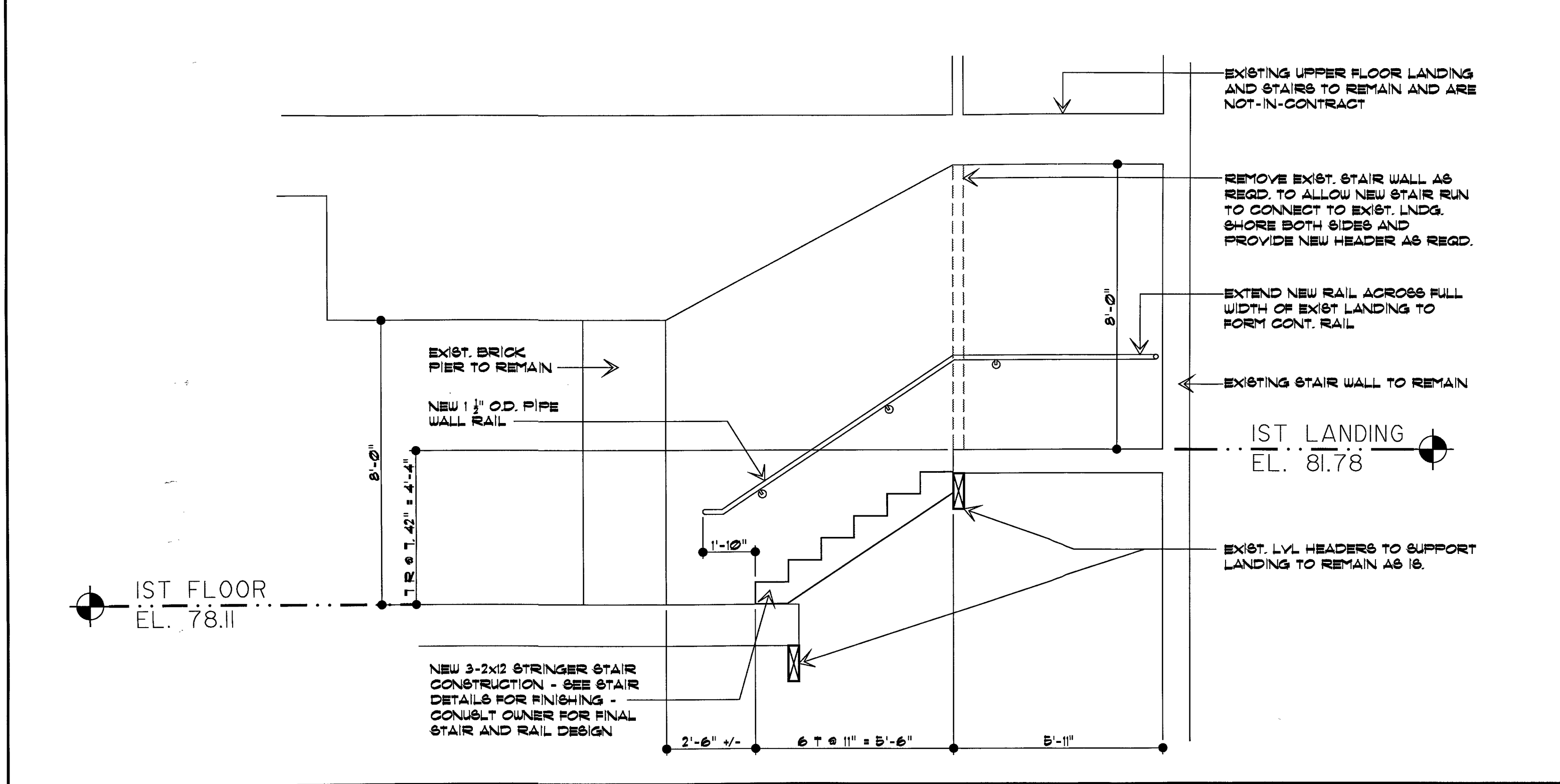
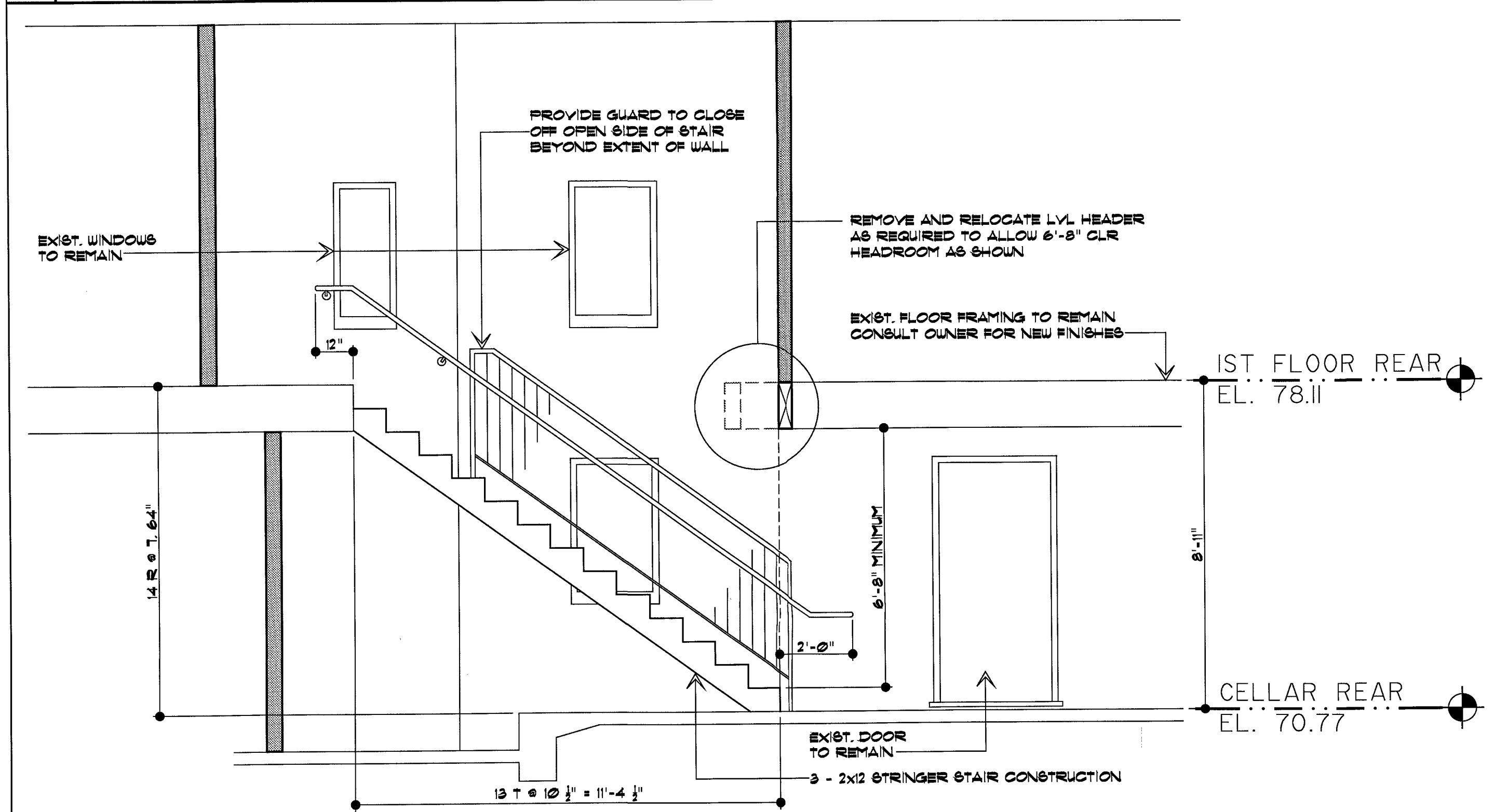
DRAWING NO: A-030.00

[illegible]



3 TYPICAL TREAD/RISER AND RAIL DETAILS - WOOD & METAL STAIRS 1 1/2"x1'-0"

2 SECTIONS AT STAIR B - 1ST FLOOR TO CELLAR (TENANT ACCESS) 3/8"x1'-0"



4 SECTION AT STAIR C - 1ST FLOOR TO CELLAR (CONVENIENCE) 3/8"x1'-0"

1 SECTION AT STAIR A - 1ST FLOOR TO EXISTING LANDING (TENANT ACCESS) 3/8"x1'-0"

GEC

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**KA DAVIGNON
ARCHITECT**

**SACKMAN ENTERPRISES
RENOVATIONS TO: 351 AMSTERDAM AVENUE**
Cellar and First Floor Renovations & Addition
New York City, New York 10023

DATE	06/20/13
ISSUE FOR	CLIENT REVIEW AND LANDMARKS SUBMISSION
REV	1.
ISSUE	

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SEAL
REGISTERED ARCHITECT
KATHA A. DAVIGNON
031528
STATE OF NEW YORK

SCALE: AS NOTED	DATE: 05/22/14	PROJECT NO.: 140503
DRAWN BY: KAD	CHECKED BY: GEC	APPROVED BY:

DRAWING TITLE:
**STAIR SECTIONS
AND DETAILS**

DRAWING NO:
A-050.00