

Proposed Glass Enclosed Balconies/ Greenhouse Replacement Project

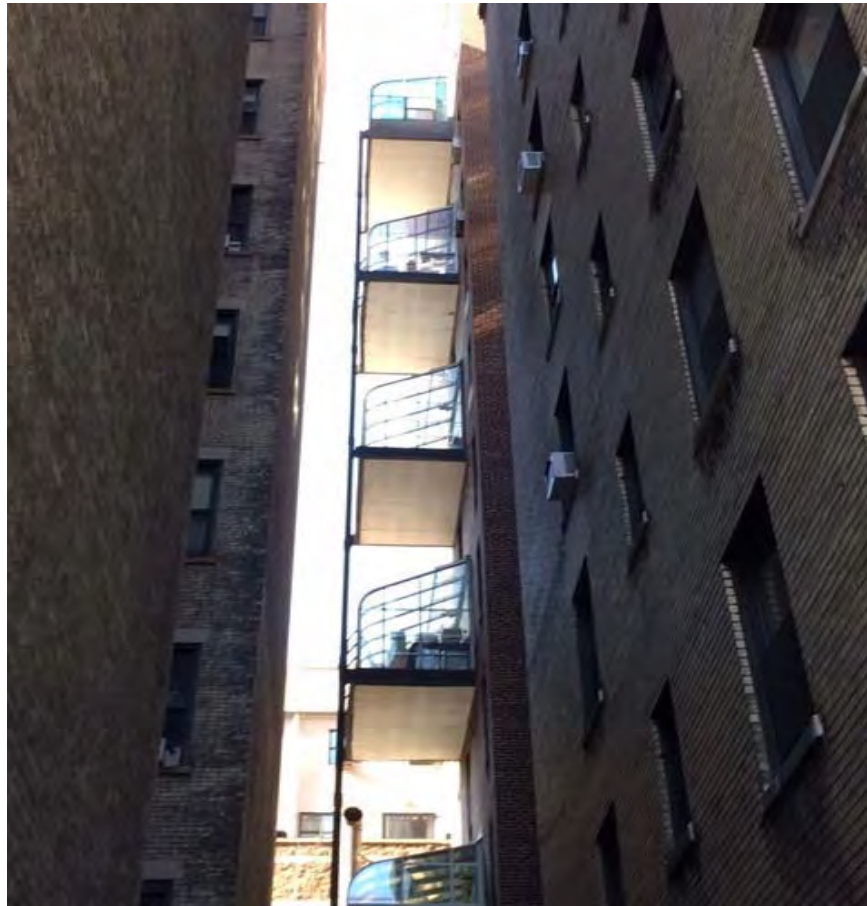
330 West End Avenue, Apts. 5B, 7B, 9B, 11B – NYC 10023



330 West End Avenue, Manhattan

West End Collegiate – Historic District Extension

Application to Replace Existing Glass Enclosed Balconies/Greenhouses



Current West 76th Street Conditions (North Facade)

330 WEST END AVENUE, MANHATTAN
BUILDING NAME: HOTEL WILLARD
CONSTRUCTION DATE: 1915-1916
ARCHITECT/BUILDER: ROBERT M. FARRINGTON
ORIGINAL OWNER/DEVELOPER: LILLIAN M. SORESI
TYPE: APARTMENT BUILDING
STYLE: ARTS AND CRAFTS
MATERIAL(S): BRICK, STONE

BUILDING/SITE/RESOURCE TYPE:
APARTMENT BUILDING
SECONDARY TYPE (ALTERED TO): N/A
ORIGINAL USE: RESIDENTIAL
BBL: 10011670064
BIN NUMBER:
NUMBER OF FLOORS: 12

NOTES: EAST FACADE - FACADE NOTES:
BRICK FACADE; GLASS ENCLOSED BALCONIES



WEST END AVENUE

WEST 76TH STREET



BALCONY
LOCATIONS

WEST 75TH STREET

The property is located on the East Side of West End Avenue in the West End - Collegiate Historic District Extension

Sanborn Photo



The existing balconies are behind a one story masonry arch and are mid'-block. This photo is taken facing south on West 76th Street



The existing balconies are to be replaced on the 5th, 7th, 9th and 11th floors.

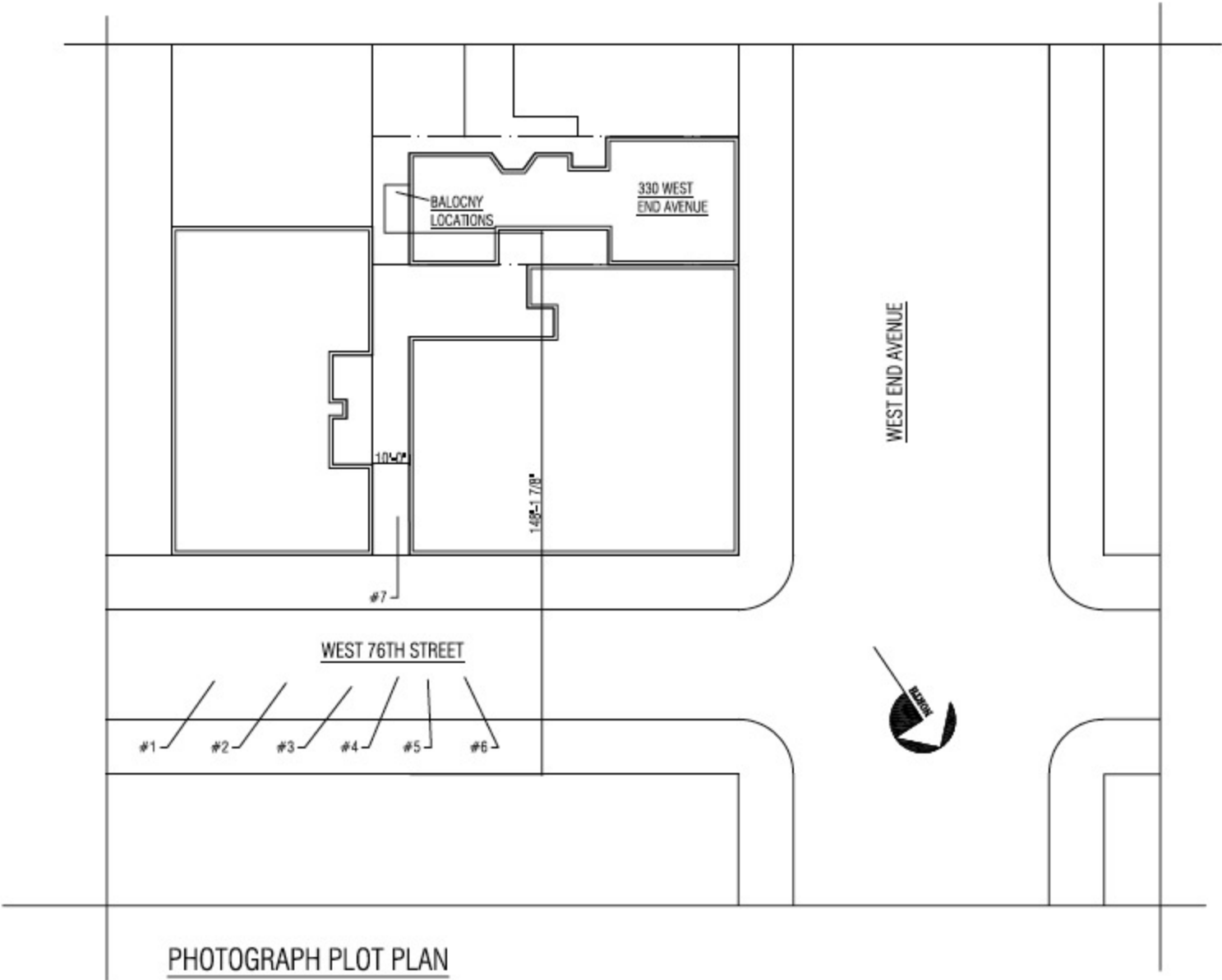




Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Existing Conditions 3B



Existing Conditions 11B



Frame Dimensions Photo 1 4953



Frame Dimensions Photo 2 4954



Frame Dimensions Photo 3 4955



Frame Dimensions Photo 4 4956



Frame Dimensions Photo 5 4957



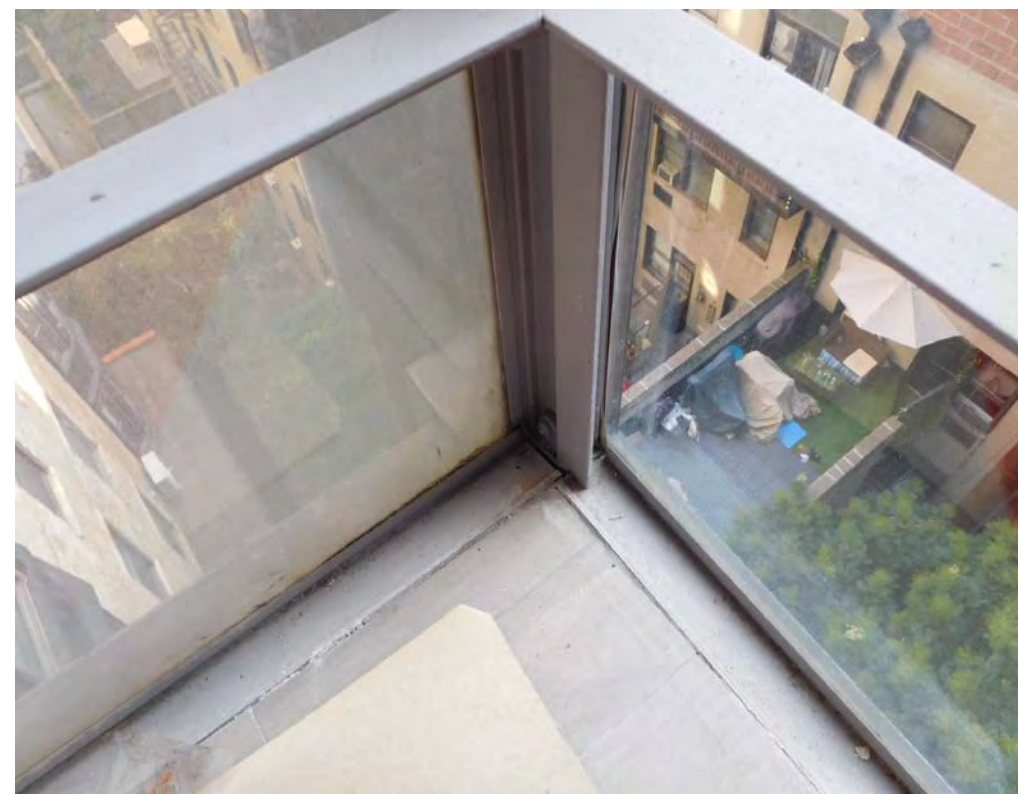
Frame Dimensions Photo 6 4960



Frame Dimensions Photo 7 4961



Frame Dimensions Photo 8 4962



Corner Conditions Photo 1 4958



Curve Conditions 4959



Glazing Conditions Photo #1 4969

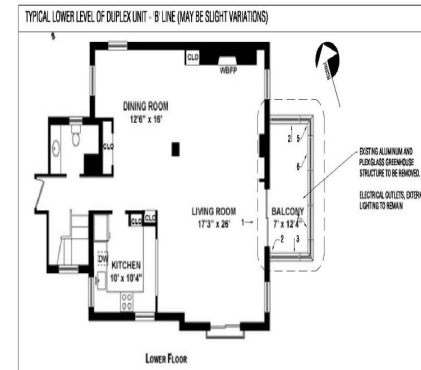


Glazing Conditions Photo #2 4970

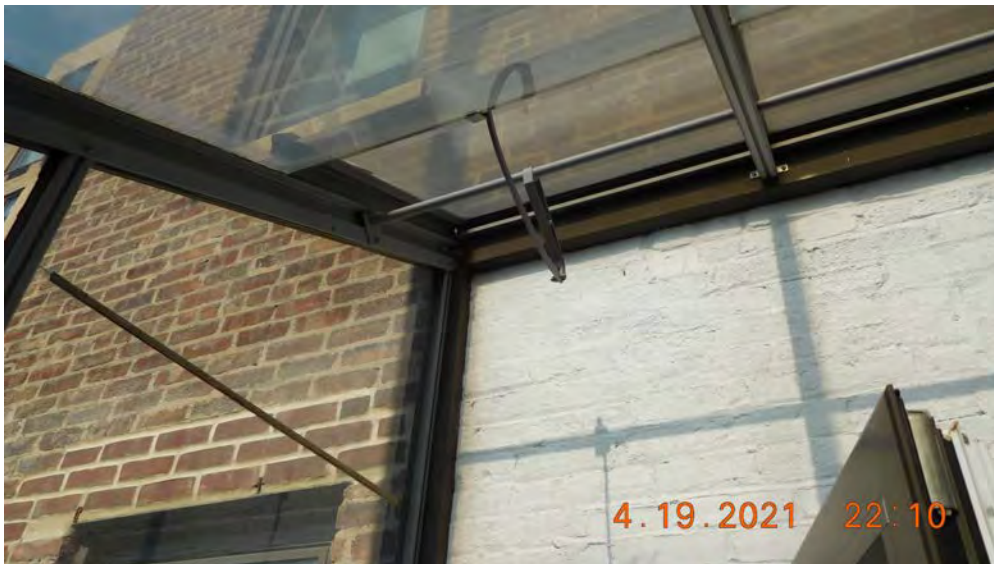


Existing Floor Plan. The existing glass enclosed balconies do not protect the space from the weather.

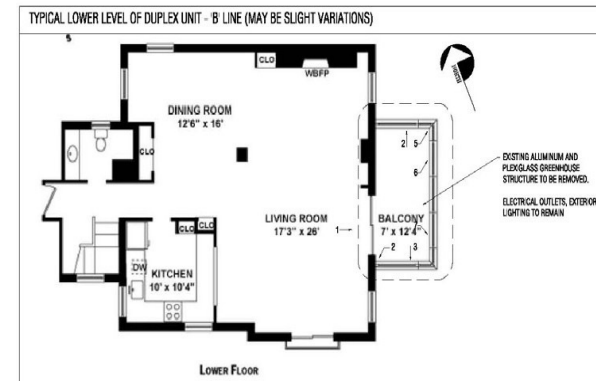
Existing interior Conditions of the glass enclosed balconies. This proposal would replace the existing frame and glass with an insulated aluminum and glass system.



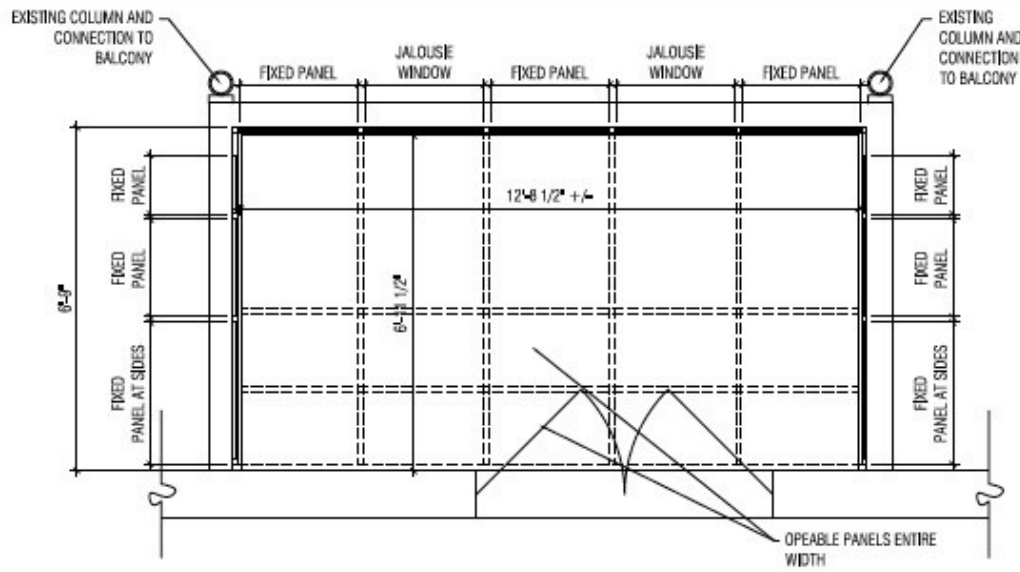
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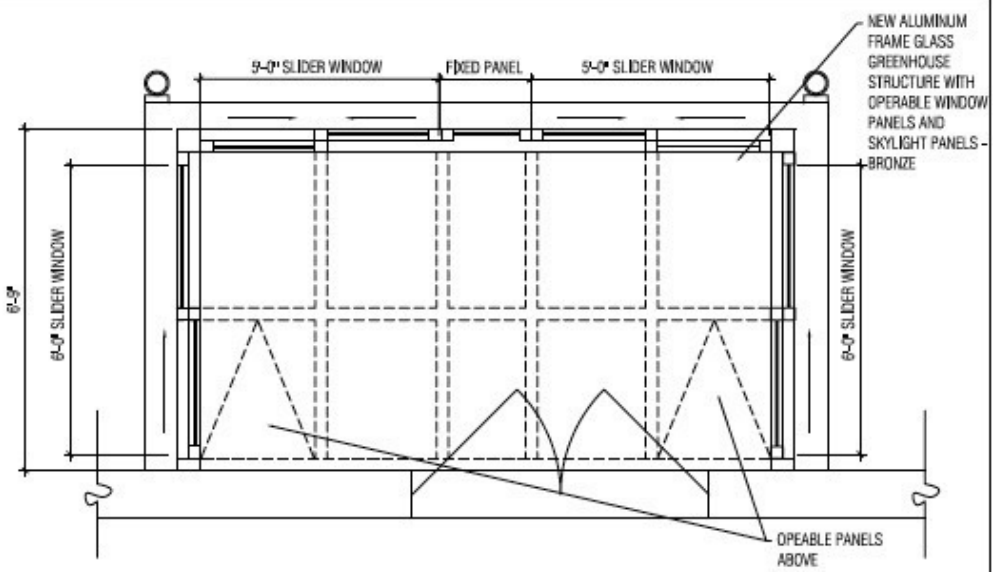
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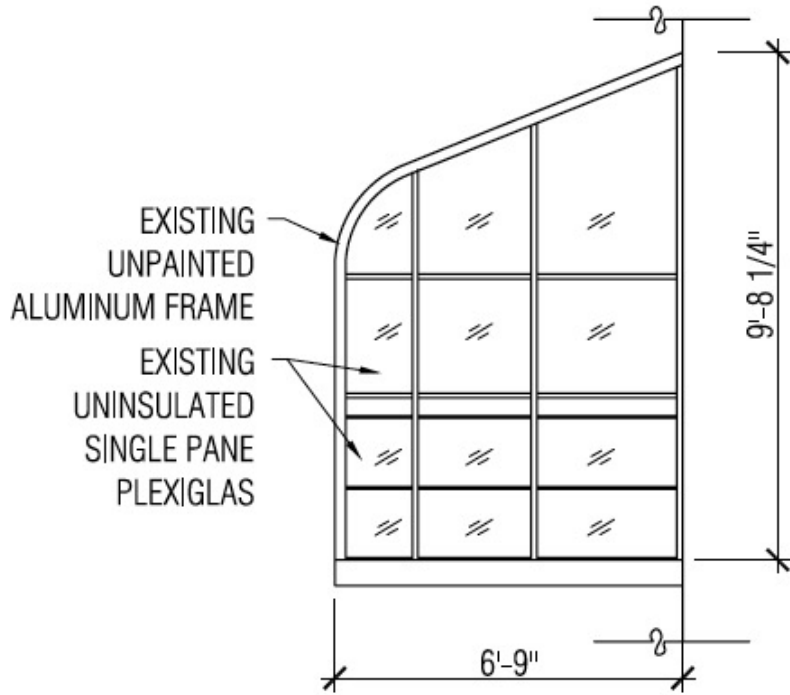
EXISTING AND PROPOSED FLOOR PLANS



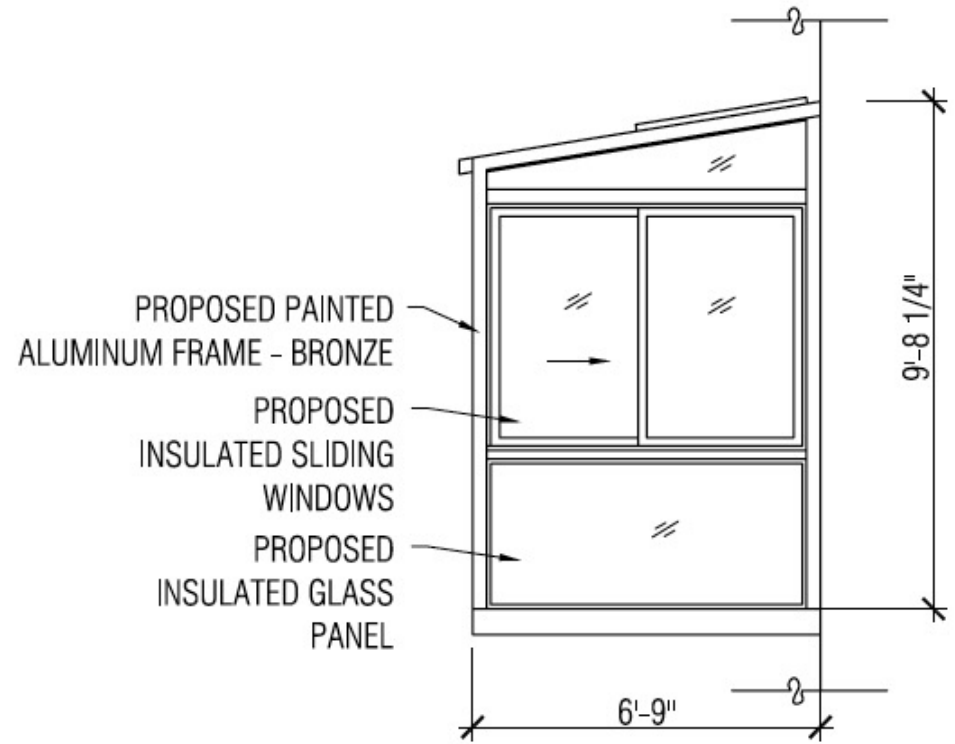
EXISTING BALCONY FLOOR PLAN
SCALE = 1/2" = 1'-0"



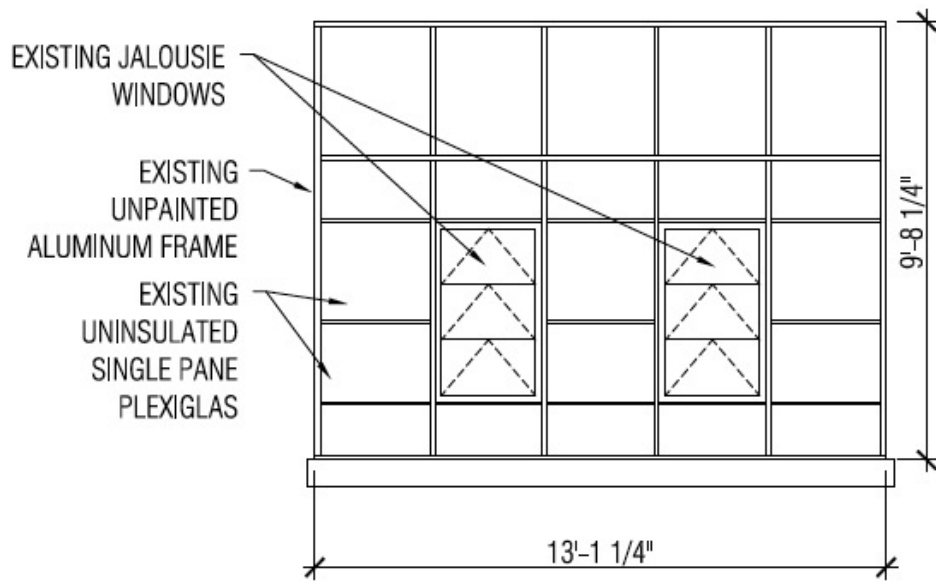
PROPOSED BALCONY FLOOR PLAN
SCALE = 1/2" = 1'-0"



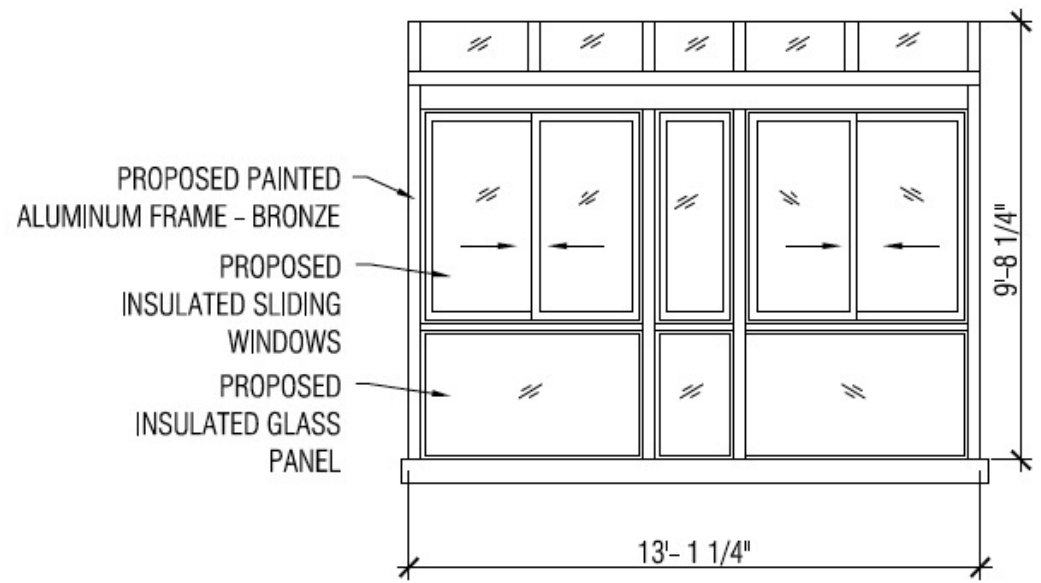
EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

'APPENDIX'

ROOF SPECIFICATION

CODE 15

BREATHER TUBES

- REQUIRED
- NOT REQUIRED

UNIT COLOR

BRONZE

VERTICAL WALLS

CODE 7E

INSTALLER NOTE!

TO FACILITATE ORDERING THIS SUNROOM,
STANDARD PRODUCT MODULAR COMPONENTS
MAY BE SHIPPED ALONG WITH LINEAL COMPONENTS
THAT MAY BE FABRICATED AND/OR UNFABRICATED.
ADHERENCE TO THE DETAILS IN THIS JOB SPECIFIC
SET OF DRAWINGS IS MANDATORY.

PRELIMINARY !

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DESIGN AND SIZES BY CUSTOMER.
NOT FOR CONSTRUCTION

330 WEST END AVE

△ 330 WEST END AVENUE NEW YORK, NY. 10023

ACCOUNT# 76040 JOB # 21-055

CUSTOM 230 STARS STRAIGHT EAVE

STANDARD 2/12 ROOF SLOPE

3" DEEP ALUMINUM RAFTER BARS (5HB3)

9/14/21 ST
 △ 1
 SUBURBAN SUNROOMS

DRAWING LIST

COVER PAGE	
GENERAL NOTES	GN
SHOP DRAWINGS	1 - 10

AUTHORIZATION FOR PRODUCTION

MATERIALS WILL BE CUSTOM FABRICATED FOR THIS
JOB. BEFORE FABRICATION CAN BE SCHEDULED, WE
REQUIRE THE FOLLOWING TO BE SIGNED BY AUTHORIZED
PERSONNEL.
PROCEED WITH FABRICATION IN ACCORDANCE WITH
DETAILS AND DIMENSIONS SHOWN, OR AS NOTED ON
THESE DRAWINGS.

AUTHORIZED SIGNATURE:

.....

PRINT NAME:

TITLE: DATE:

IMPORTANT NOTE!

BE ADVISED THAT THESE
DRAWINGS HAVE NOT BEEN
ENGINEERED AT THIS TIME

GENERAL NOTES

A. FOUNDATIONS

1. ALL SUBSTRUCTURES INCLUDING BUT NOT LIMITED TO FOUNDATIONS & DECKS, SHALL BE DESIGNED BY OTHERS.
2. CONNECTION DETAILS SHOWN ON DRAWINGS INDICATE MINIMUM REQUIREMENTS BASED ON CAPACITY OF FOUR SEASONS COMPONENTS. THE ACTUAL CONNECTIONS TO SUBSTRUCTURE SHALL BE DESIGNED BY OTHERS.

B. EXISTING STRUCTURES

1. THE CAPACITY OF THE EXISTING OR NEW STRUCTURE TO RESIST ALL LOADS IMPOSED BY THE FOUR SEASONS ROOMS SHALL BE EVALUATED BY OTHERS.
2. CONNECTION DETAILS SHOWN ON DRAWINGS INDICATE MINIMUM REQUIREMENTS BASED ON CAPACITY OF FOUR SEASONS COMPONENTS. THE ACTUAL CONNECTIONS TO EXISTING OR NEW STRUCTURES SHALL BE DESIGNED BY OTHERS.

C. STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL CONFORMS TO ASTM A36 OR ASTM A572 GRADE 50.

D. ALUMINUM

1. ALL STRUCTURAL ALUMINUM CONFORMS TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY AND TEMPER EXCEPT AS NOTED BELOW:
 GREAT ROOM 12 RIDGE BEAM.....6005-T5
 CORNER COLUMN.....6063-T6
 H-COLUMN.....6005-T5
2. ALL STRUCTURAL ALUMINUM WORK CONFORMS TO "PART I-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN" OR "PART I-B - SPECIFICATIONS FOR ALUMINUM STRUCTURES - BUILDING LOAD AND RESISTANCE FACTOR DESIGN" OF THE ALUMINUM ASSOCIATION, INC. SEVENTH EDITION, EFFECTIVE JANUARY 2010.
3. IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH STEEL, PROVIDE DIELECTRIC SEPERATION.
4. ALL EXPOSED ALUMINIUM RECEIVES ONE COAT OF PAINT. COLOR TO IS COORDINATED WITH MODEL AVAILABILITY.

E. FASTENERS

1. ALL LAG BOLTS SHALL CONFORM TO ASTM A36.
2. ALL LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 8x BOLT DIAMETER INTO STRUCTURAL FRAMING (G=.42 MIN.)
3. LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW. ALL LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER.
4. ALL EXPANSION ANCHORS SHALL BE DESIGNED (BY OTHERS) IN ACCORDANCE WITH THE SPECIFIC MANUFACTURERS REQUIREMENTS AND ALLOWABLE LOADS AND SHALL ONLY BE APPLIED IN CONDITIONS ACCEPTABLE TO MANUFACTURER.
5. ALL FASTENERS CONNECTING ALUMINUM COMPONENTS ARE STAINLESS STEEL TYPE 300 18-8 UNLESS OTHERWISE NOTED ON PLANS.

F. GLASS

1. GLASS UNITS CONSISTS OF TWO PANES OF 1/8" THICK TEMPERED GLASS WITH A 5/8" STAINLESS STEEL SPACER BETWEEN PANES WITH AN ARGON FILL.
2. GLASS CONFORMS TO ASTM E1300.

3. ALL CODE 15 ROOF GLASS HAS THE FOLLOWING MINIMUM PROPERTIES:

VISIBILITY TRANSMITTANCE = 15
 SOLAR TRANSMITTANCE = 7
 ULTRAVIOLET TRANSMITTANCE = 4
 VISIBLE OUTSIDE REFLECTIVITY = 8
 VISIBLE INSIDE REFLECTIVITY = 24
 SHADING COEFFICIENT = 0.14
 SOLAR HEAT GAIN COEFFICIENT = 0.12
 RELATIVE HEAT GAIN = 31
 ASHRAE WINTER U VALUE = 0.25
 ASHRAE WINTER R VALUE = 4.0

4. ALL CODE 7E WALL GLASS HAS THE FOLLOWING MINIMUM PROPERTIES:

VISIBILITY TRANSMITTANCE = 65
 SOLAR TRANSMITTANCE = 25
 ULTRAVIOLET TRANSMITTANCE = 5
 VISIBLE OUTSIDE REFLECTIVITY = 11
 VISIBLE INSIDE REFLECTIVITY = 12
 SHADING COEFFICIENT = 0.31
 SOLAR HEAT GAIN COEFFICIENT = 0.27
 RELATIVE HEAT GAIN = 65 BTU'S / HR
 ASHRAE WINTER U VALUE = 0.25
 ASHRAE WINTER R VALUE = 4.0

G. SEALANT

1. ALL SEALANT CONFORMS TO TT-5-001543-A, TT-5-002306, ASTM C-920 TYPE 5, GRADE NS, CLASS 25.

H. GASKETS

1. ALL GASKETS ARE CO-EXTRUDED AND ARE NON-MIGRATORY.

I. ROOM SPECIFICS

REFERENCE STANDARDS;
 ASTM E 119
 ASTM E 1300
 ASCE 7-16

- a) WALL GLASS CODE 7E
 ROOF GLASS CODE 15

J. DEFLECTION CRITERIA

1. ALL MEMBERS MEET OR EXCEEDS THE FOLLOWING MINIMUM DEFLECTION LIMITS:

a. STRUCTURAL ALUMINUM:	$\frac{L}{175}$	$\frac{DL + LL}{L/20}$
b. GLASS:	$\frac{L}{175}$	-----

K. DESIGN LIVE LOADS

ALL STRUCTURAL MEMBERS HAVE BEEN DESIGNED FOR FULL DEAD LOADS & LIVE LOADS IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND 2020 NEW YORK STATE BUILDING CODE:

1. IMPORTANCE FACTORS: WIND (I_w) = 1.0
 SNOW (I_s) = 1.0
 SEISMIC (I_e) = 1.0

2. DEAD LOAD: 7 PSF
3. GROUND SNOW LOAD: 20 PSF
4. WIND LOAD: 115 MPH EXPOSURE: C
5. LATERAL DESIGN CONTROLLED BY WIND.

L. COORDINATION

1. FOUR SEASONS SUNROOMS IS NOT RESPONSIBLE FOR VERIFYING & COORDINATING THE INFORMATION BETWEEN THESE DRAWINGS & ANY OTHER DRAWINGS USED IN CONJUNCTION WITH THESE DRAWINGS.

M. ABBREVIATIONS

THE FOLLOWING LIST OF ABBREVIATIONS IS NOT INTENDED TO REPRESENT ALL THOSE USED ON THESE DRAWINGS, BUT TO SUPPLEMENT THE MORE COMMON ABBREVIATIONS USED:

1. TYP. - TYPICAL
2. SIM. - SIMILIAR
3. UN - UNLESS OTHERWISE NOTED
4. CONT. - CONTINUOUS

N. CONSTRUCTION SAFETY

1. THESE DRAWINGS DO NOT CONTAIN NECESSARY COMPONENTS FOR SAFETY DURING CONSTRUCTION.
2. THE INSTALLER SHALL PROVIDE ADEQUATE TEMPORARY BRACING, SHORING & GUYING OF FRAMING AGAINST WIND, CONSTRUCTION LOADS & OTHER TEMPORARY FORCES UNTIL NO LONGER REQUIRED FOR THE SUPPORT OF THE FRAMING.

O. PATIO COVER

1. WHEN USED AS A PATIO COVER THE ROOM CONFORMS TO ALL APPLICABLE PROVISIONS OF EITHER:
 a) APPENDIX H OF THE 2018 IRC
 b) APPENDIX I OF THE 2018 IBC

CUSTOM ALL SEASONS STARS
 STRAIGHT EAVE

FSSP REPRESENTATIVE: SUBURBAN SUNROOMS
 ACCOUNT #: 76040

FOUR SEASONS SOLAR PRODUCTS CORP.

5005 VETERANS MEMORIAL HIGHWAY
 HOLBROOK, NEW YORK 11741

DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS

330 WEST END AVE
 NEW YORK, NY.

REV. No. DATE BY

1 9/14/21 ST

SUBURBAN SUNROOMS

AUTHORIZATION FOR PRODUCTION

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AUTHORIZED SIGNATURE:

PRINT NAME: _____
 TITLE: _____ DATE: _____

REVIEWED BY: ZU

DWG. BY: ST

DATE: 8-30-21

JOB#: 21-055

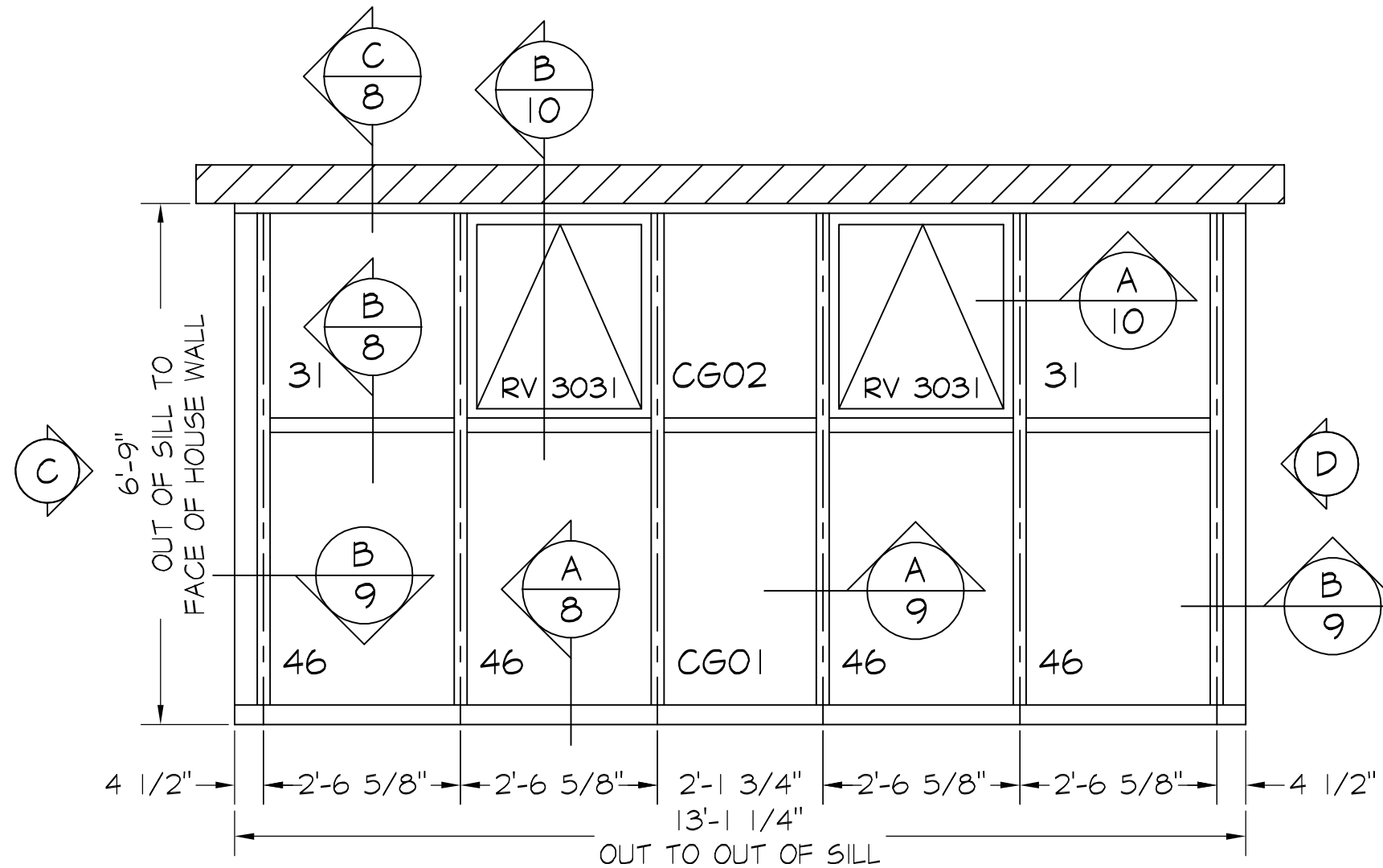
GN OF GN

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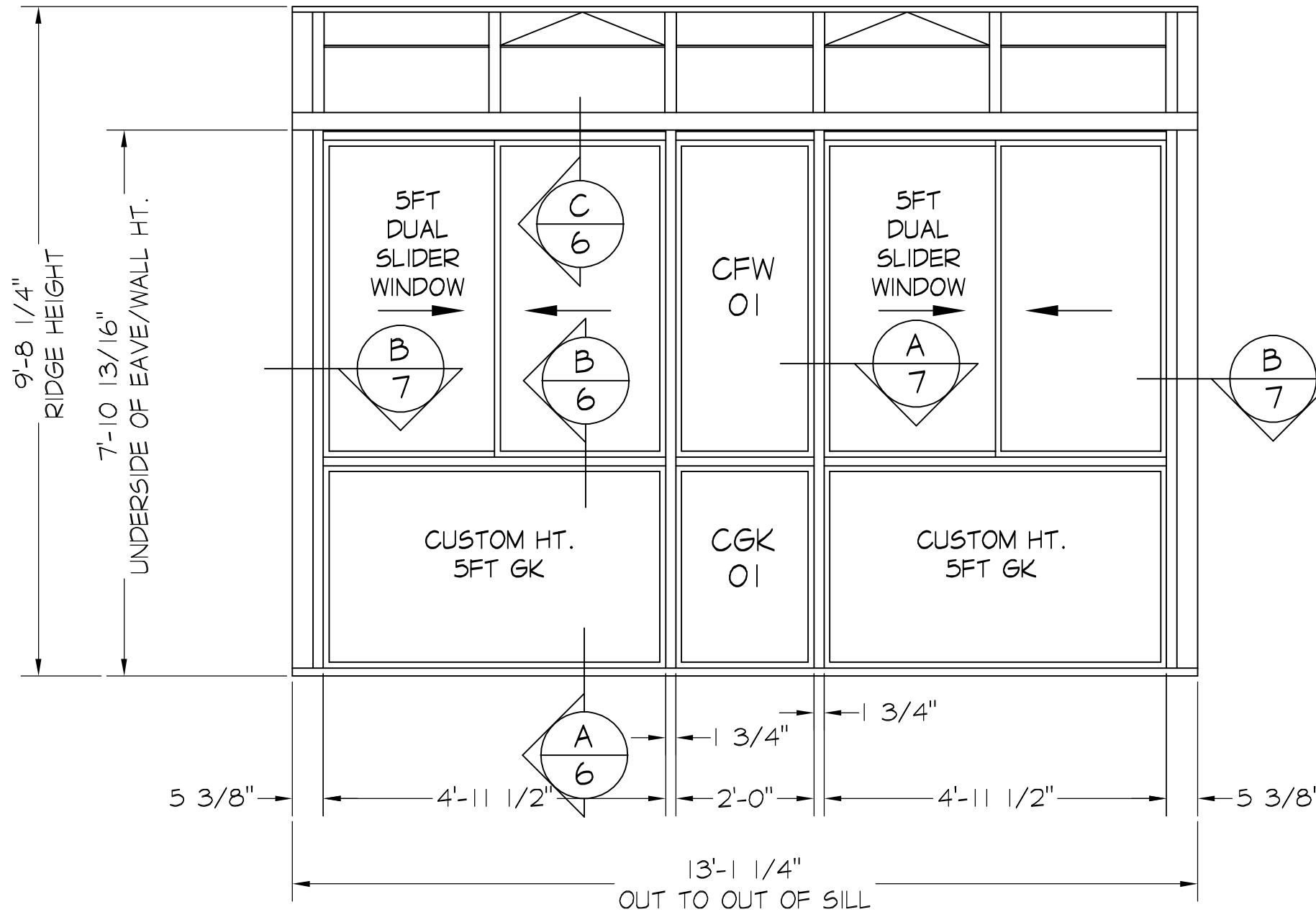
A **PLAN VIEW** B
 SCALE: 1/2"=1'-0"

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	FOUR SEASONS SOLAR PRODUCTS CORP. 5005 VETERANS MEMORIAL HIGHWAY HOLBROOK, NEW YORK 11741 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS	CUSTOM ALL SEASONS STARS STRAIGHT EAVE FSSP REPRESENTATIVE: SUBURBAN SUNROOMS ACCOUNT #: 76040
330 WEST END AVE NEW YORK, NY.	REV. No. 1 DATE 9/14/21 ST BY	SUBURBAN SUNROOMS
AUTHORIZED SIGNATURE: _____		REVIEWED BY: ZU
PRINT NAME: _____		DWG. BY: ST
TITLE: _____ DATE: _____		DATE: 8-30-21
		JOB#: 21-055
		1 OF 10



(B) FRONT ELEVATION
SCALE: 1/2"=1'-0"

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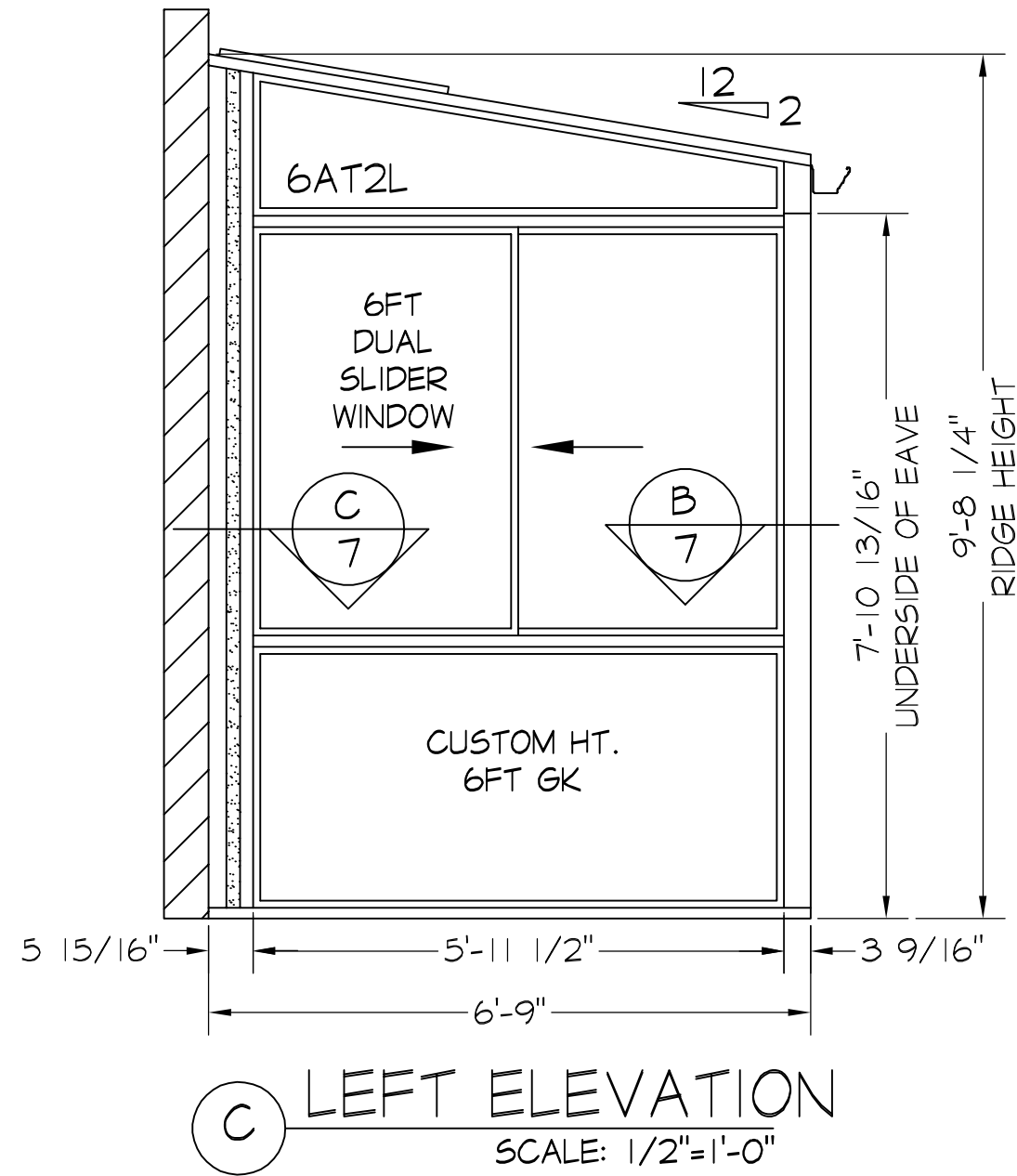
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1	9/14/21 ST	

SUBURBAN SUNROOMS
JOB#: 21-055
2 OF 10

FOUR SEASONS SOLAR PRODUCTS CORP.
5005 VETERANS MEMORIAL HIGHWAY
HOLBROOK, NEW YORK 11741
DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS
330 WEST END AVE
NEW YORK, NY.

CUSTOM ALL SEASONS STARS
STRAIGHT EAVE
FSSP REPRESENTATIVE: SUBURBAN SUNROOMS
ACCOUNT #: 76040



C LEFT ELEVATION
SCALE: 1/2"=1'-0"

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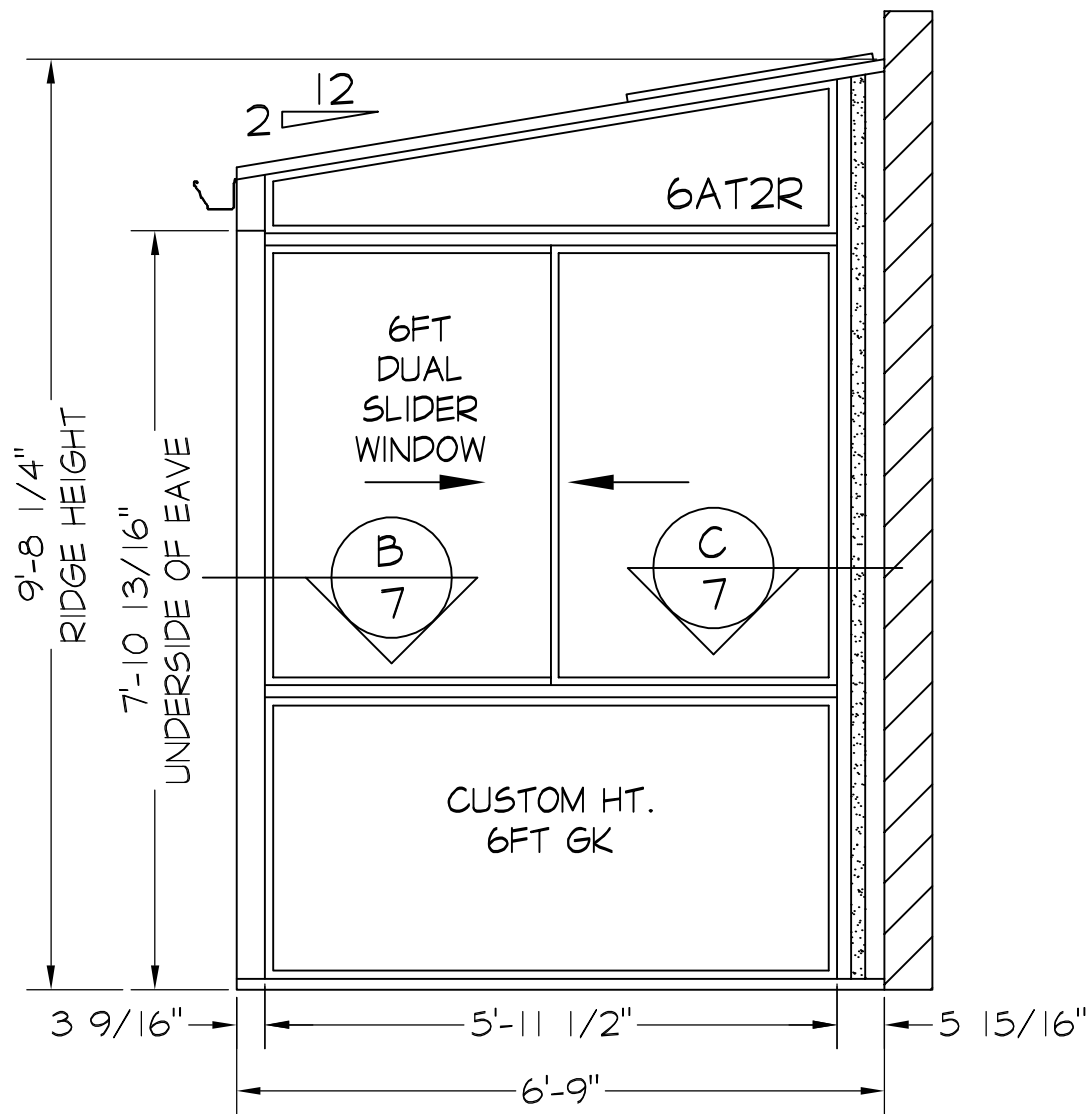
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SUBURBAN SUNROOMS

REVIEWED BY: ZU
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3 OF 10



D RIGHT ELEVATION
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SUBURBAN SUNROOMS

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4 OF 10

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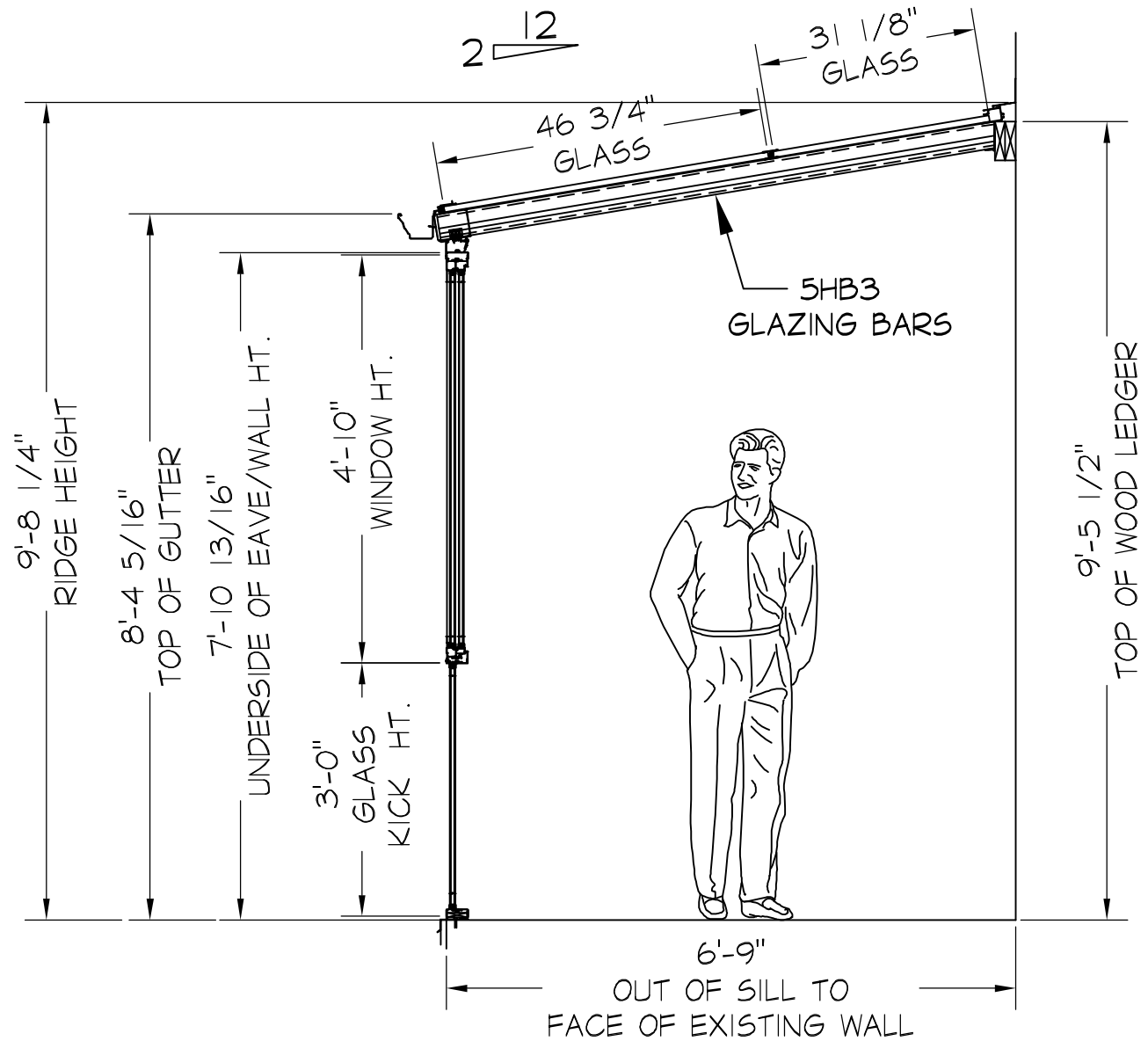
4 OF 10

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4 OF 10

CUSTOM ALL SEASONS STARS
STRAIGHT EAVE
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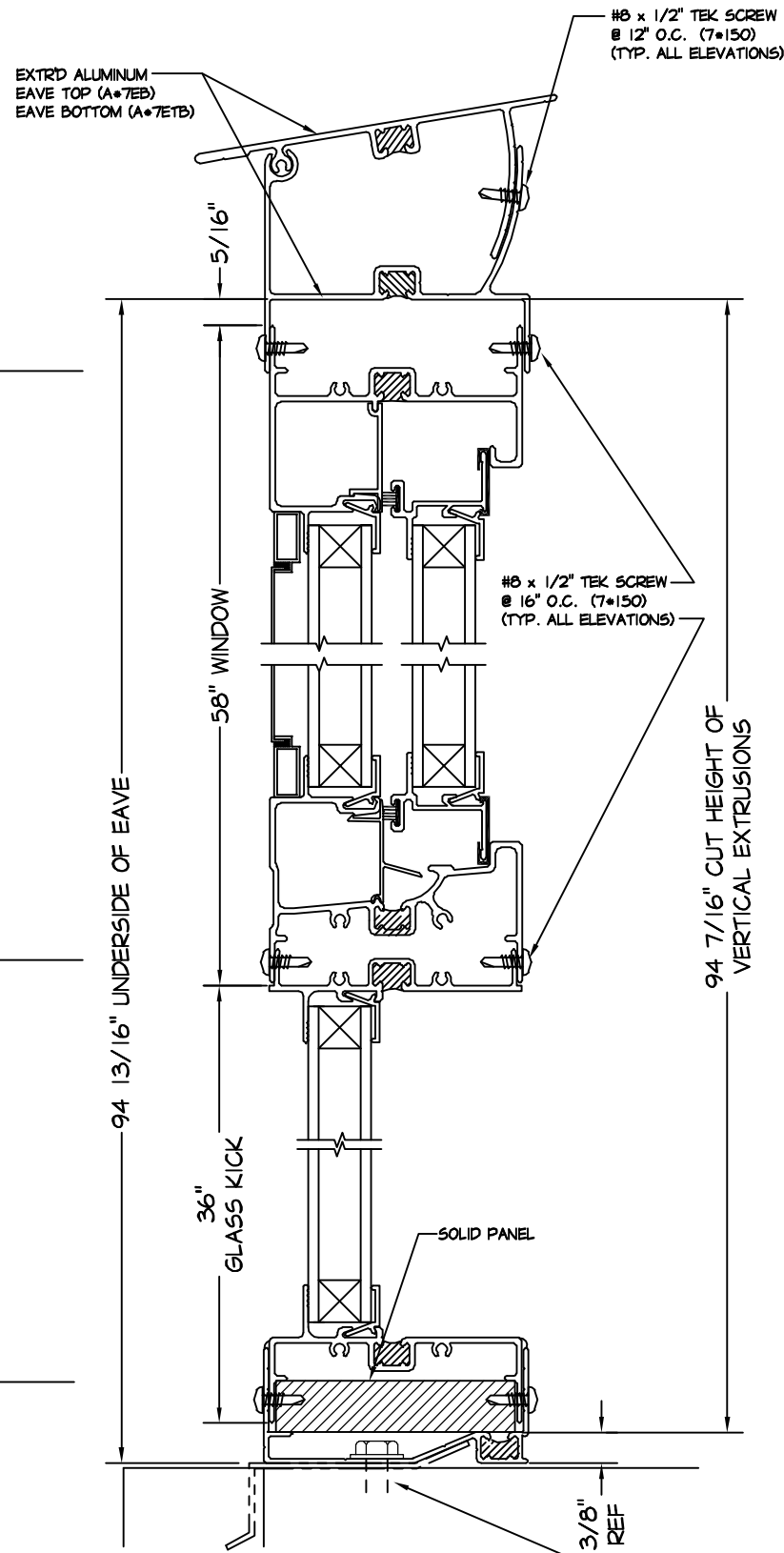
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CUSTOM ALL SEASONS STARS STRAIGHT EAVE		
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330 WEST END AVE NEW YORK, NY.		
REV. No.	DATE	BY
1	9/14/21	ST
SUBURBAN SUNROOMS		
REVIEWED BY: ZU DWG. BY: ST DATE: 8-30-21 JOB#: 21-055		
5 OF 10		

C
6
EAVE
SCALE: 6"=1'-0"

B
6
WINDOW SILL
SCALE: 6"=1'-0"

A
6
SILL
SCALE: 6"=1'-0"



QTY. (2) 3/8" DIA. FASTENERS
WITH MIN. 3" EMBEDMENT AT EACH POST
AND QTY. (1) 3/8" DIA. FASTENER
AT 12" O.C. BETWEEN POSTS
FASTENERS TO BE PROVIDED BY
SUBURBAN SUNROOMS

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SUBURBAN SUNROOMS

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6 OF 10

CUSTOM ALL SEASONS STARS
STRAIGHT EAVE

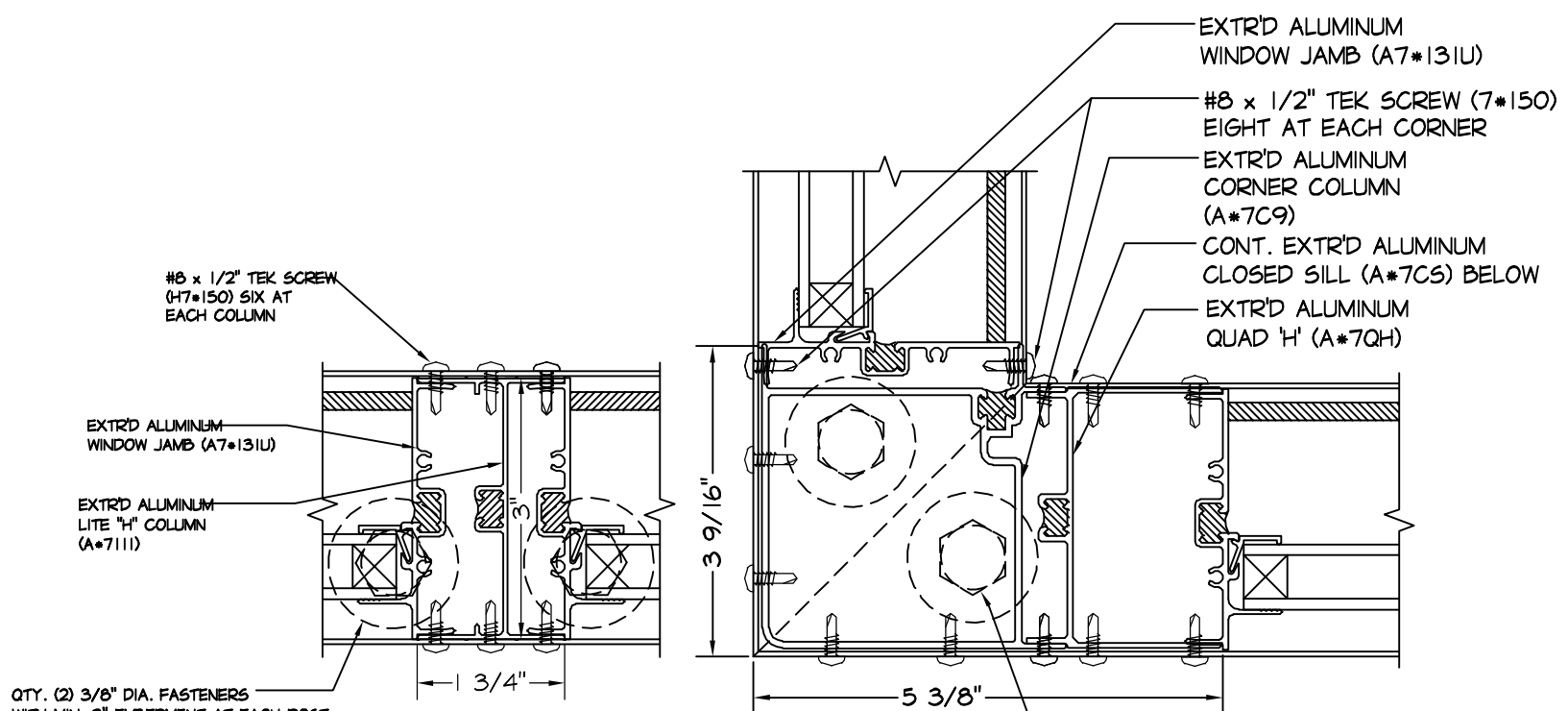
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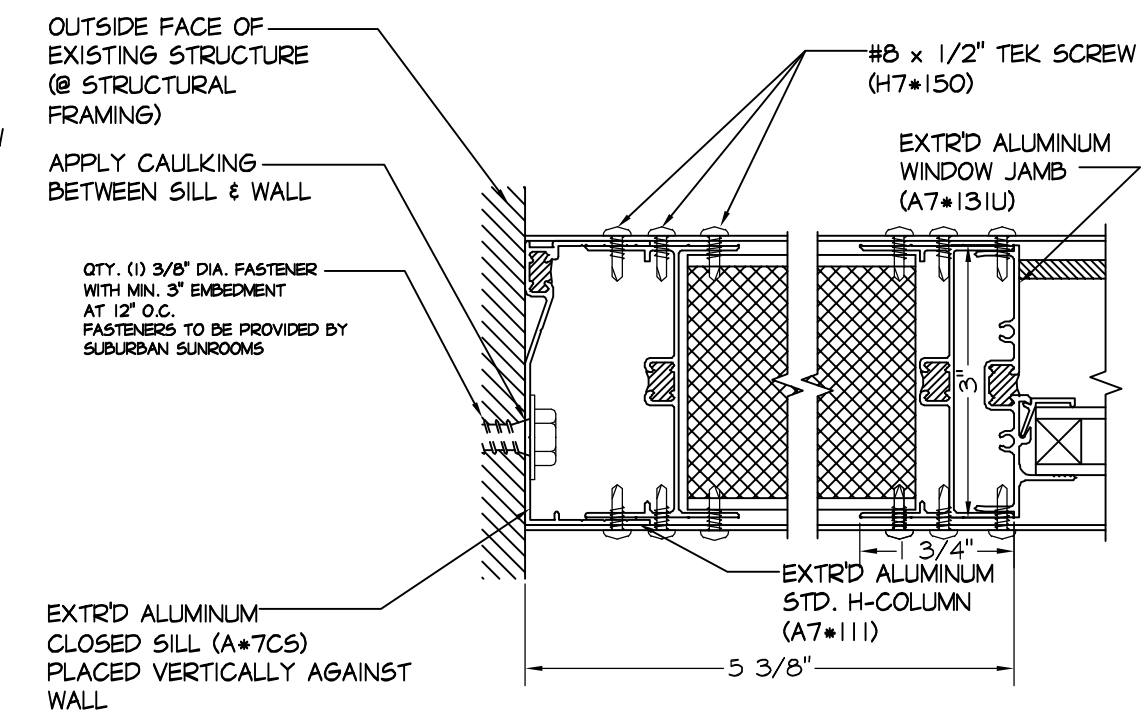


330 WEST END AVE
NEW YORK, NY.



A
7
PLAN POST
NOT TO SCALE

B
7
PLAN CORNER POST
NOT TO SCALE



C
7
GABLE ATTACHMENT AT HOUSEWALL w/SOLID FILL
NOT TO SCALE

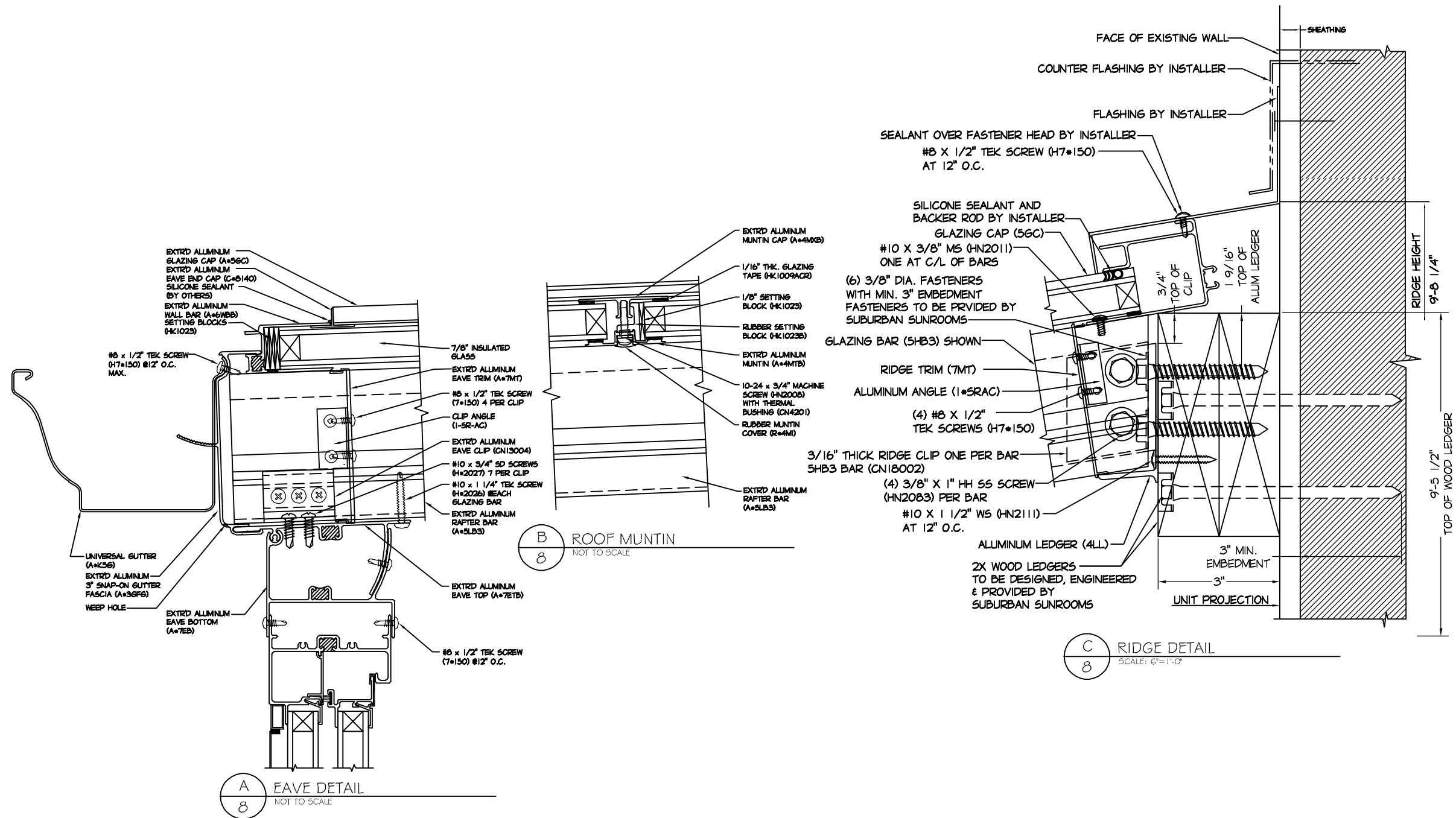
IMPORTANT NOTE!
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PRELIMINARY !
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AUTHORIZATION FOR PRODUCTION
MATERIALS WILL BE CUSTOM FABRICATED FOR THIS JOB. BEFORE FABRICATION CAN BE SCHEDULED, WE REQUIRE THE FOLLOWING TO BE SIGNED BY AUTHORIZED PERSONNEL.
PROCEED WITH FABRICATION IN ACCORDANCE WITH DETAILS AND DIMENSIONS SHOWN, OR AS NOTED ON THESE DRAWINGS.
AUTHORIZED SIGNATURE:
.....
PRINT NAME:
TITLE: DATE:

CUSTOM ALL SEASONS STARS STRAIGHT EAVE	FSSP REPRESENTATIVE: SUBURBAN SUNROOMS	ACCOUNT #:	76040
FOUR SEASONS SOLAR PRODUCTS CORP. 5005 VETERANS MEMORIAL HIGHWAY HOLBROOK, NEW YORK 11741	DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS	330 WEST END AVE NEW YORK, NY.	
REV. No.	DATE	BY	
1	9/14/21	ST	
SUBURBAN SUNROOMS			
REVIEWED BY:	ZU		
DWG. BY:	ST		
DATE:	8-30-21		
JOB#:	21-055		
	7 OF 10		

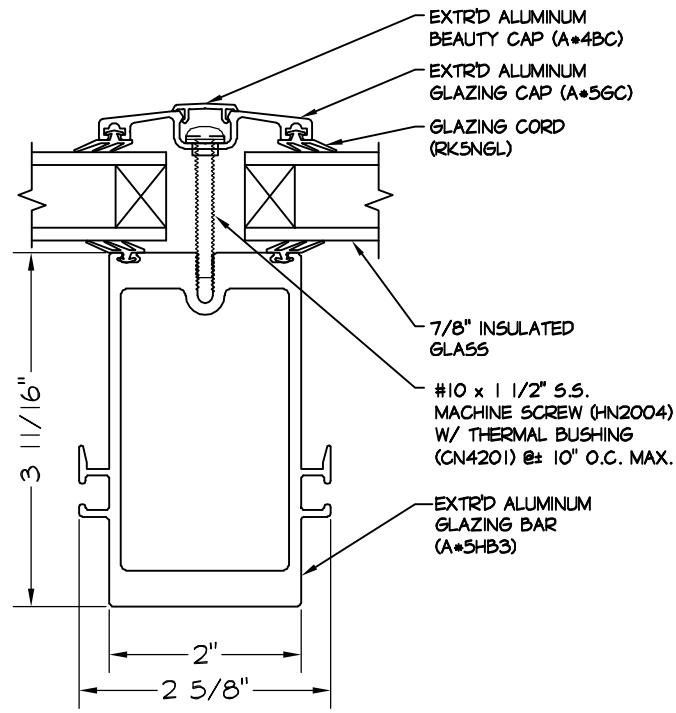
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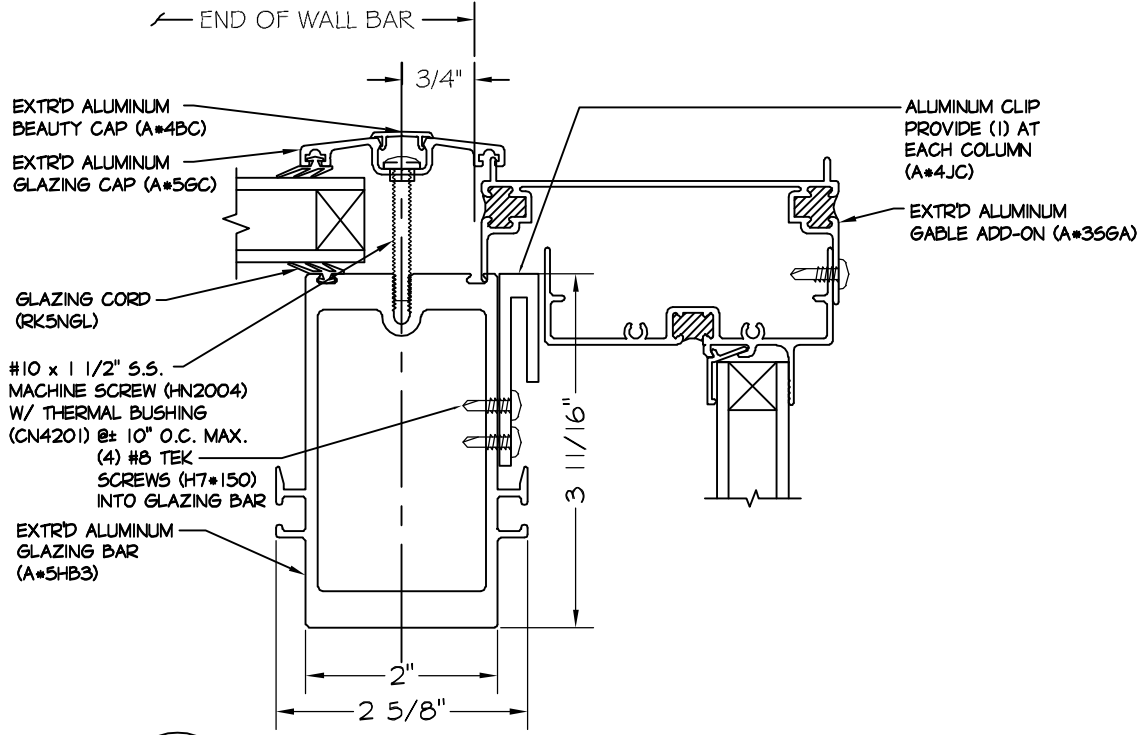
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CUSTOM ALL SEASONS STARS STRAIGHT EAVE		
FSSP REPRESENTATIVE: SUBURBAN SUNROOMS		
ACCOUNT #: 76040		
FOUR SEASONS SOLAR PRODUCTS CORP. 5005 VETERANS MEMORIAL HIGHWAY HOLBROOK, NEW YORK 11741 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS		
330 WEST END AVE NEW YORK, NY.		
REV. No.	DATE	BY
1	9/14/21 ST	
SUBURBAN SUNROOMS		
REVIEWED BY: ZU DWG. BY: ST DATE: 8-30-21 JOB#: 21-055		
8 OF 10		



A
9 RAFTER BAR
SCALE: 6" = 1'-0"



B
9 GABLE END
SCALE: 6" = 1'-0"

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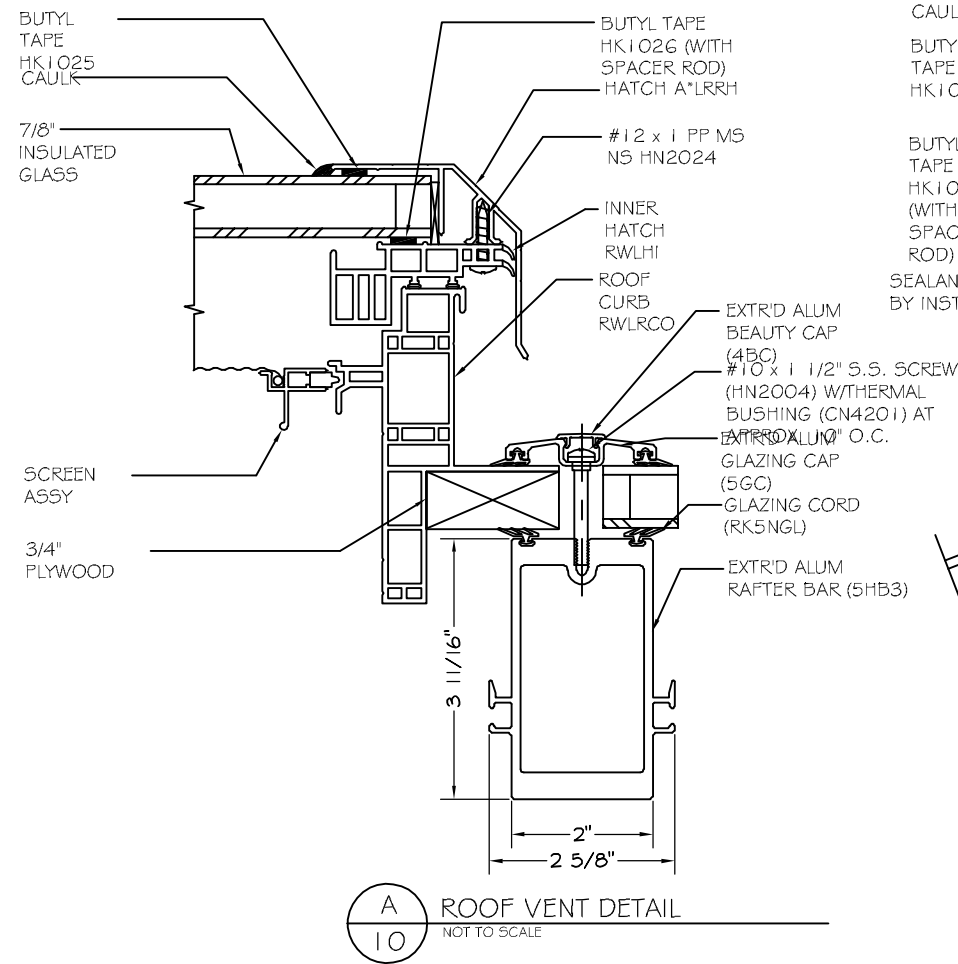
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AUTHORIZED SIGNATURE: _____
PRINT NAME: _____
TITLE: _____ DATE: _____

REV. No. DATE BY
1 9/14/21 ST
SUBURBAN SUNROOMS

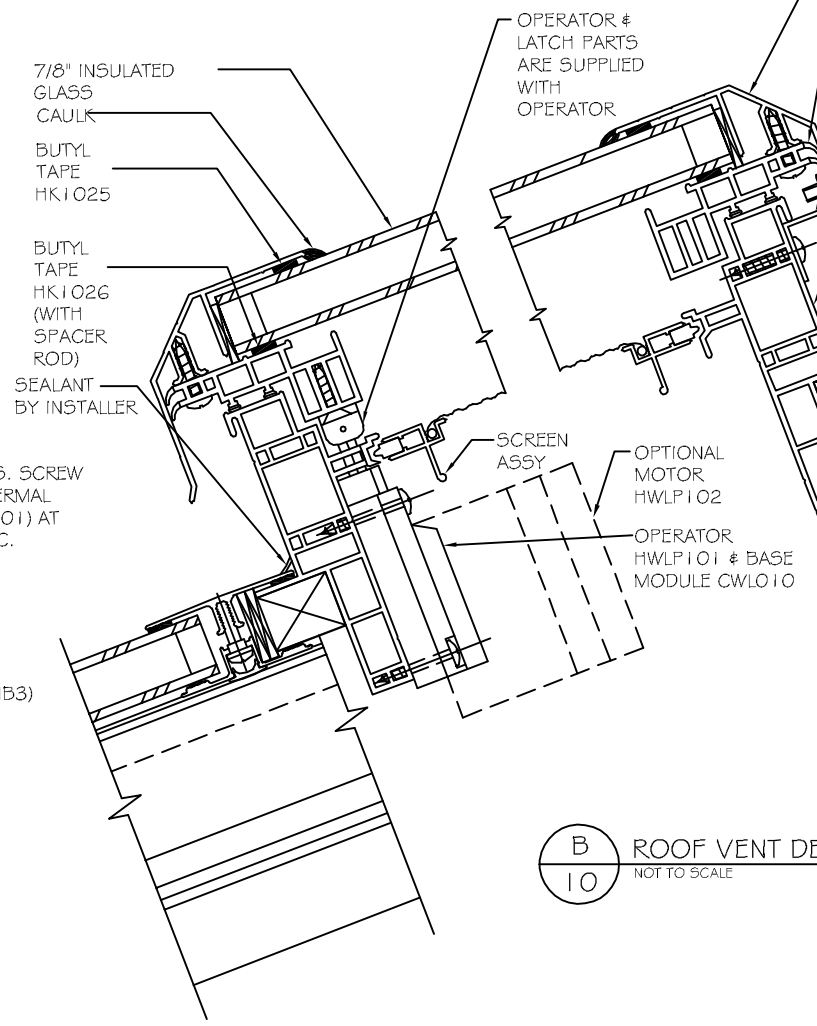
FOUR SEASONS SOLAR PRODUCTS CORP.
5005 VETERANS MEMORIAL HIGHWAY
HOLBROOK, NEW YORK 11741
DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS
330 WEST END AVE
NEW YORK, NY.

CUSTOM ALL SEASONS STARS
STRAIGHT EAVE
FSSP REPRESENTATIVE: SUBURBAN SUNROOMS
ACCOUNT #: 76040

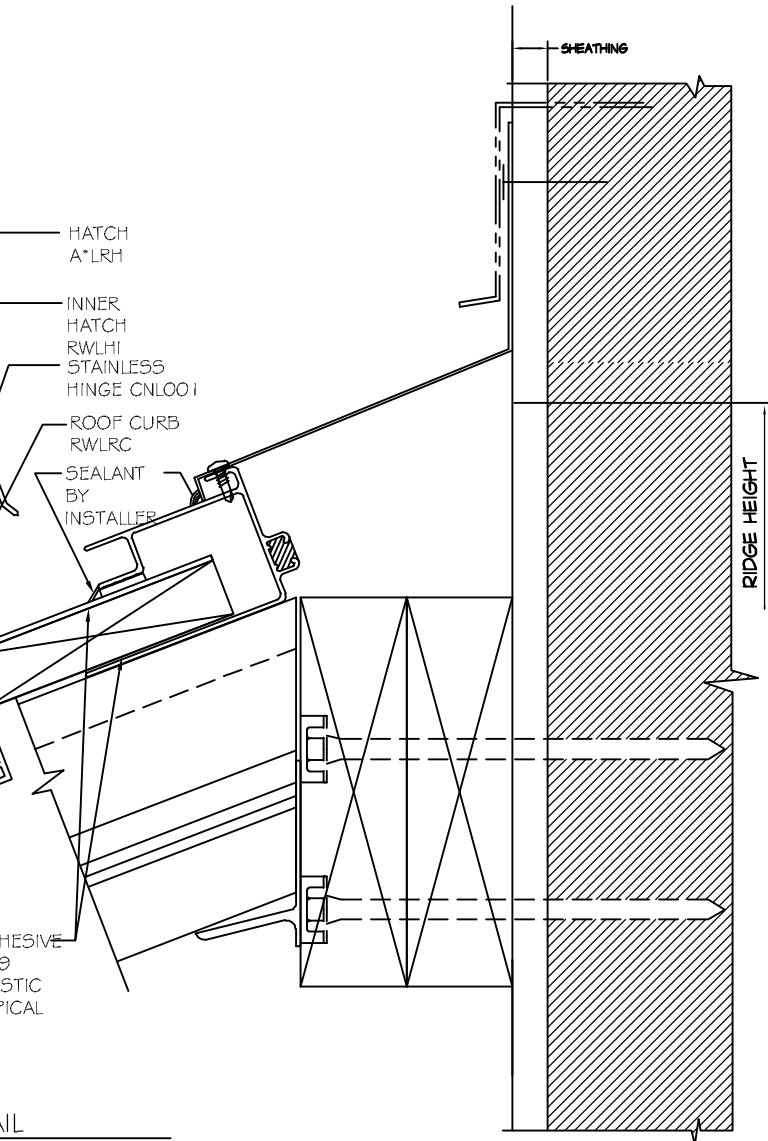
REVIEWED BY: ZU
DWG. BY: ST
DATE: 8-30-21
JOB#: 21-055
9 OF 10



A ROOF VENT DETAIL
NOT TO SCALE



B ROOF VENT DETAIL
NOT TO SCALE



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CUSTOM ALL SEASONS STARS STRAIGHT EAWE		
FSSP REPRESENTATIVE: SUBURBAN SUNROOMS		
ACCOUNT #:		
76040		
FOUR SEASONS SOLAR PRODUCTS CORP. 5005 VETERANS MEMORIAL HIGHWAY HOLBROOK, NEW YORK 11741 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS		
330 WEST END AVE NEW YORK, NY.		
REV. No.	DATE	BY
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REVIEWED BY: ZU DWG. BY: ST DATE: 8-30-21 JOB#: 21-055		
10 OF 10		