

The BurrowNYC, LLC Residence

157 West 82nd Street, New York, NY 10024

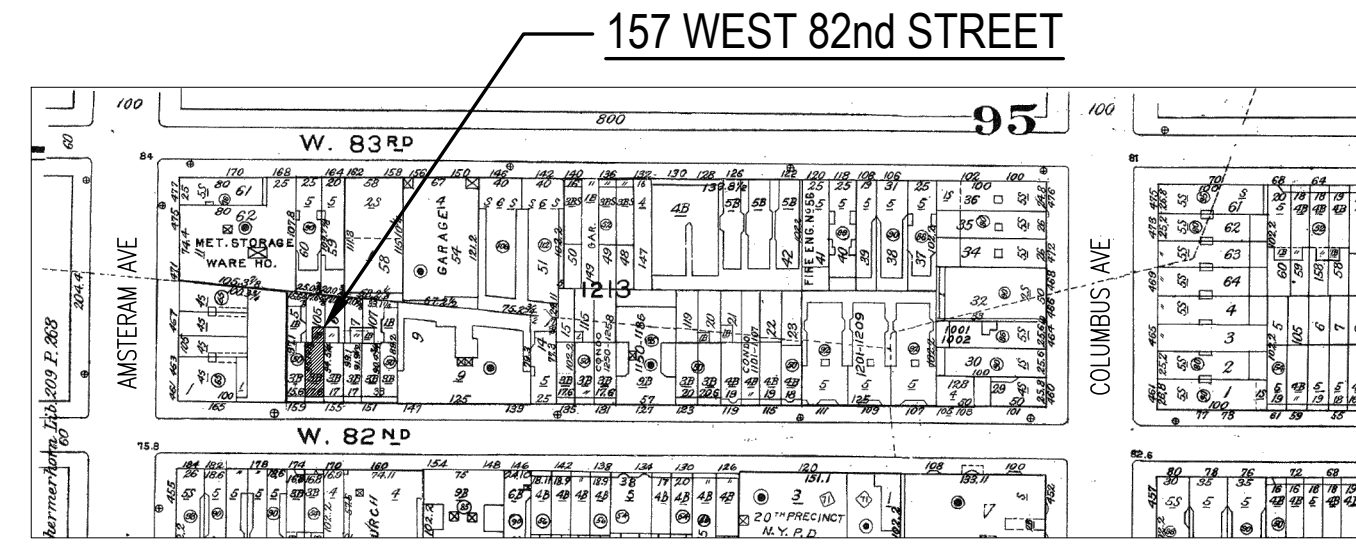
ZONING

BLOCK: 1213 ZONING DISTRICT: R8B MANHATTAN CORE
 LOT NUMBER: 105 MANDATORY QUALITY HOUSING BULK REGULATIONS ZR23-011
 ZONING MAP: 5d UPPER WEST SIDE/CENTRAL PARK WEST HISTORIC DISTRICT
 CONSTRUCTION CLASS: 3 NON-FIREPROOF 1938 CODE
 EQUIVALENT TO CLASS IIIA 2022 CODE

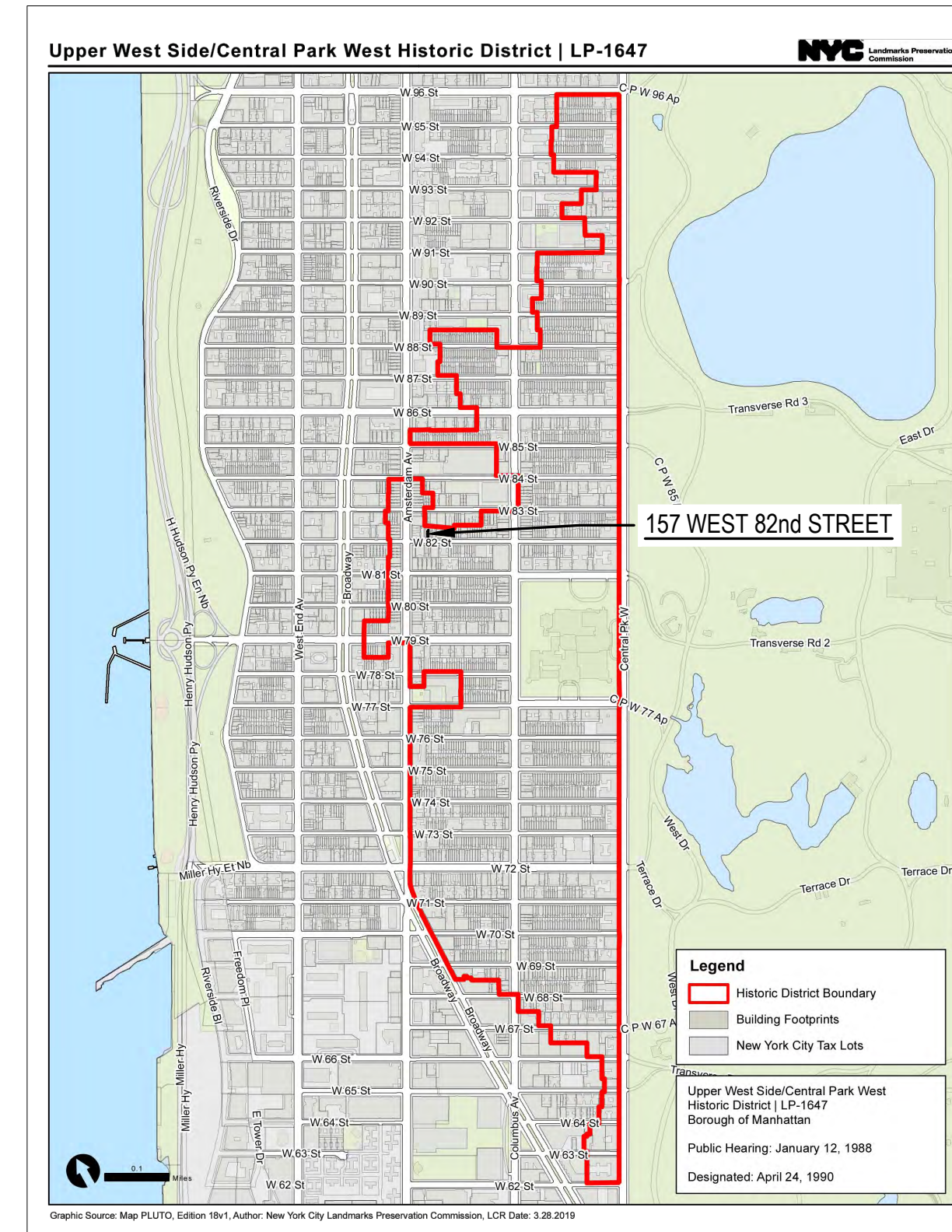
ENLARGEMENT OF EXISTING (3) FAMILY TO (4) FAMILY RESIDENCE

SCOPE OF WORK:

INTERIOR RENOVATIONS OF EXISTING RESIDENTIAL BUILDING &
 VERTICAL ENLARGEMENT FOR NEW PENTHOUSE AND STAIR
 BULKHEAD. CHANGE IN OCCUPANCY FROM 3 FAMILY TO 4 FAMILY.
 NO EXCAVATION OR FOUNDATION WORK.



3 SANBORN MAP - BLOCK PLAN
 SCALE: NOT TO SCALE



4 UPPER WEST SIDE - CENTRAL PARK WEST HISTORIC DISTRICT
 NOT TO SCALE



1 1940'S TAX PHOTO FRONT FACADE
 SCALE: 1/4" = 1'-0"

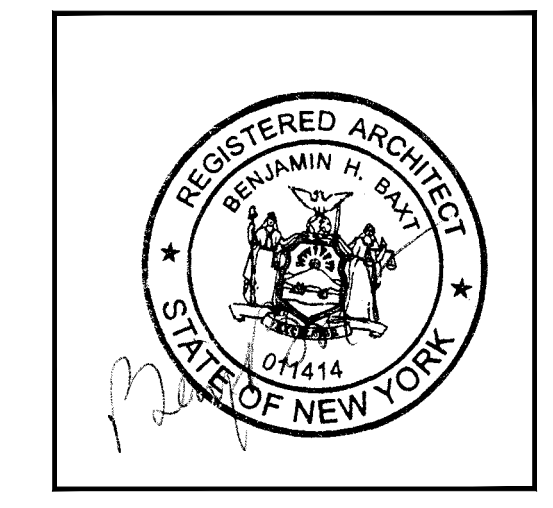


2 2023 EXISTING CONDITIONS PHOTO
 SCALE: 1/4" = 1'-0"



LIST OF DRAWINGS:

		JUNE 28, 2023 TO LPC	NOVEMBER 14, 2023 TO LPC
LPC-1	LANDMARKS COVER SHEET	X	X
LPC-2	LANDMARKS 3D VIEWS & PHOTOS	X	X
LPC-3	VISIBLE ROOFTOP STRUCTURE PRECEDENTS	X	X
LPC-4	BAY WINDOW PRECEDENTS	X	X
LPC-5	PENTHOUSE MOCK-UP VISIBILITY STUDY	X	X
LPC-6	PENTHOUSE MOCK-UP VISIBILITY STUDY	X	X
LPC-7	PENTHOUSE MOCK-UP PHOTOS	X	X
G-001	GENERAL SHEET	X	X
EN-001	ENERGY ANALYSIS	X	X
DM-100	DEMOLITION PLANS	X	X
DM-101	DEMOLITION PLANS	X	X
A-100	PROPOSED FLOOR PLANS	X	X
A-101	PROPOSED FLOOR PLANS	X	X
A-200	EXISTING & PROPOSED FRONT ELEVATIONS	X	X
A-201	EXISTING & PROPOSED REAR ELEVATIONS	X	X
A-300	EXISTING SECTION	X	X
A-301	PROPOSED SECTION	X	X
A-302	EXISTING SECTION	X	X
A-303	PROPOSED SECTION	X	X
A-500	PENTHOUSE & BULKHEAD DETAILS	X	X
A-501	LPC WINDOW DETAILS	X	X



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 28 JUNE 2023

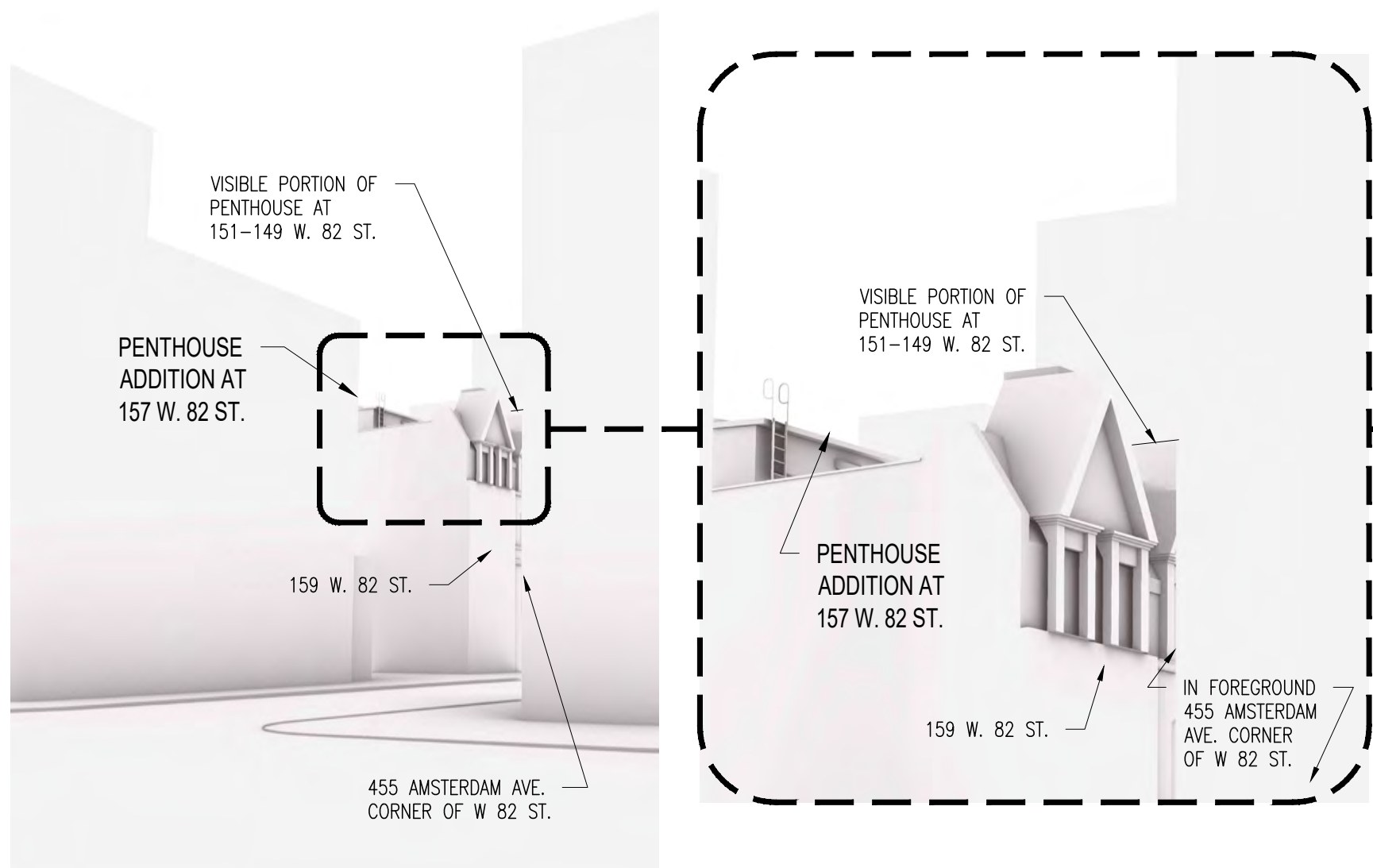
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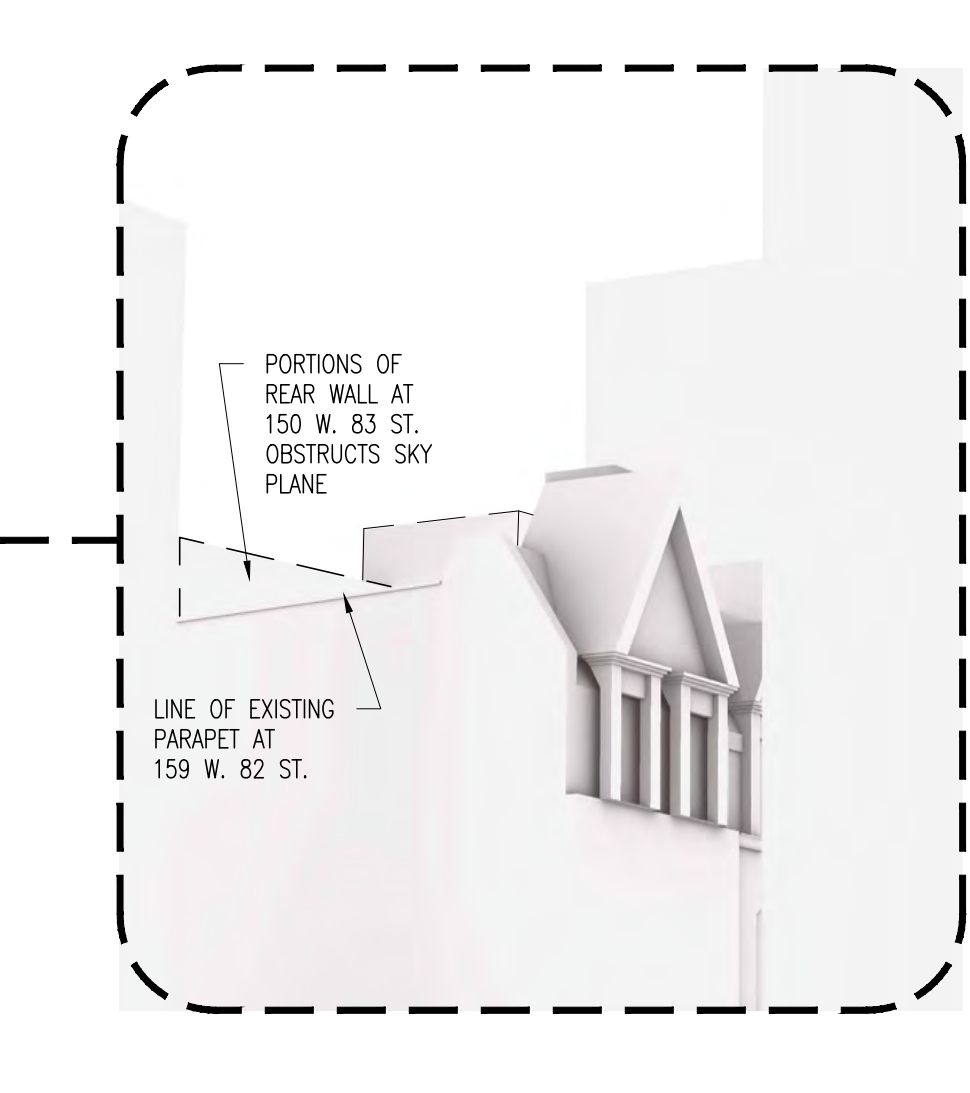
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LPC-1.00

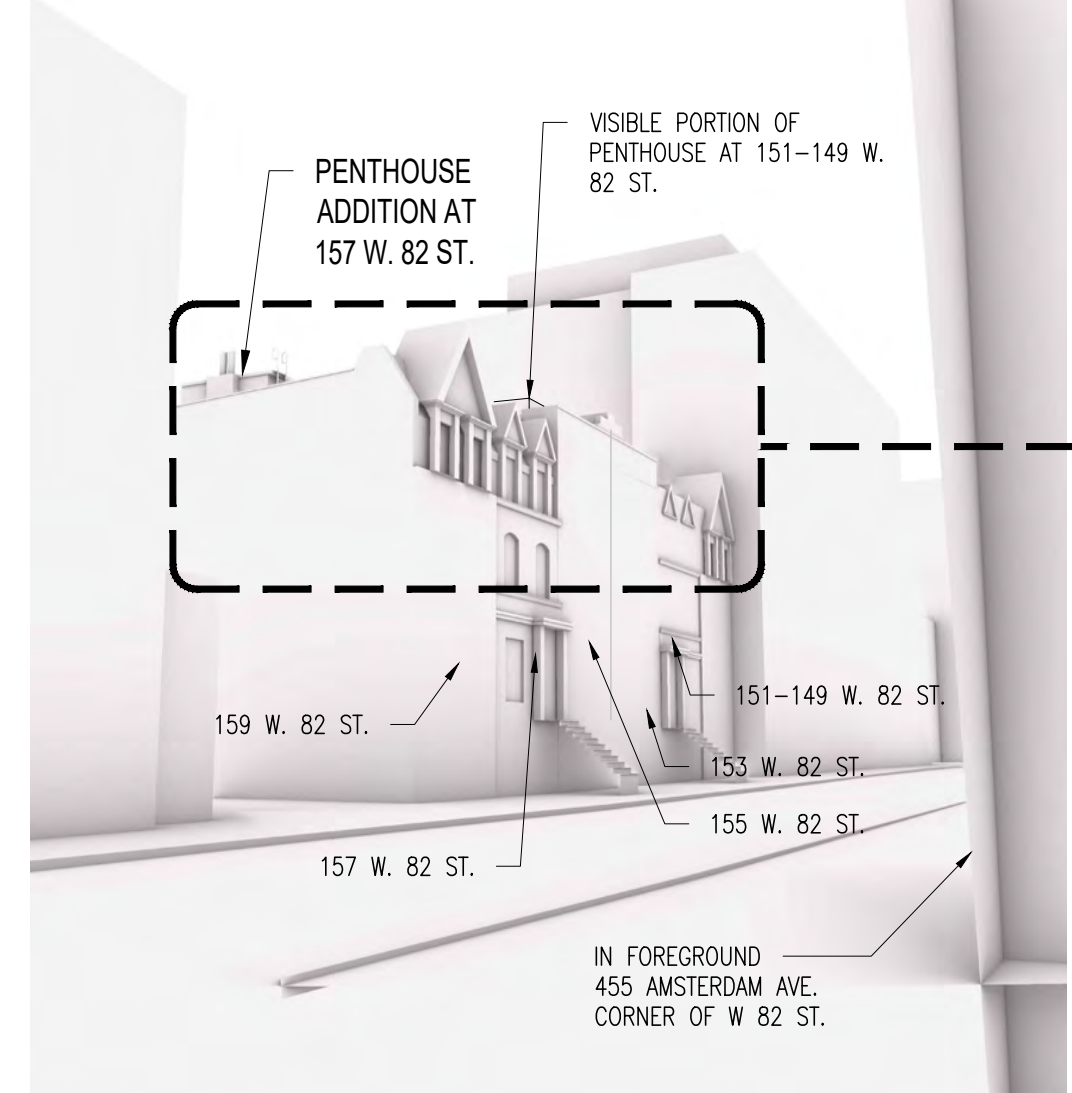
GENERAL SHEET



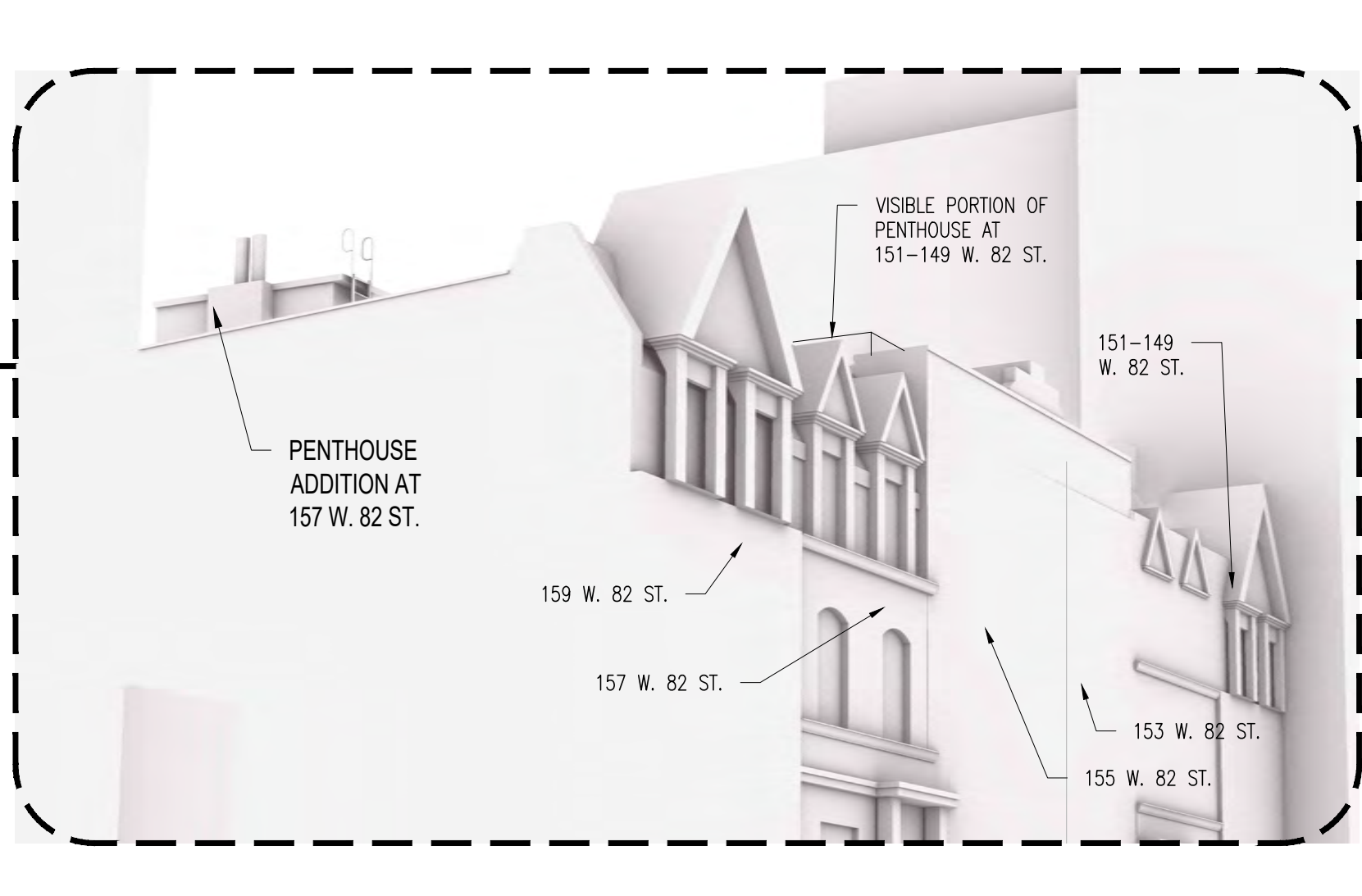
1 SOUTH WEST CORNER OF 82ND ST + AMSTERDAM AVE.
LPC-2 NOT TO SCALE



1a EXISTING VIEW WITHOUT PROPOSED PENTHOUSE
LPC-2 NOT TO SCALE



2 SOUTH EAST CORNER OF 82ND ST + AMSTERDAM AVE.
LPC-2 NOT TO SCALE



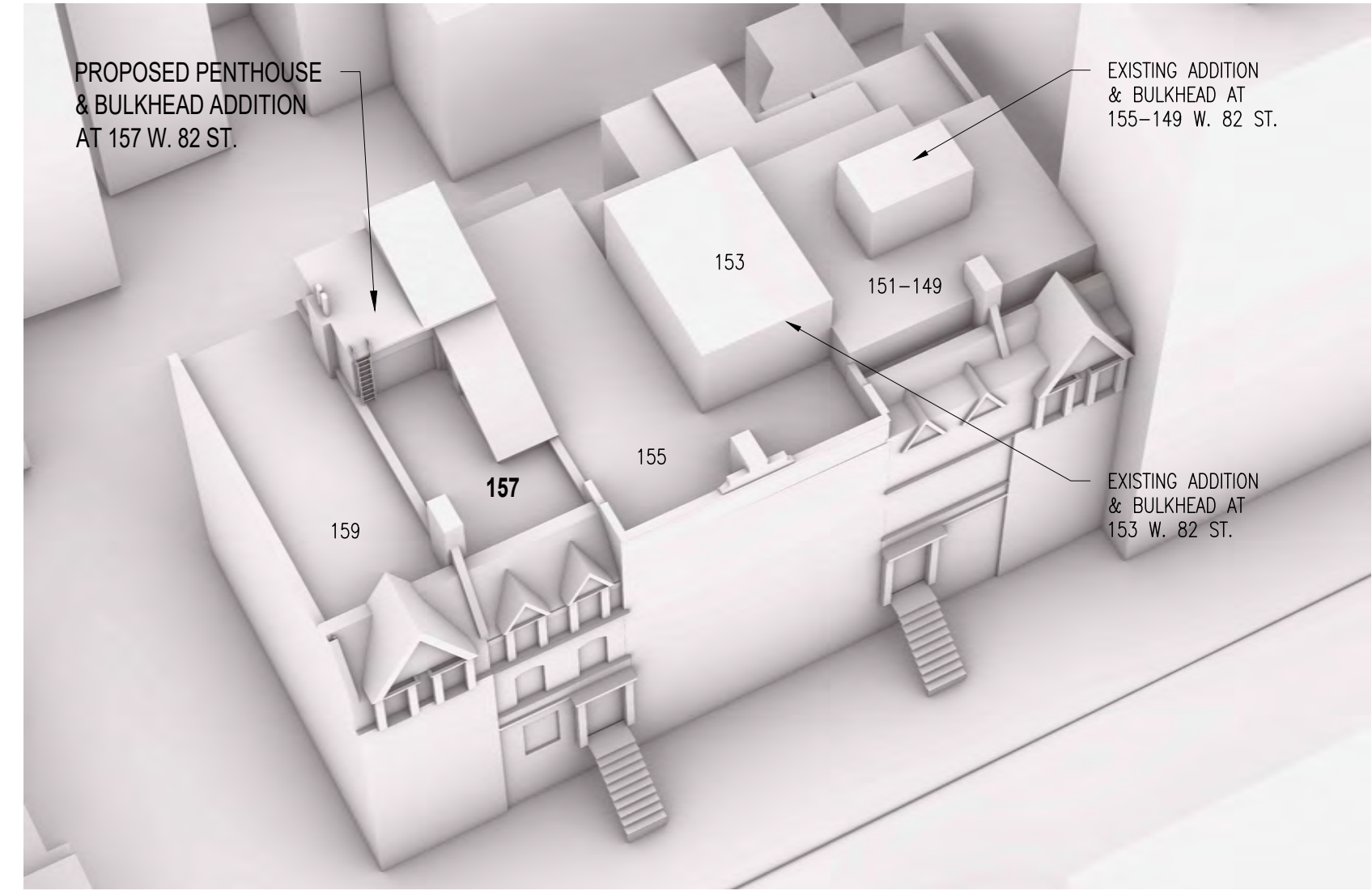
2 SOUTH EAST CORNER OF 82ND ST + AMSTERDAM AVE.
LPC-2 NOT TO SCALE



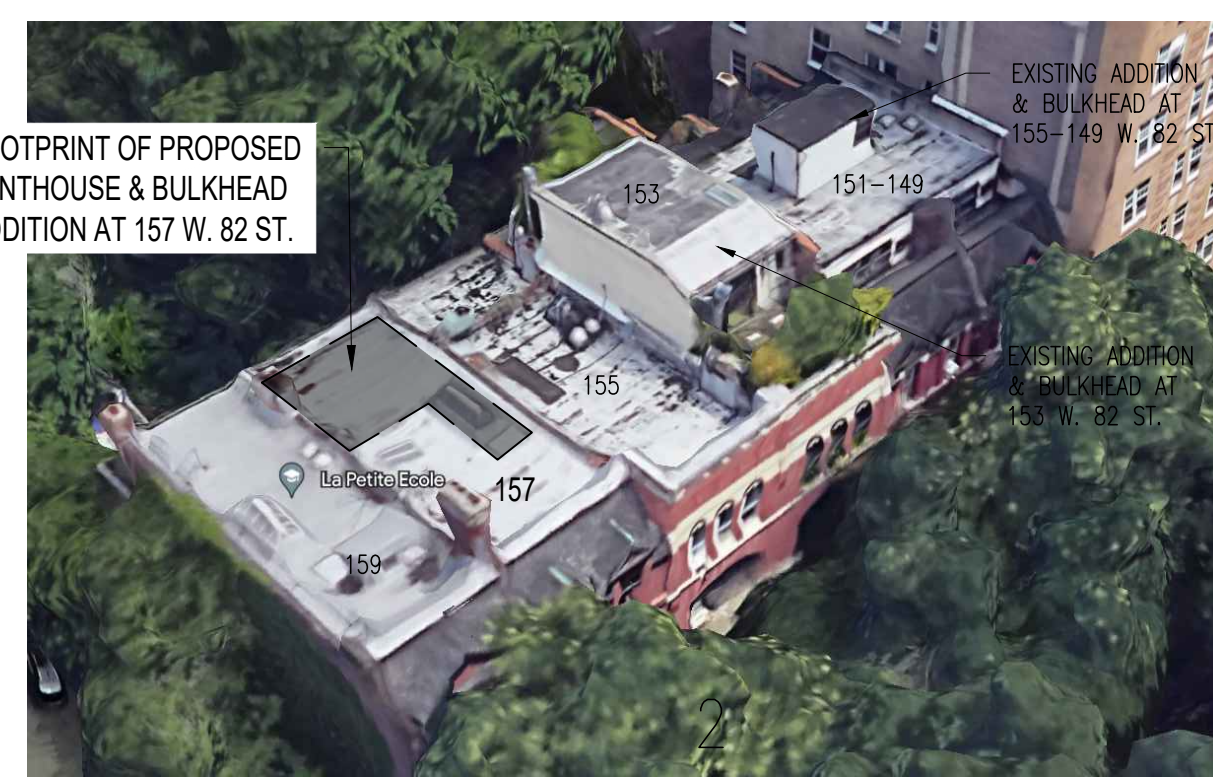
3 FRONT FACADE VIEW FROM ACROSS STREET
LPC-2 NOT TO SCALE



4 FRONT FACADE VIEW FROM 150 W. 82 ST
LPC-2 NOT TO SCALE



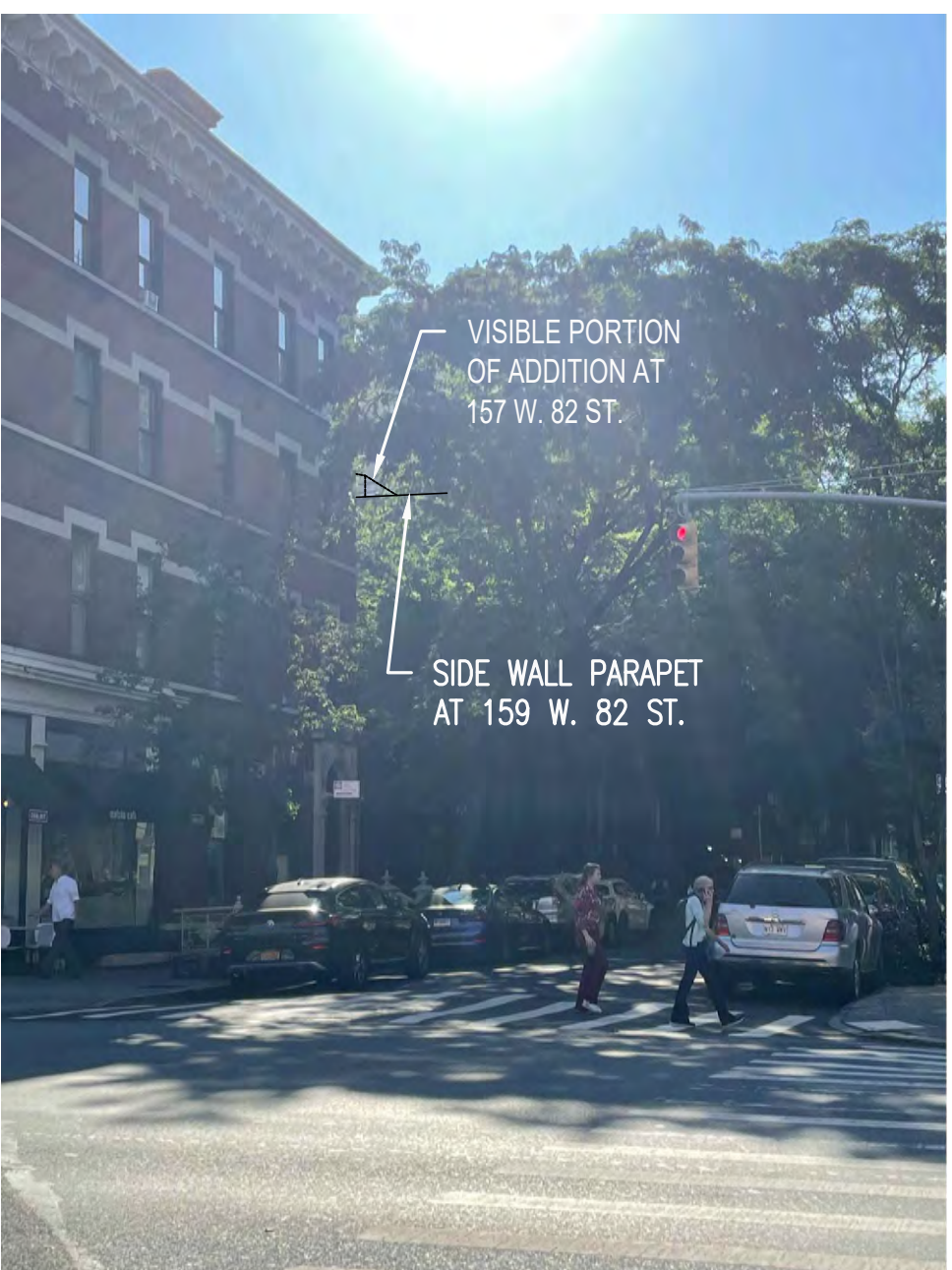
5 3D MODEL AERIAL VIEW
LPC-2 NOT TO SCALE



6 GOOGLE EARTH AERIAL VIEW
LPC-2 NOT TO SCALE



7 SOUTH WEST CORNER OF 82ND STREET + AMSTERDAM AVENUE
LPC-2 NOT TO SCALE



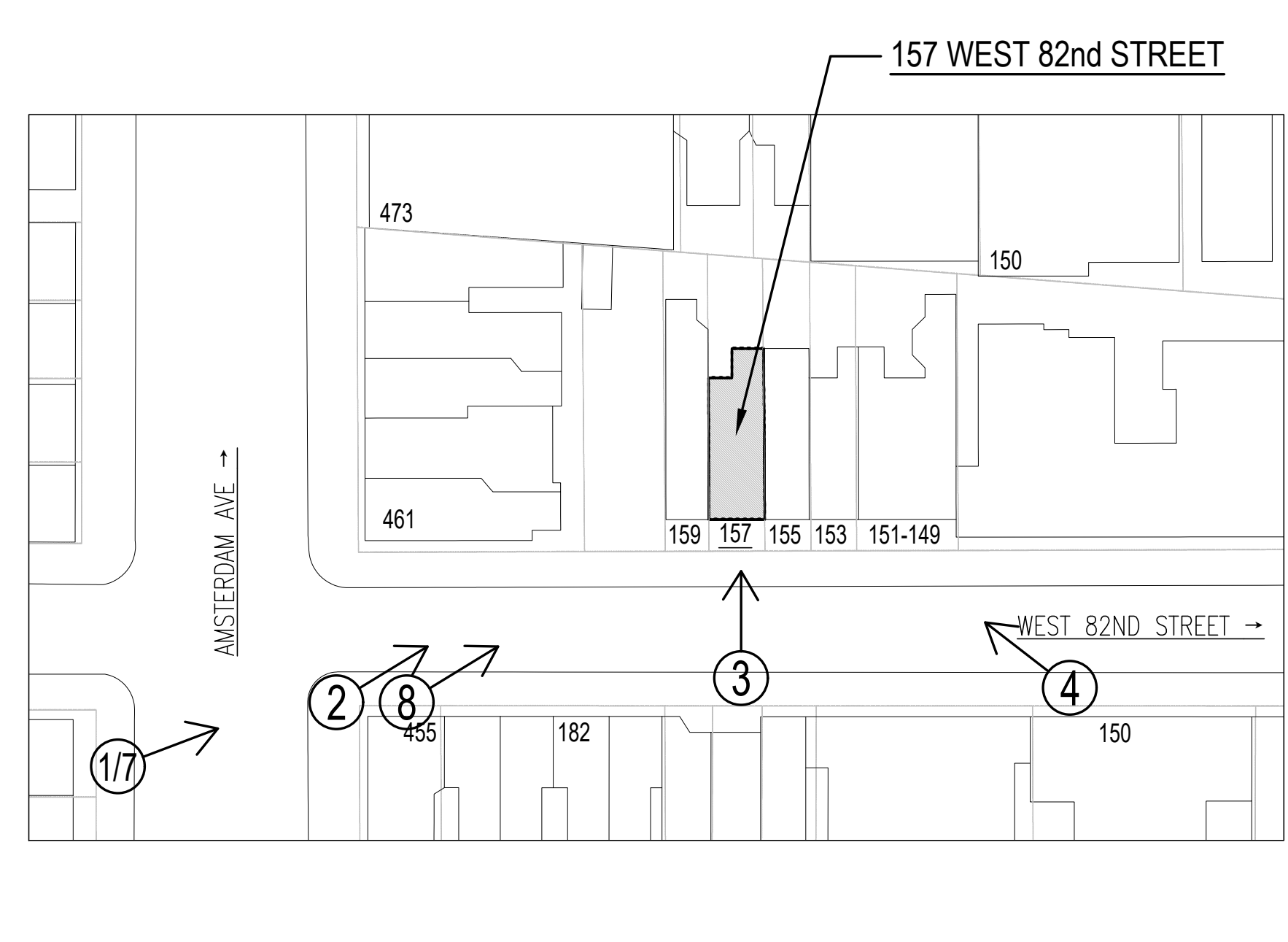
7 SOUTH WEST CORNER OF 82ND STREET + AMSTERDAM AVENUE
LPC-2 NOT TO SCALE



8 SOUTH EAST CORNER OF 82ND STREET + AMSTERDAM AVENUE
LPC-2 NOT TO SCALE



8 SOUTH EAST CORNER OF 82ND STREET + AMSTERDAM AVENUE
LPC-2 NOT TO SCALE



9 BLOCK PLAN & VIEW LOCATIONS
LPC-2 SCALE: NOT TO SCALE



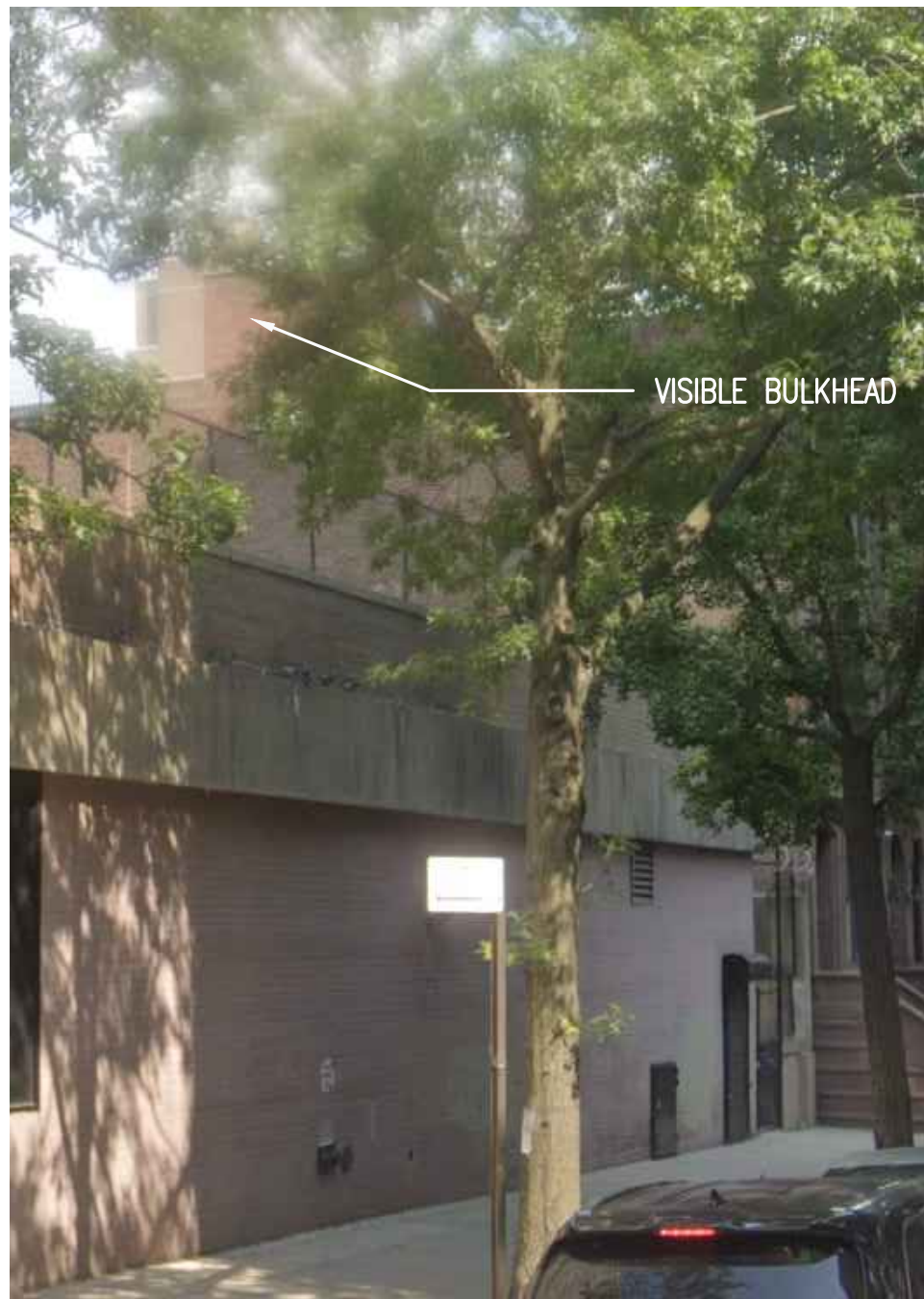
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LPC-2.00
PHOTOS & 3D MODEL
2 OF 7



59 WEST 94th STREET



71 WEST 98th STREET



61 WEST 88th STREET



167 WEST 87th STREET



171 WEST 85th STREET

UPPER WEST SIDE/
CENTRAL PARK WEST
HISTORIC DISTRICT

Precedent study for proposed rooftop addition
at 157 West 82nd Street.

The proposed rooftop addition is partially visible from an
oblique angle due to the existing site conditions. Adjacent to the
sister house at 159 West 82nd Street there is an unbuilt
lot that serves as parking for the corner building.

Throughout the Upper West Side/Central Park West there are
several instances of similar site conditions with buildings
adjacent to parks, low buildings, or unbuilt land with visible
structures on their rooftops.

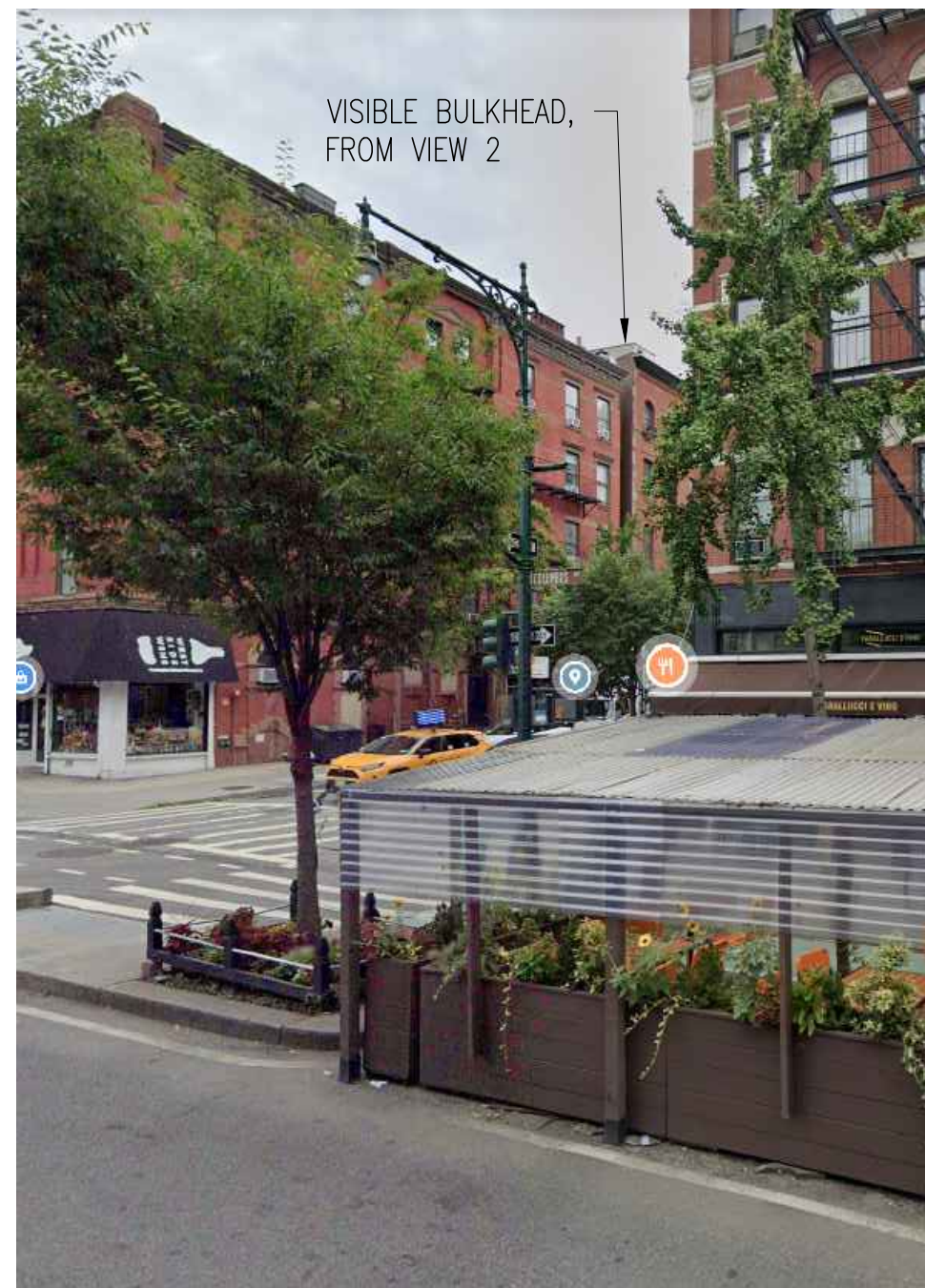


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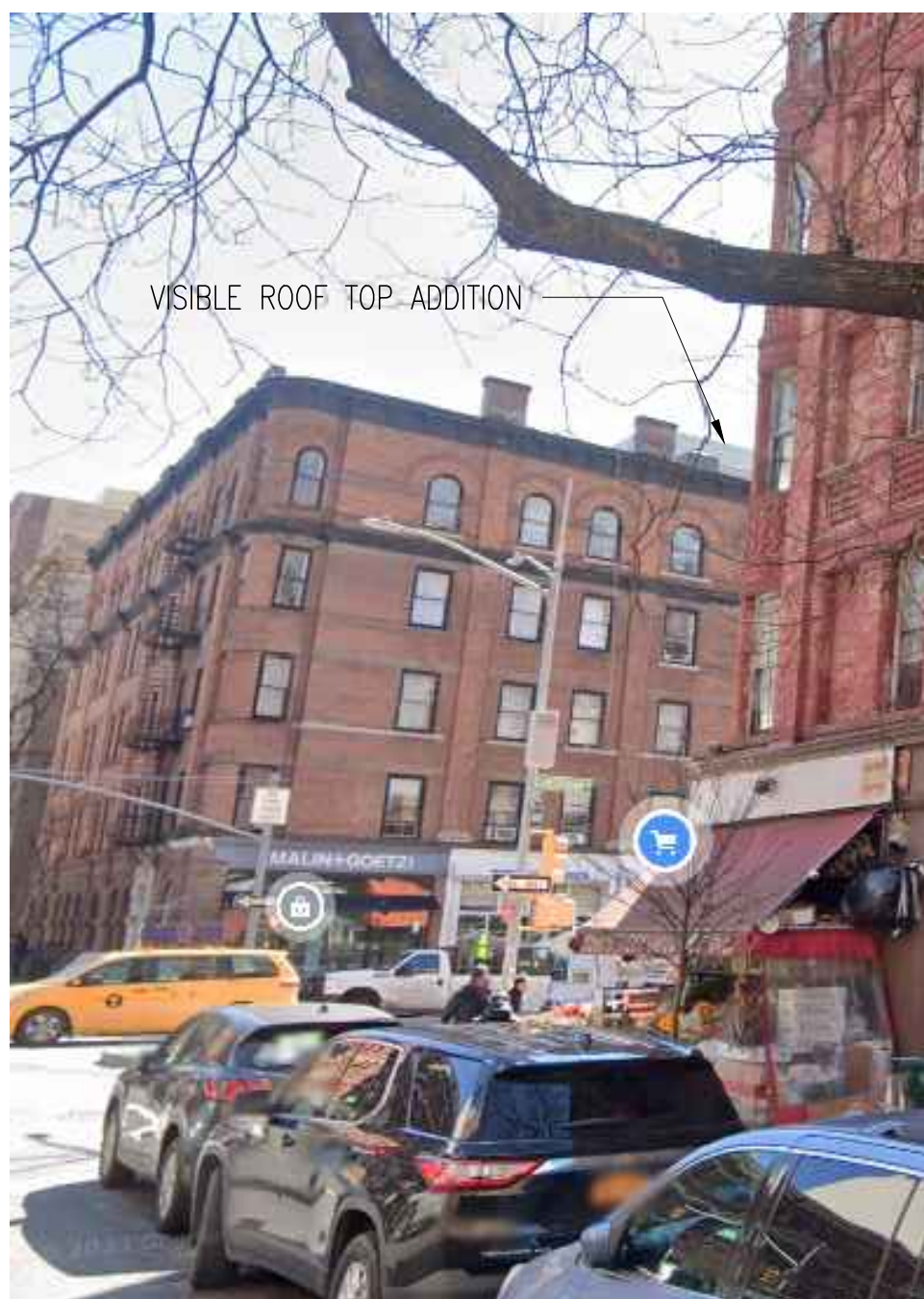
71 WEST 83rd STREET 1 OF 2



71 WEST 83rd STREET 2 OF 2



200 WEST 83rd STREET



176 WEST 82nd STREET



117 & 121 WEST 81st STREET (VISIBLE FROM REAR)

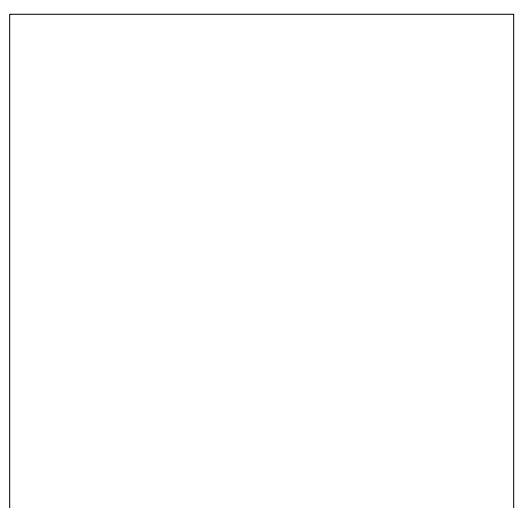


137 WEST 77th STREET



UPPER WEST SIDE/CENTRAL PARK WEST HISTORIC DISTRICT MAP

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LPC-3.00
PRECEDENT STUDY
3 OF 7



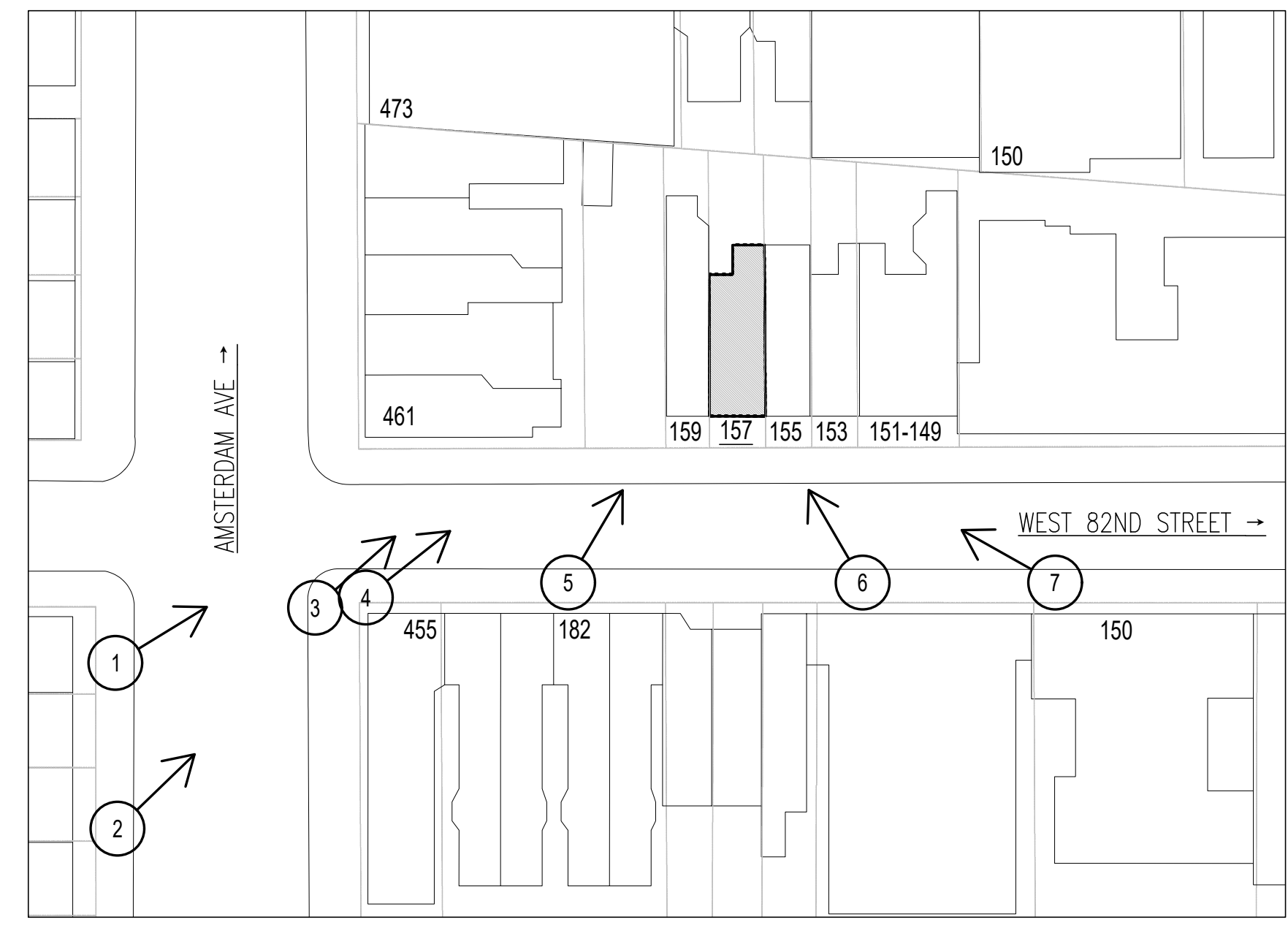
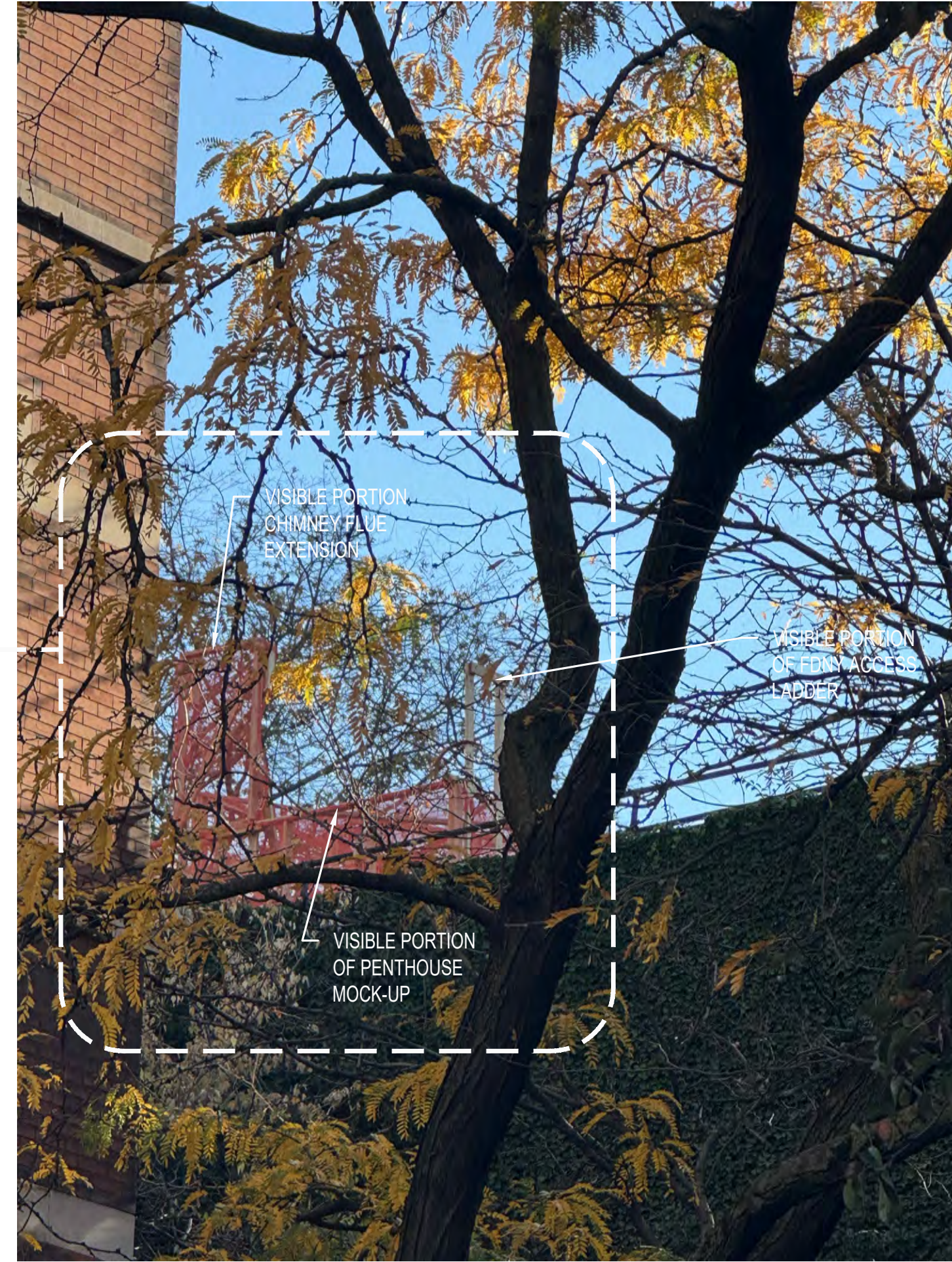
1 SOUTHWEST CORNER OF 82ND ST. + AMSTERDAM AVE.
LPC-4 NOT TO SCALE



2 AMSTERDAM AVE.
LPC-4 NOT TO SCALE



3 SOUTHEAST CORNER OF 82ND ST. + AMSTERDAM AVE.
LPC-4 NOT TO SCALE



8 BLOCK PLAN & VIEW LOCATIONS
LPC-4 SCALE: NOT TO SCALE



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LPC-4.00
PENTHOUSE MOCK-UP
VISIBILITY STUDY



4 SOUTHEAST CORNER OF 82ND ST + AMSTERDAM AVE.
LPC-5 NOT TO SCALE



5 IN FRONT OF 182 WEST 82ND STREET - NOT VISIBLE
LPC-5 NOT TO SCALE



6 ACROSS STREET FROM 157 WEST 82ND STREET
LPC-5 NOT TO SCALE



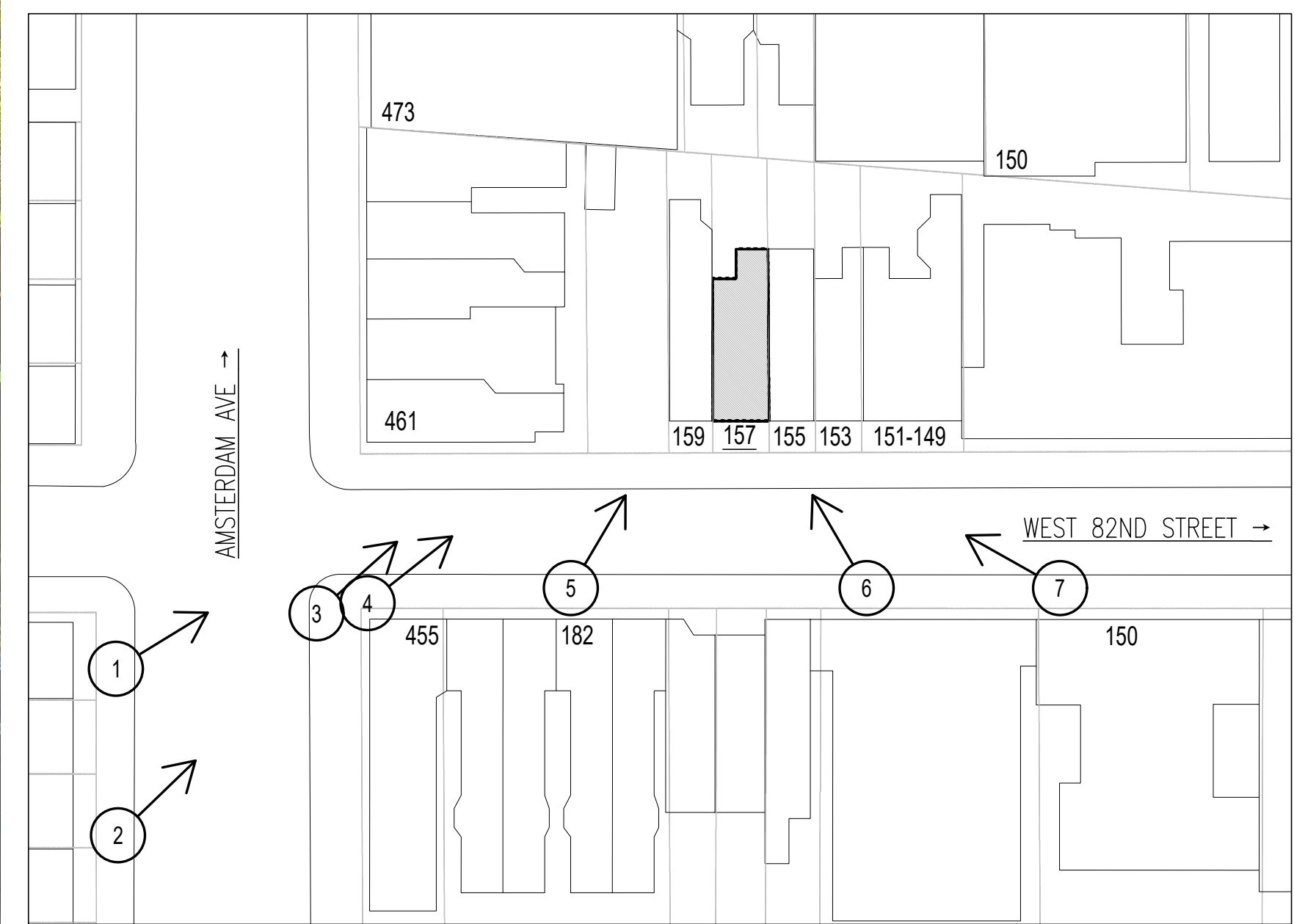
7 IN FRONT OF 150 WEST 82ND STREET - NOT VISIBLE
LPC-5 NOT TO SCALE



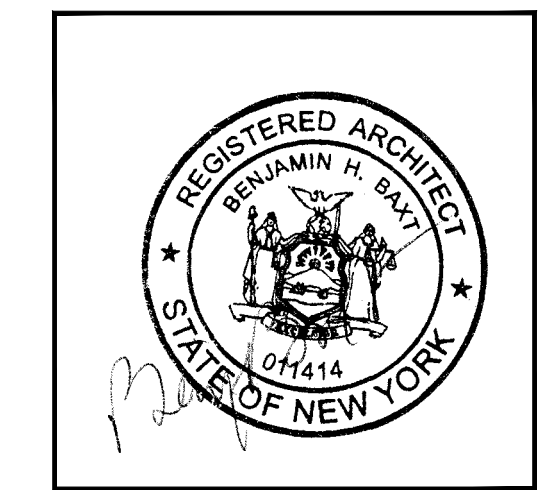
8 BLOCK PLAN & VIEW LOCATIONS
LPC-5 SCALE: NOT TO SCALE



9 DOB-NOW #: M00885302-IL

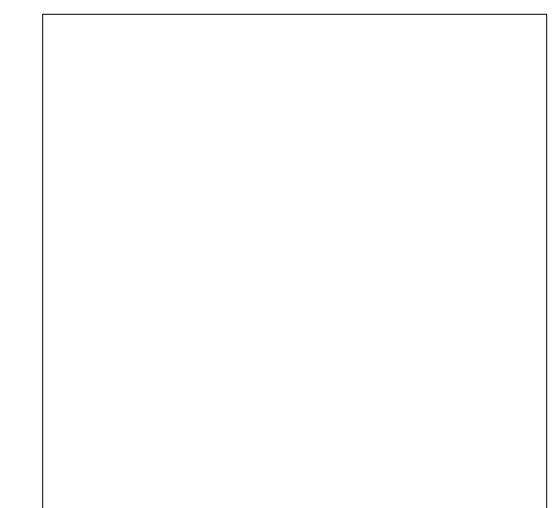


10 LPC PUBLIC HEARING
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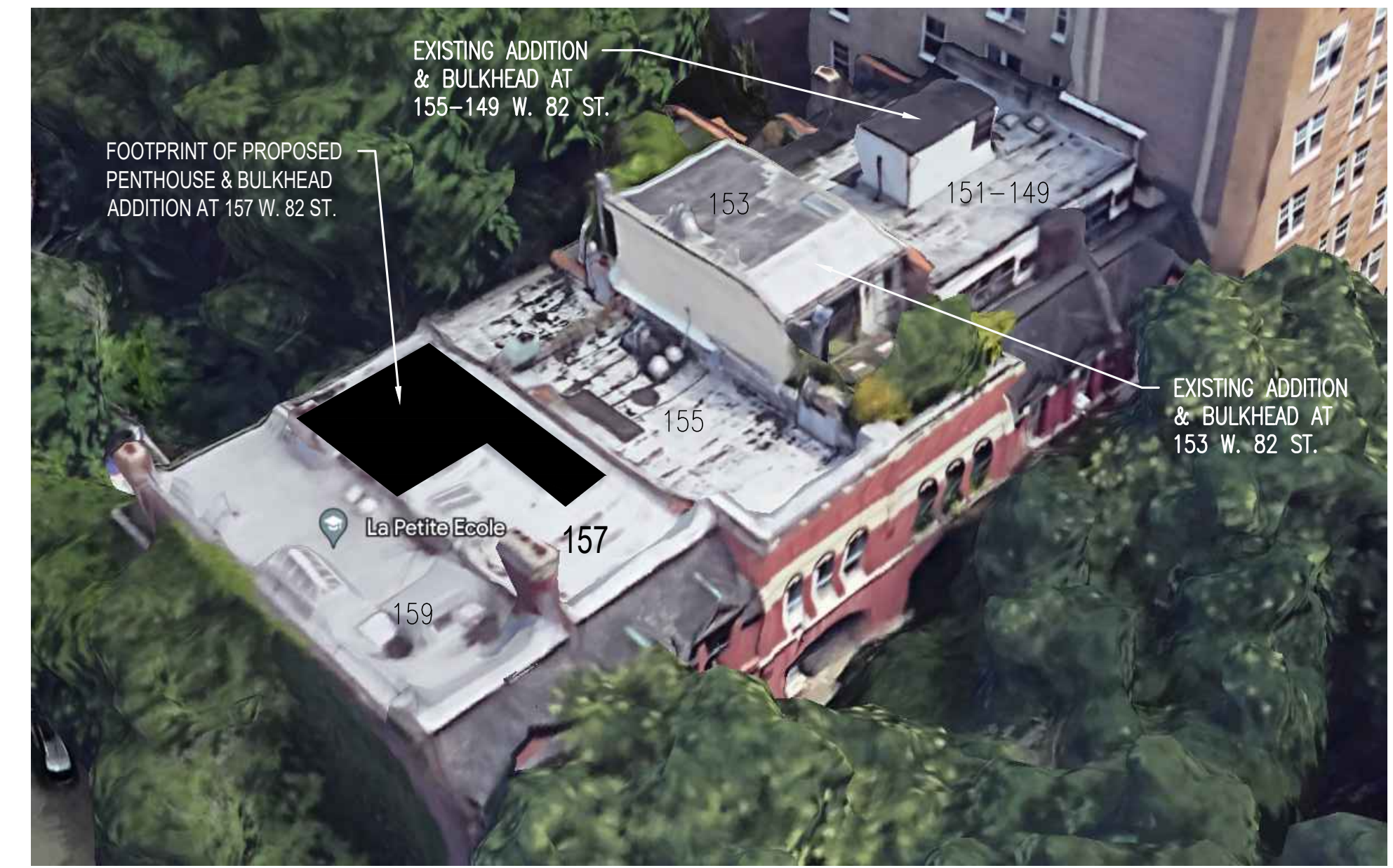
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LPC-5.00
PENTHOUSE MOCK-UP
VISIBILITY STUDY

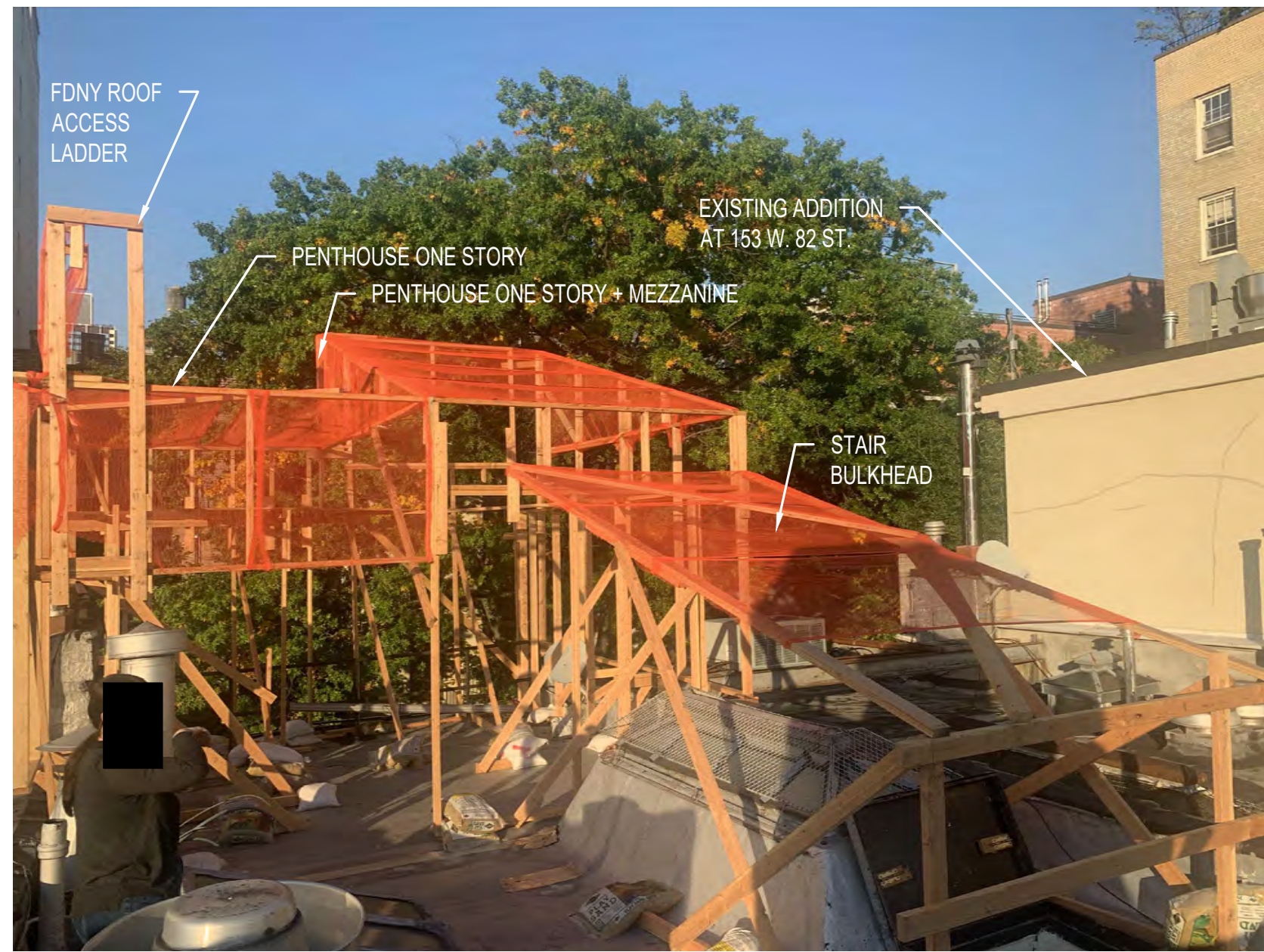


1 MOCK UP OF PROPOSED PENTHOUSE & BULKHEAD
LPC-6 NOT TO SCALE

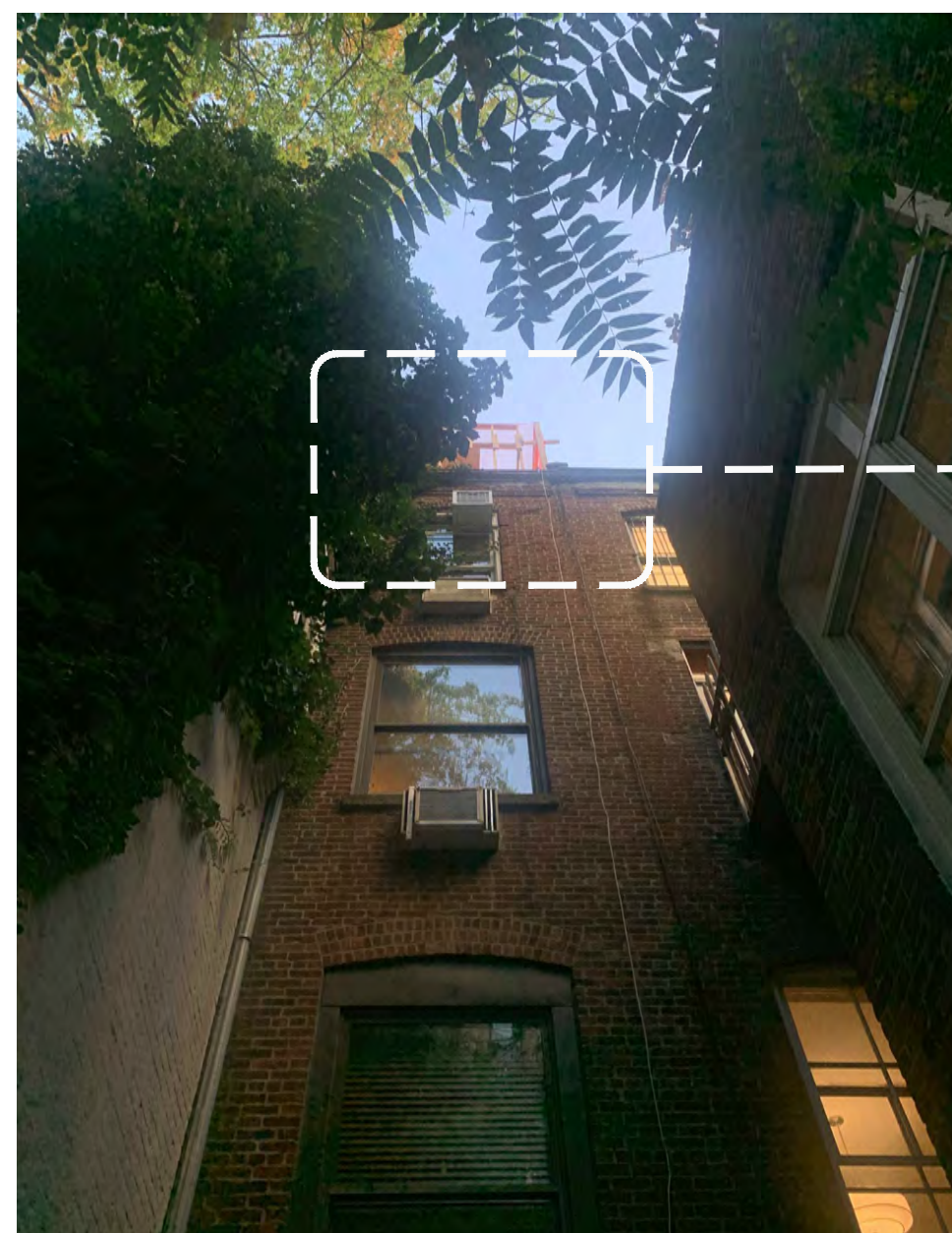
2 CHIMNEY FLUE MOCK UP
LPC-6 NOT TO SCALE



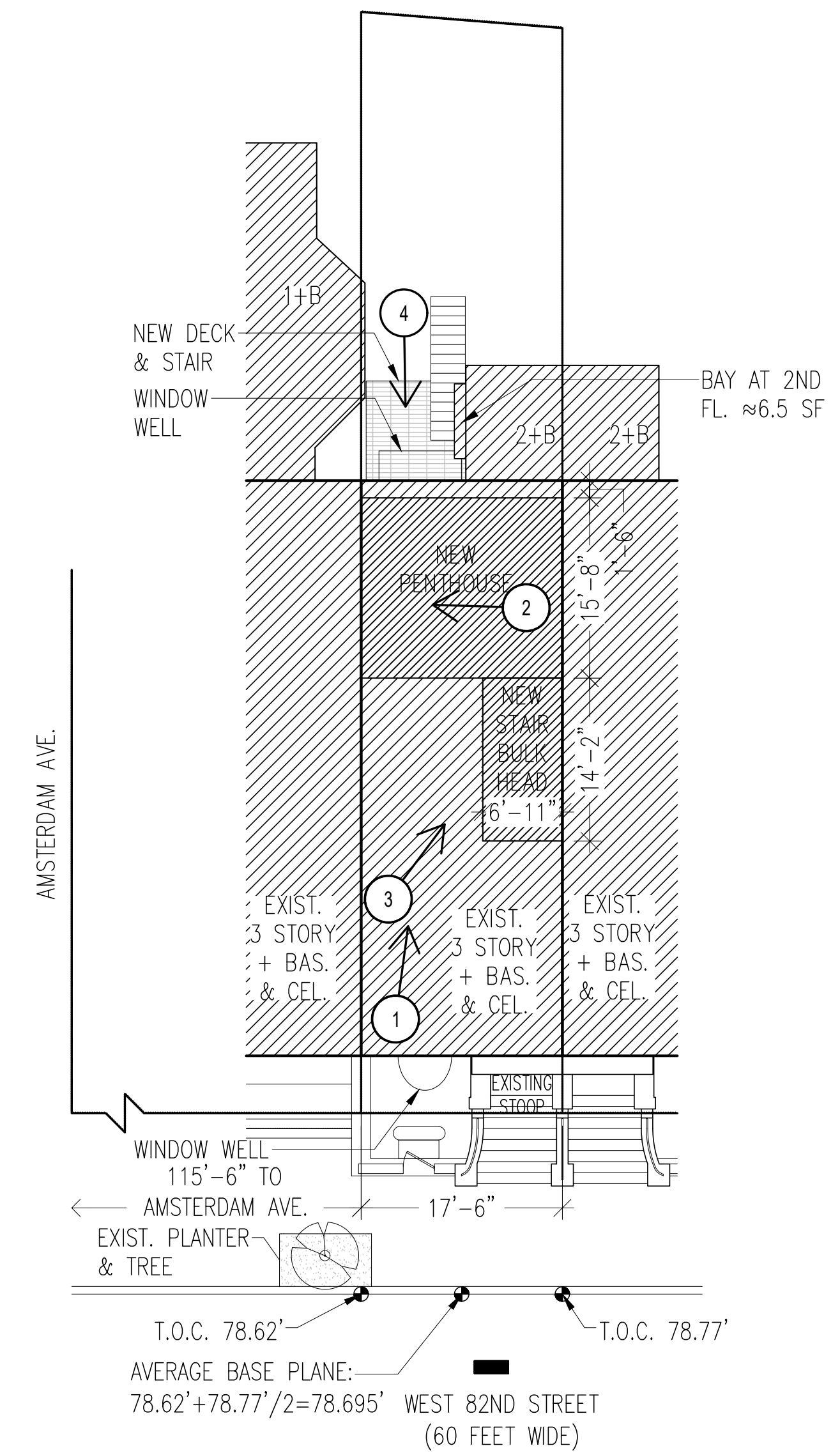
6 GOOGLE EARTH AERIAL VIEW
LPC-6 NOT TO SCALE



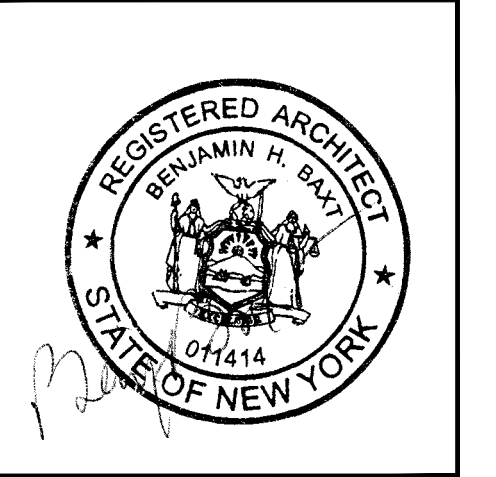
3 MOCK UP OF PROPOSED PENTHOUSE & BULKHEAD
LPC-6 NOT TO SCALE



4 MOCK UP VIEWED FROM BACKYARD
LPC-6 NOT TO SCALE



7 PLOT PLAN
LPC-6 NOT TO SCALE



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PENTHOUSE MOCK-UP

BRICK AND MASONRY NOTES:

ALL WORK TO TAKE PLACE ONLY WHEN EXTERIOR TEMPERATURE REMAINS A CONSTANT 45 DEGREES OR ABOVE FOR A 72 HOUR PERIOD FROM THE COMMENCEMENT OF WORK.

THE FOLLOWING BRICK CLEANING TECHNIQUES TO BE IMPLEMENTED IN ORDER OF HARSHNESS, WITH GENTLE METHODS FIRST:

1. LOW-PRESSURE WATER WASH NOT EXCEEDING 500 PSI WITH BRISTLE (NOT METAL) BRUSH.
2. WATER SHEETING TO SOAK THE FACADE WITH WATER OVER A PERIOD OF A WEEK, CAREFUL TO NOT CAUSE WATER DAMAGE TO INTERIOR OF BUILDING.
3. CHEMICAL CLEANING AND A LOW-PRESSURE WATER WASH THAT DOES NOT EXCEED 500 PSI.
4. APPLICATION OF CHEMICAL POULTICE IN THE EVENT OF STAINING PROBLEMS.

BRICK POINTING

MORTAR MUST BE RAKED OUT AND RE-POINTED WITH AN APPROVED MORTAR MIX & COLOR. NO MECHANICAL TOOLS TO BE USED IN THE RAKING OF THE JOINTS.

MORTAR MIX FOR BRICK RE-POINTING TO CONSIST OF:

- (1) PART PORTLAND CEMENT
- (2) PARTS LIME
- (8-9) PARTS SAND



NEW WOOD SIMULATED DOUBLE HUNG WINDOW IN EXISTING MASONRY OPENING. PAINTED BLACK

EXIST. BRICK MOULD TO REMAIN. SCRAPE, SAND & PAINT BLACK

EXIST. PANEL TO REMAIN
NEW WOOD SIMULATED DOUBLE HUNG WINDOW IN EXISTING MASONRY OPENING. PAINTED BLACK

EXIST. BRICK TO REMAIN, REPOINT DAMAGED MORTAR AS NEEDED

EXIST. BRICK MOULD TO REMAIN. SCRAPE, SAND & PAINT BLACK

EXIST. LEADERS TO REMAIN (TYP.)

EXIST. LIGHT FIXTURE REPLACED WITH NEW

NEW WOOD SIMULATED DOUBLE HUNG WINDOW IN EXISTING MASONRY OPENING. PAINTED BLACK

EXIST. FRONT DOOR TO REMAIN

EXIST. BRICK MOULD TO REMAIN. SCRAPE, SAND & PAINT BLACK

EXIST. PAINTED STONE TO REMAIN

EXIST. SPRINKLER ALARM TO REMAIN

EXIST. LIGHT FIXTURE REPLACED WITH NEW

EXIST. BRICK MOULD TO REMAIN. SCRAPE, SAND & PAINT BLACK

EXIST. IRON WINDOW GUARD TO REMAIN. PAINT BLACK

EXIST. IRON RAILING TO REMAIN

NEW WOOD SIMULATED DOUBLE HUNG WINDOW IN EXISTING MASONRY OPENING. PAINTED BLACK



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FRONT ELEVATIONS

7 OF 14

1 1940'S TAX PHOTO FRONT FACADE
SCALE: 1/4" = 1'-0"

2 1990 LPC HISTORIC DISTRICT DESIGNATIO PHOTOS
SCALE: 1/4" = 1'-0"

3 2023 EXISTING PHOTOS WITH PROPOSED ANNOTATIONS
SCALE: 1/4" = 1'-0"

BRICK AND MASONRY NOTES:

ALL WORK TO TAKE PLACE ONLY WHEN EXTERIOR TEMPERATURE REMAINS A CONSTANT 45 DEGREES OR ABOVE FOR A 72 HOUR PERIOD FROM THE COMMENCEMENT OF WORK.

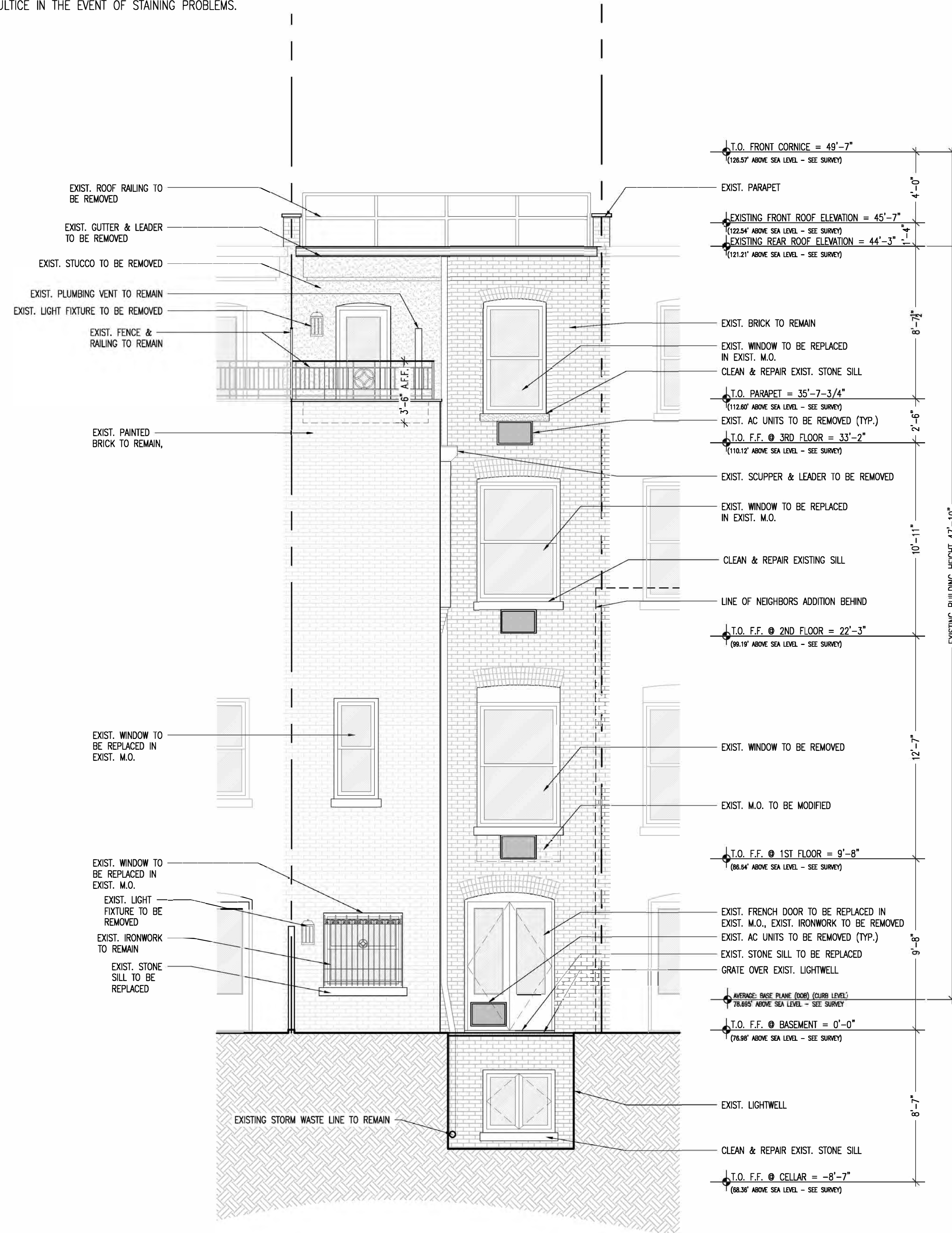
THE FOLLOWING BRICK CLEANING TECHNIQUES TO BE IMPLEMENTED IN ORDER OF HARSHNESS, WITH GENTLE METHODS FIRST:

1. LOW-PRESSURE WATER WASH NOT EXCEEDING 500 PSI WITH BRISTLE (NOT METAL) BRUSH.
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4. APPLICATION OF CHEMICAL POULTICE IN THE EVENT OF STAINING PROBLEMS.

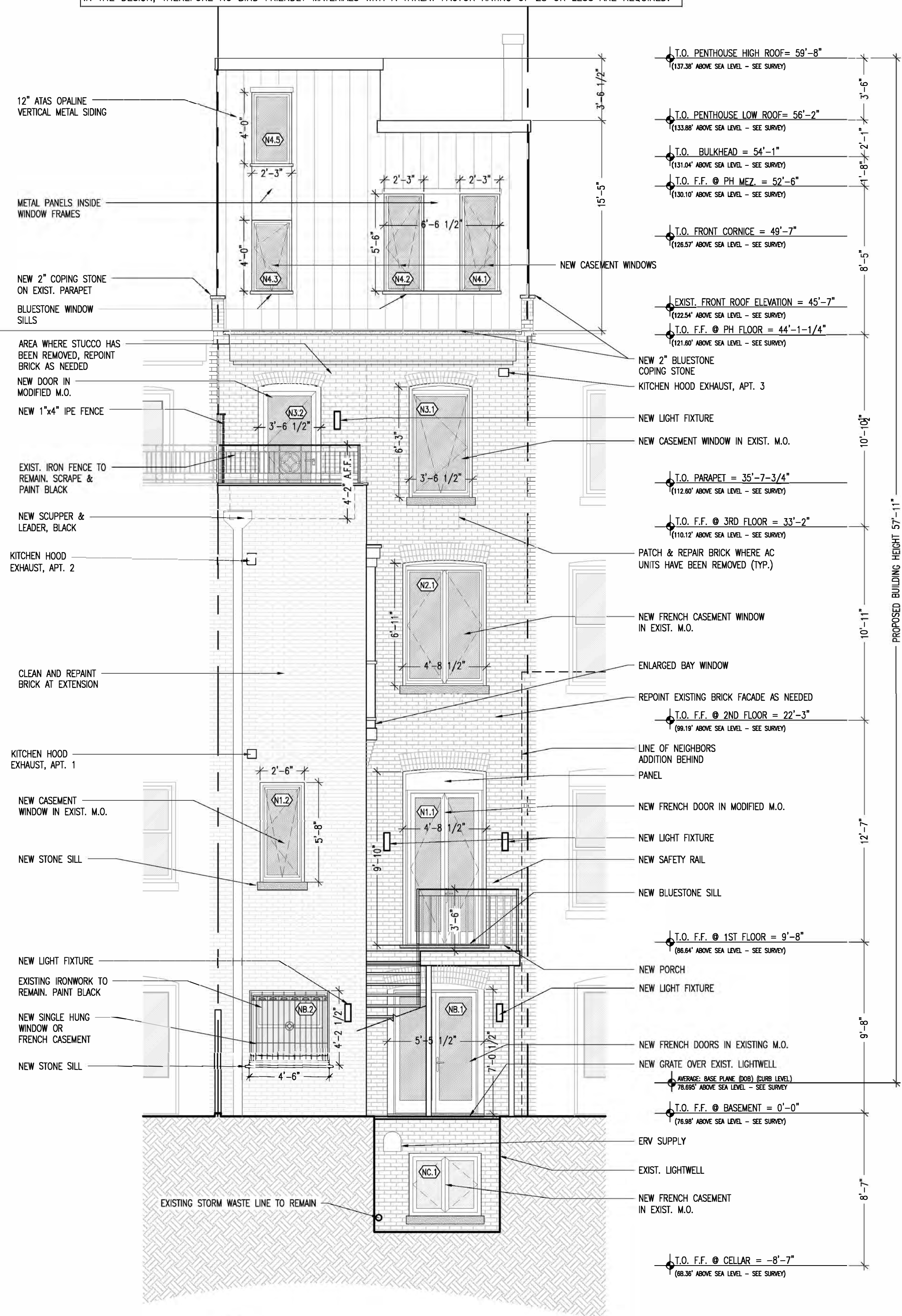
BRICK POINTING
MORTAR MUST BE RAKED OUT AND RE-POINTED WITH AN APPROVED MORTAR MIX & COLOR. NO MECHANICAL TOOLS TO BE USED IN THE RAKING OF THE JOINTS.

MORTAR MIX FOR BRICK RE-POINTING TO CONSIST OF:
(1) PART PORTLAND CEMENT
(2) PARTS LIME
(8-9) PARTS SAND

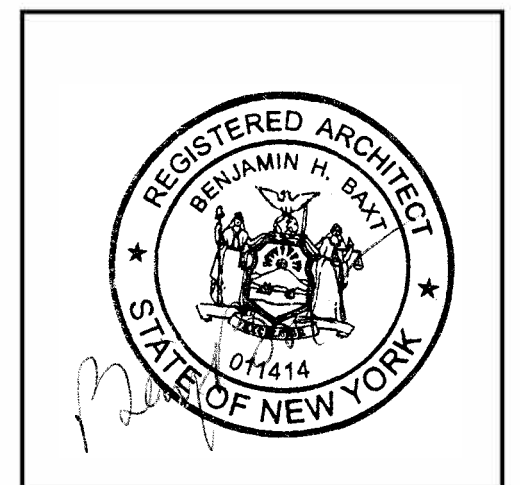
ALL EXTERIOR MATERIALS AND GLAZING HAVE BEEN EVALUATED FOR COMPLIANCE WITH BC 1403.8. THERE ARE NO EXTERIOR WALL ENVELOPE, BIRD HAZARD INSTALLATIONS, FLY-THROUGH CONDITIONS, OR ADJACENCIES TO GREEN ROOFS CONDITIONS IN THE DESIGN, THEREFORE NO BIRD FRIENDLY MATERIALS WITH A THREAT FACTOR RATING OF 25 OR LESS ARE REQUIRED.



1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



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A-201.00
REAR ELEVATIONS
8 OF 14



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LEGEND

	EXISTING WALL FRAMING TO REMAIN
	PROPOSED NEW PARTITION



- T.O. FRONT CORNICE = 49'-7"
(126.57' ABOVE SEA LEVEL - SEE SURVEY)
- EXISTING FRONT ROOF ELEVATION = 45'-7"
(122.54' ABOVE SEA LEVEL - SEE SURVEY)
- EXISTING REAR ROOF ELEVATION = 44'-3"
(121.21' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. PARAPET = 35'-7-3/4"
(112.60' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ 3RD FLOOR = 33'-2"
(110.12' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ 2ND FLOOR = 22'-3"
(69.19' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ 1ST FLOOR = 9'-8"
(30.64' ABOVE SEA LEVEL - SEE SURVEY)
- AVERAGE BASE PLANE (DOB) (CURB LEVEL)
(78.920' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ BASEMENT = 0'-0"
(0.00' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ CELLAR = -8'-7"
(68.36' ABOVE SEA LEVEL - SEE SURVEY)

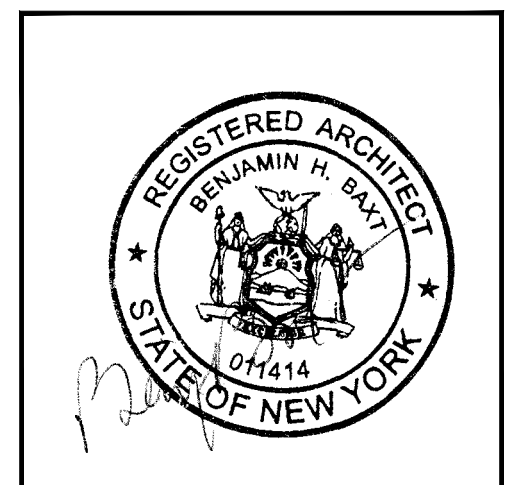
PROPERTY LINE @ AVG. REAR YARD

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A-300.00
EXISTING SECTION
9 OF 14



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LEGEND

	EXISTING WALL FRAMING TO REMAIN
	PROPOSED NEW PARTITION

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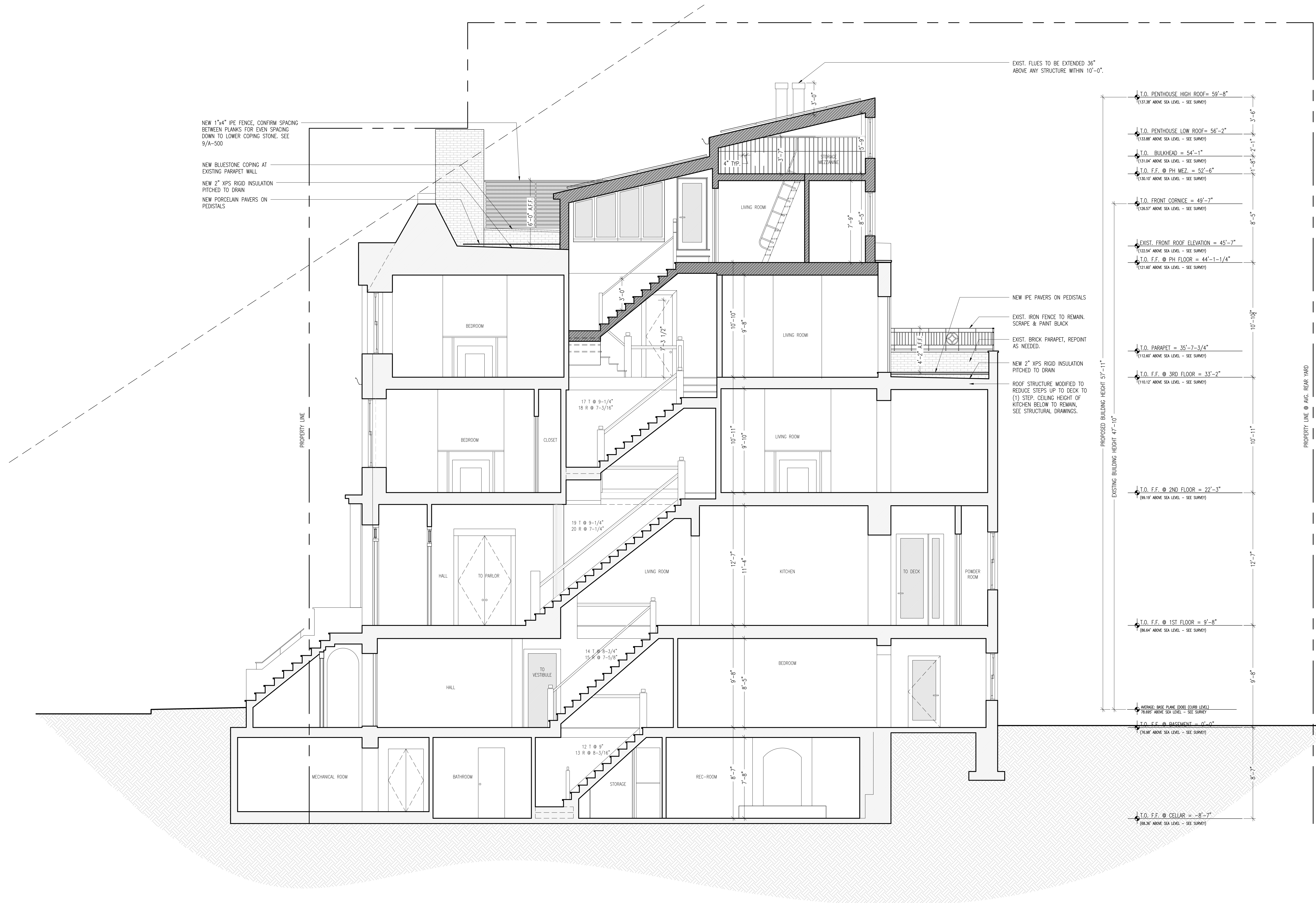
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PROPOSED SECTION

10 OF 14



NEW 1"x4" IPE FENCE, CONFIRM SPACING BETWEEN PLANKS FOR EVEN SPACING DOWN TO LOWER COPING STONE. SEE 9/A-500

NEW BLUESTONE COPING AT EXISTING PARAPET WALL

NEW 2" XPS RIGID INSULATION PITCHED TO DRAIN

NEW PORCELAIN PAVERS ON PEDISTALS

EXIST. FLUES TO BE EXTENDED 36" ABOVE ANY STRUCTURE WITHIN 10'-0".

NEW IPE PAVERS ON PEDISTALS

EXIST. IRON FENCE TO REMAIN. SCRAPE & PAINT BLACK

EXIST. BRICK PARAPET, REPOINT AS NEEDED.

NEW 2" XPS RIGID INSULATION PITCHED TO DRAIN

ROOF STRUCTURE MODIFIED TO REDUCE STEPS UP TO DECK TO (1) STEP. CEILING HEIGHT OF KITCHEN BELOW TO REMAIN. SEE STRUCTURAL DRAWINGS.

- T.O. PENTHOUSE HIGH ROOF = 59'-8" (137.38' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. PENTHOUSE LOW ROOF = 56'-2" (133.88' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. BULKHEAD = 54'-1" (131.04' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ PH MEZ. = 52'-6" (130.10' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. FRONT CORNICE = 49'-7" (128.57' ABOVE SEA LEVEL - SEE SURVEY)
- EXIST. FRONT ROOF ELEVATION = 45'-7" (122.54' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ PH FLOOR = 44'-1-1/4" (121.60' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. PARAPET = 35'-7-3/4" (112.60' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ 3RD FLOOR = 33'-2" (110.12' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ 2ND FLOOR = 22'-3" (69.19' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ 1ST FLOOR = 9'-8" (86.64' ABOVE SEA LEVEL - SEE SURVEY)
- AVERAGE BASE PLANE (DOB) (CURB LEVEL) 76.69' ABOVE SEA LEVEL - SEE SURVEY
- T.O. F.F. @ BASEMENT = 0'-0" (76.98' ABOVE SEA LEVEL - SEE SURVEY)
- T.O. F.F. @ CELLAR = -8'-7" (68.30' ABOVE SEA LEVEL - SEE SURVEY)



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LEGEND

	EXISTING WALL FRAMING TO REMAIN
	PROPOSED NEW PARTITION

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22 JUNE 2023

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A-302.00

EXISTING SECTION

11 OF 14

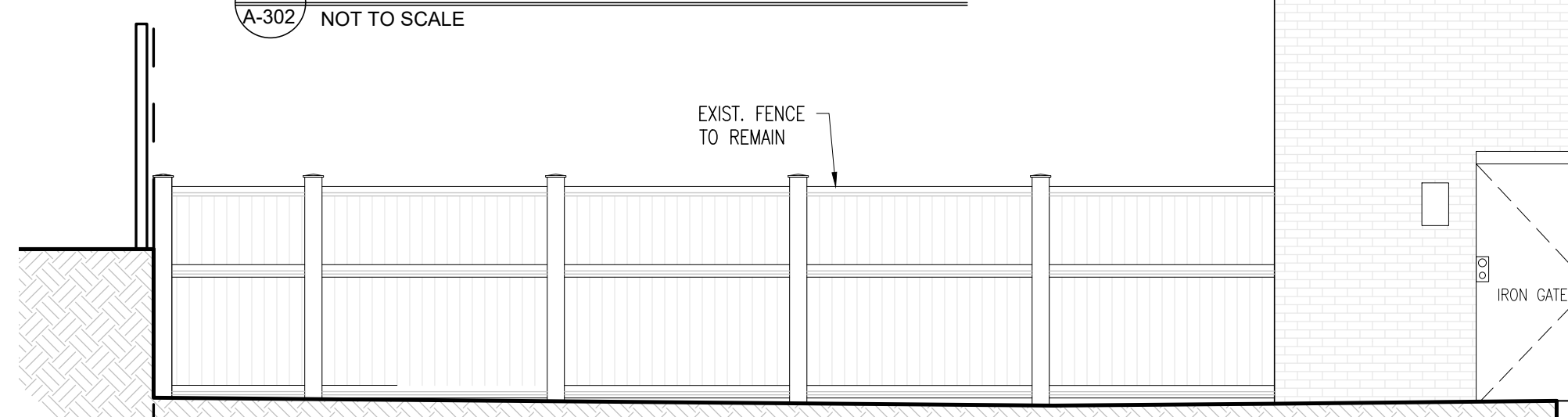


A EXISTING BAY WINDOW TO BE MODIFIED
A-302 NOT TO SCALE



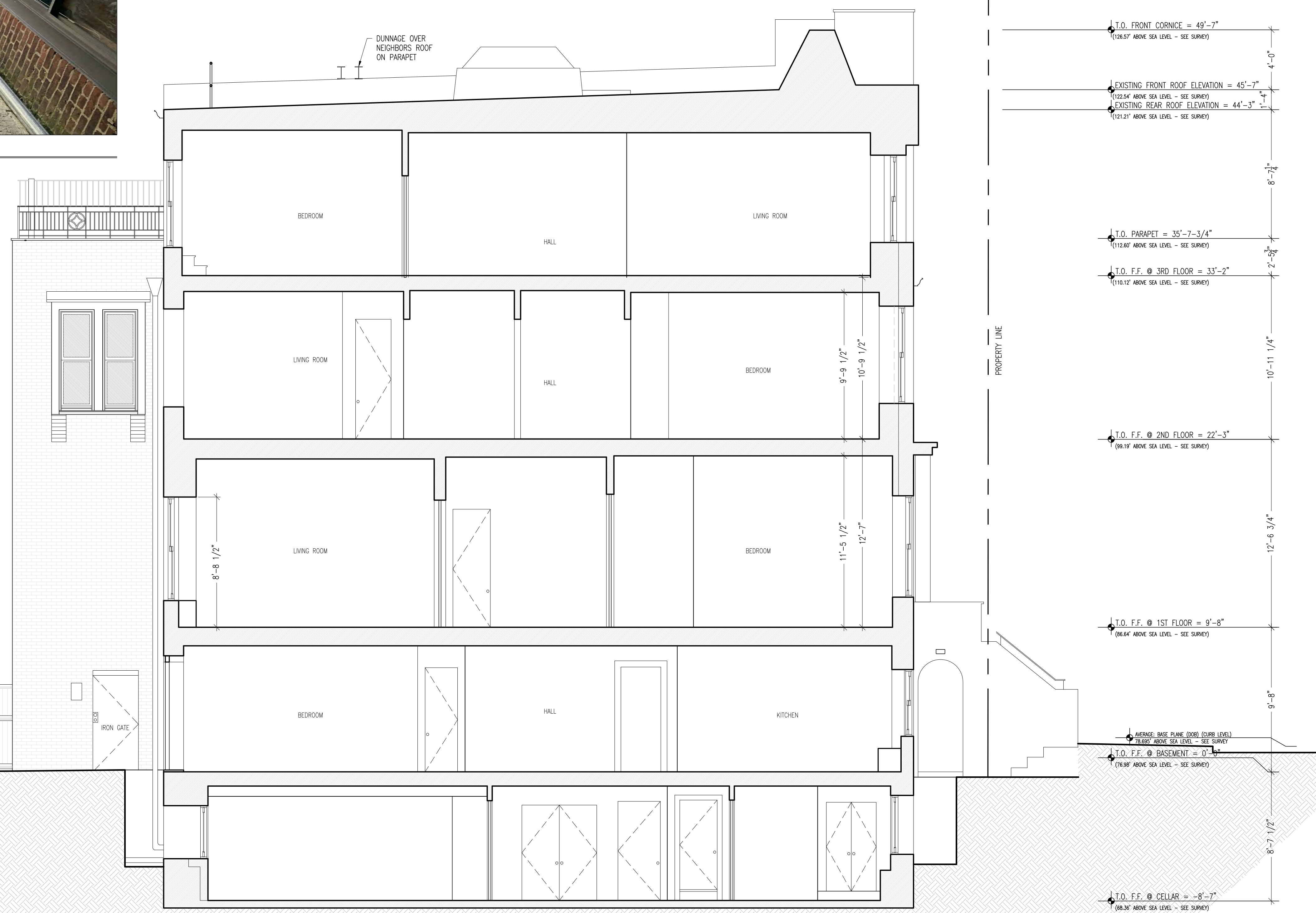
B EXISTING BAY WINDOW TO BE MODIFIED
A-302 NOT TO SCALE

PROPERTY LINE @ AVG. REAR YARD



EXIST. FENCE TO REMAIN

IRON GATE



1 EXISTING SECTION 2
A-302 SCALE: 1/4" = 1'-0"



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LEGEND

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	PROPOSED NEW PARTITION

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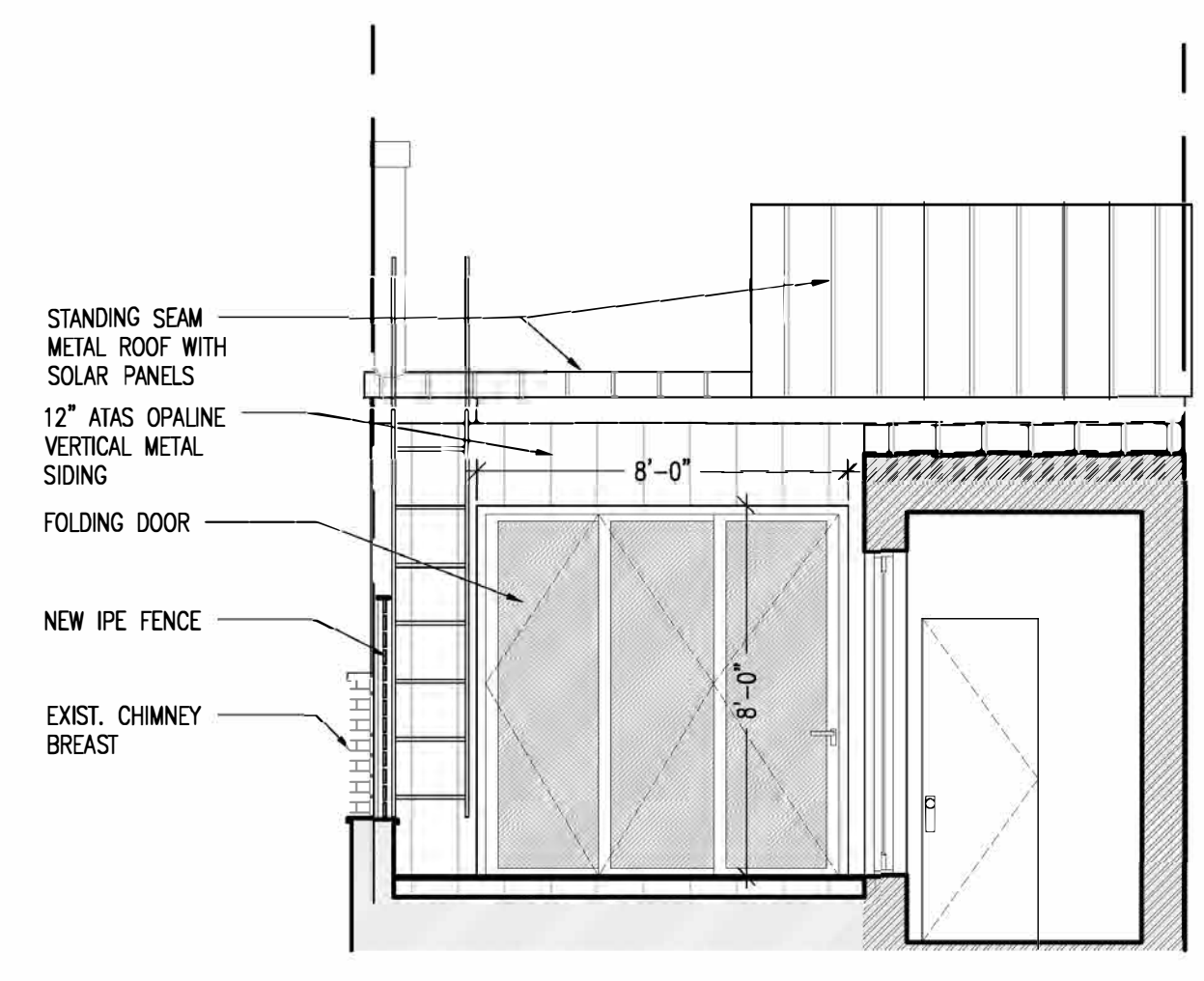
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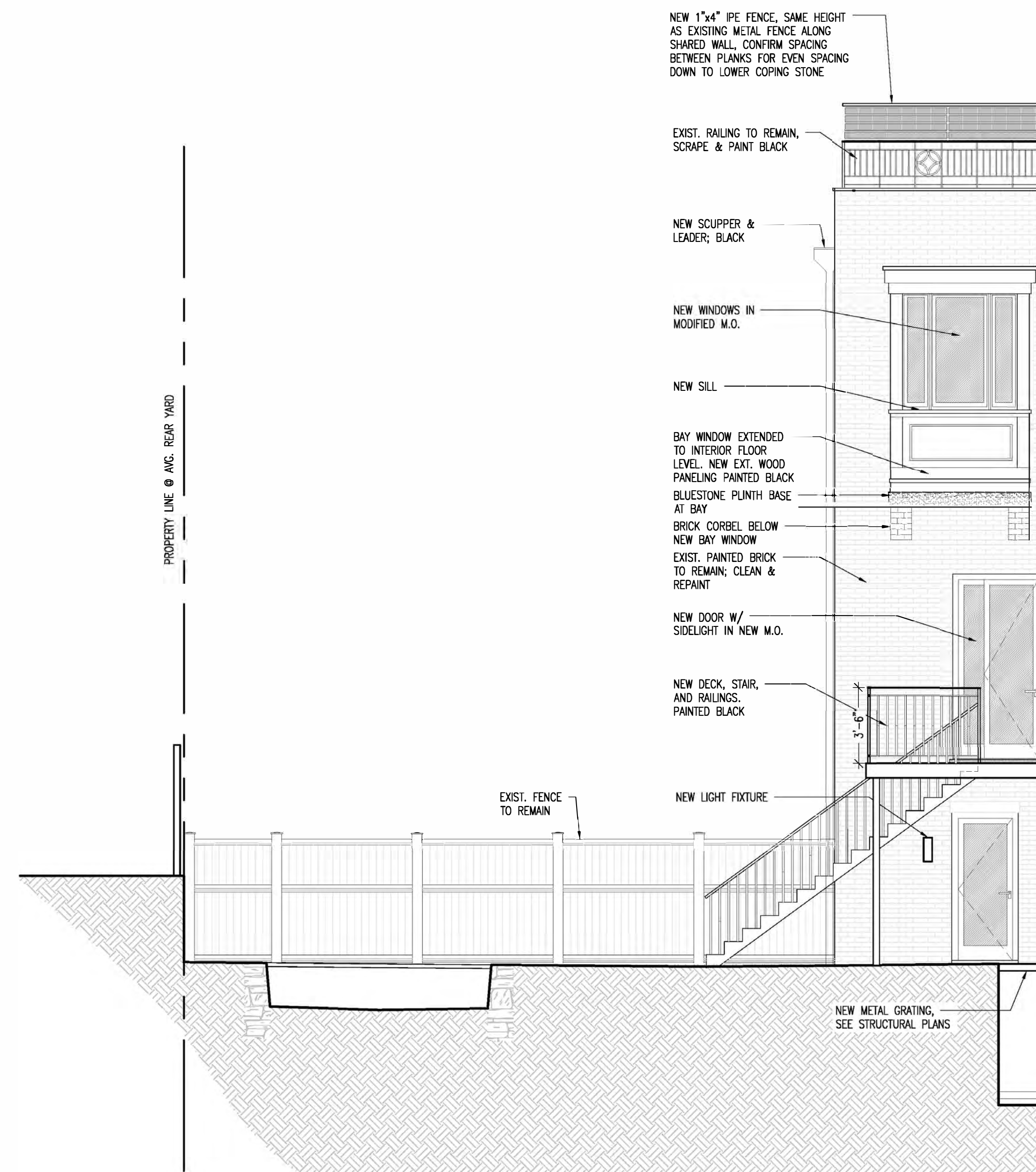
A-303.00

PROPOSED SECTION

ALL EXTERIOR MATERIALS AND GLAZING HAVE BEEN EVALUATED FOR COMPLIANCE WITH BC 1403.8. THERE ARE NO EXTERIOR WALL ENVELOPE, BIRD HAZARD INSTALLATIONS, FLY-THROUGH CONDITIONS, OR ADJACENCIES TO GREEN ROOFS CONDITIONS IN THE DESIGN, THEREFORE NO BIRD FRIENDLY MATERIALS WITH A THREAT FACTOR RATING OF 25 OR LESS ARE REQUIRED.



2 PENTHOUSE ELEVATION/SECTION
A-303 SCALE: 1/4" = 1'-0"



NEW 1"x4" IPE FENCE, SAME HEIGHT AS EXISTING METAL FENCE ALONG SHARED WALL, CONFIRM SPACING BETWEEN PLANKS FOR EVEN SPACING DOWN TO LOWER COPING STONE

EXIST. RAILING TO REMAIN, SCRAPE & PAINT BLACK

NEW SCUPPER & LEADER; BLACK

NEW WINDOWS IN MODIFIED M.O.

NEW SILL

BAY WINDOW EXTENDED TO INTERIOR FLOOR LEVEL, NEW EXT. WOOD PANELING PAINTED BLACK

BLUESTONE PLINTH BASE AT BAY

BRICK CORBEL BELOW NEW BAY WINDOW

EXIST. PAINTED BRICK TO REMAIN; CLEAN & REPAINT

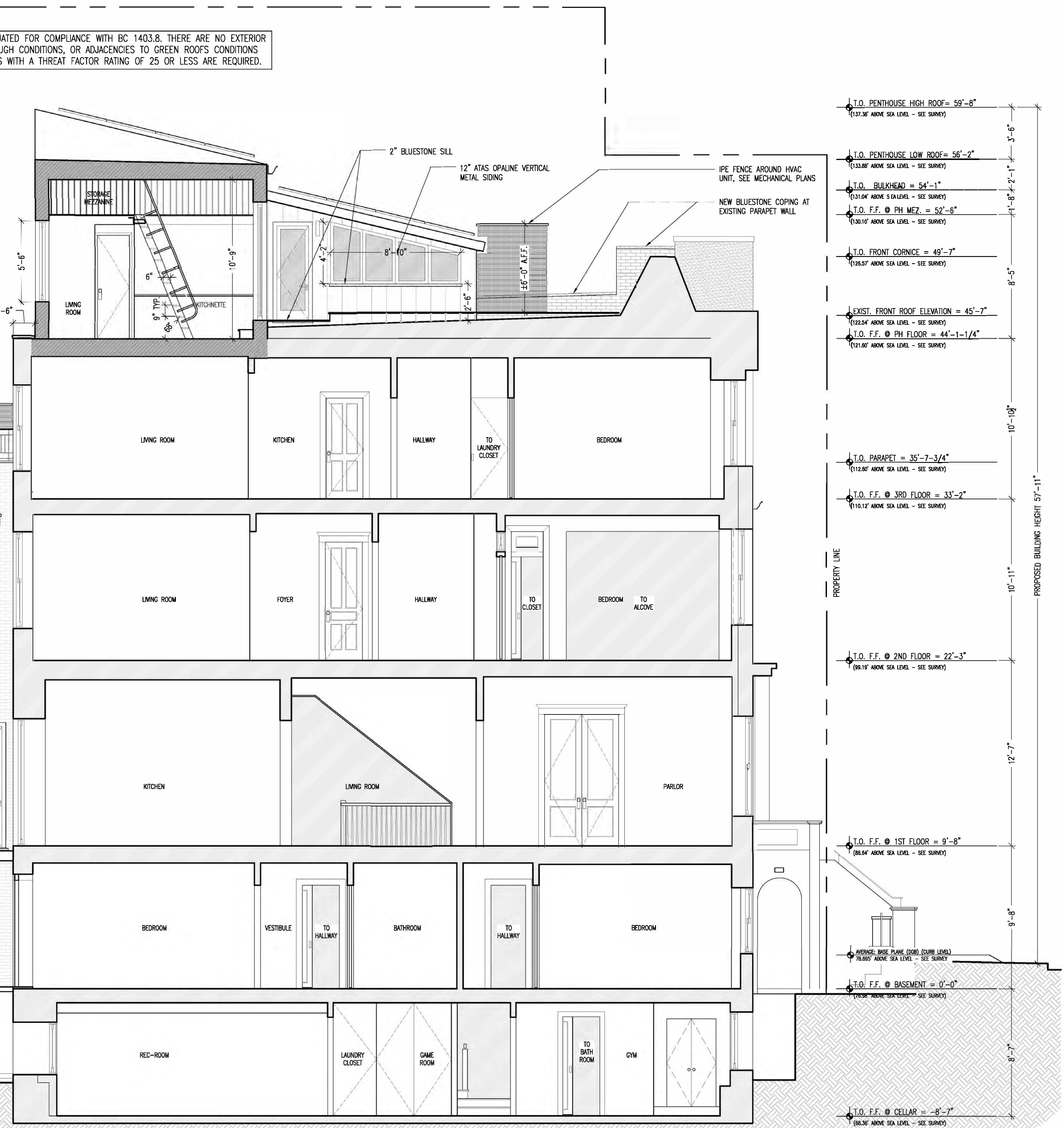
NEW DOOR W/ SIDELIGHT IN NEW M.O.

NEW DECK, STAIR, AND RAILINGS, PAINTED BLACK

NEW LIGHT FIXTURE

EXIST. FENCE TO REMAIN

NEW METAL GRATING, SEE STRUCTURAL PLANS



T.O. PENTHOUSE HIGH ROOF = 59'-8"
(137.88' ABOVE SEA LEVEL - SEE SURVEY)

T.O. PENTHOUSE LOW ROOF = 56'-2"
(133.88' ABOVE SEA LEVEL - SEE SURVEY)

T.O. BULKHEAD = 54'-1"
(131.64' ABOVE SEA LEVEL - SEE SURVEY)

T.O. F.F. @ PH MEZ. = 52'-6"
(130.10' ABOVE SEA LEVEL - SEE SURVEY)

T.O. FRONT CORNICE = 49'-7"
(128.57' ABOVE SEA LEVEL - SEE SURVEY)

EXIST. FRONT ROOF ELEVATION = 45'-7"
(122.54' ABOVE SEA LEVEL - SEE SURVEY)

T.O. F.F. @ PH FLOOR = 44'-1 1/4"
(121.60' ABOVE SEA LEVEL - SEE SURVEY)

T.O. PARAPET = 35'-7 3/4"
(112.60' ABOVE SEA LEVEL - SEE SURVEY)

T.O. F.F. @ 3RD FLOOR = 33'-2"
(110.12' ABOVE SEA LEVEL - SEE SURVEY)

T.O. F.F. @ 2ND FLOOR = 22'-3"
(88.18' ABOVE SEA LEVEL - SEE SURVEY)

T.O. F.F. @ 1ST FLOOR = 9'-8"
(88.64' ABOVE SEA LEVEL - SEE SURVEY)

AVERAGE BASE PLANE (DOB COURSE LEVEL)
FINISH ABOVE SEA LEVEL - SEE SURVEY

T.O. F.F. @ BASEMENT = 0'-0"
(168.80' ABOVE SEA LEVEL - SEE SURVEY)

T.O. F.F. @ CELLAR = -8'-7"
(88.30' ABOVE SEA LEVEL - SEE SURVEY)

PROPOSED BUILDING HEIGHT 57'-11"

PROPERTY LINE

1 PROPOSED SECTION 2
A-303 SCALE: 1/4" = 1'-0"



115-119 & 121-125 West 87th STREET



26 WEST 71st STREET



118-122 WEST 88th STREET



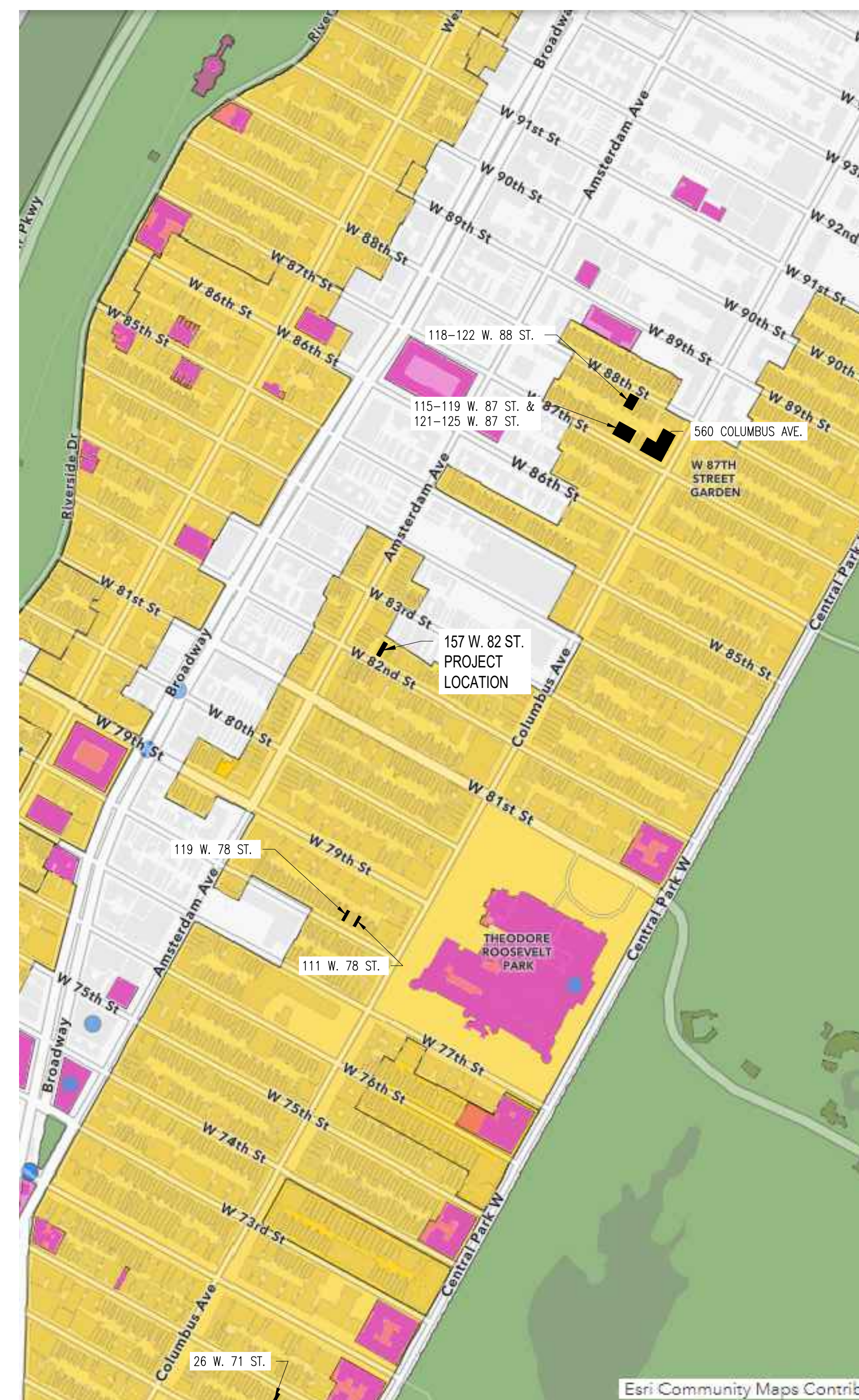
560 COLUMBUS AVE.



119 WEST 78th STREET



111 WEST 78th STREET

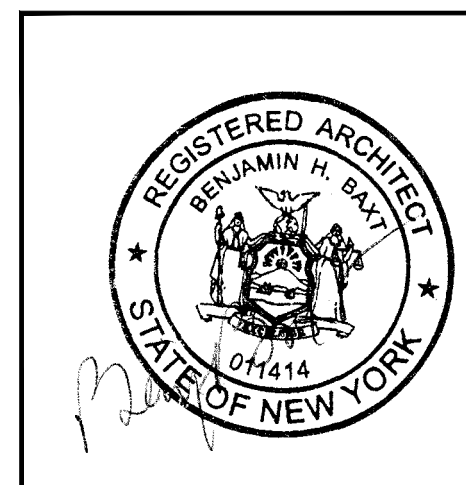


UPPER WEST SIDE/CENTRAL PARK WEST HISTORIC DISTRICT MAP

UPPER WEST SIDE/
CENTRAL PARK WEST
HISTORIC DISTRICT

Precedent study for proposed bay window
modification at 157 West 82nd Street.

The proposed rear facade bay window modification draws
inspiration from the existing bay window at the rear facade of
157 West 82nd Street as well as other bay window structures
in the neighborhood.



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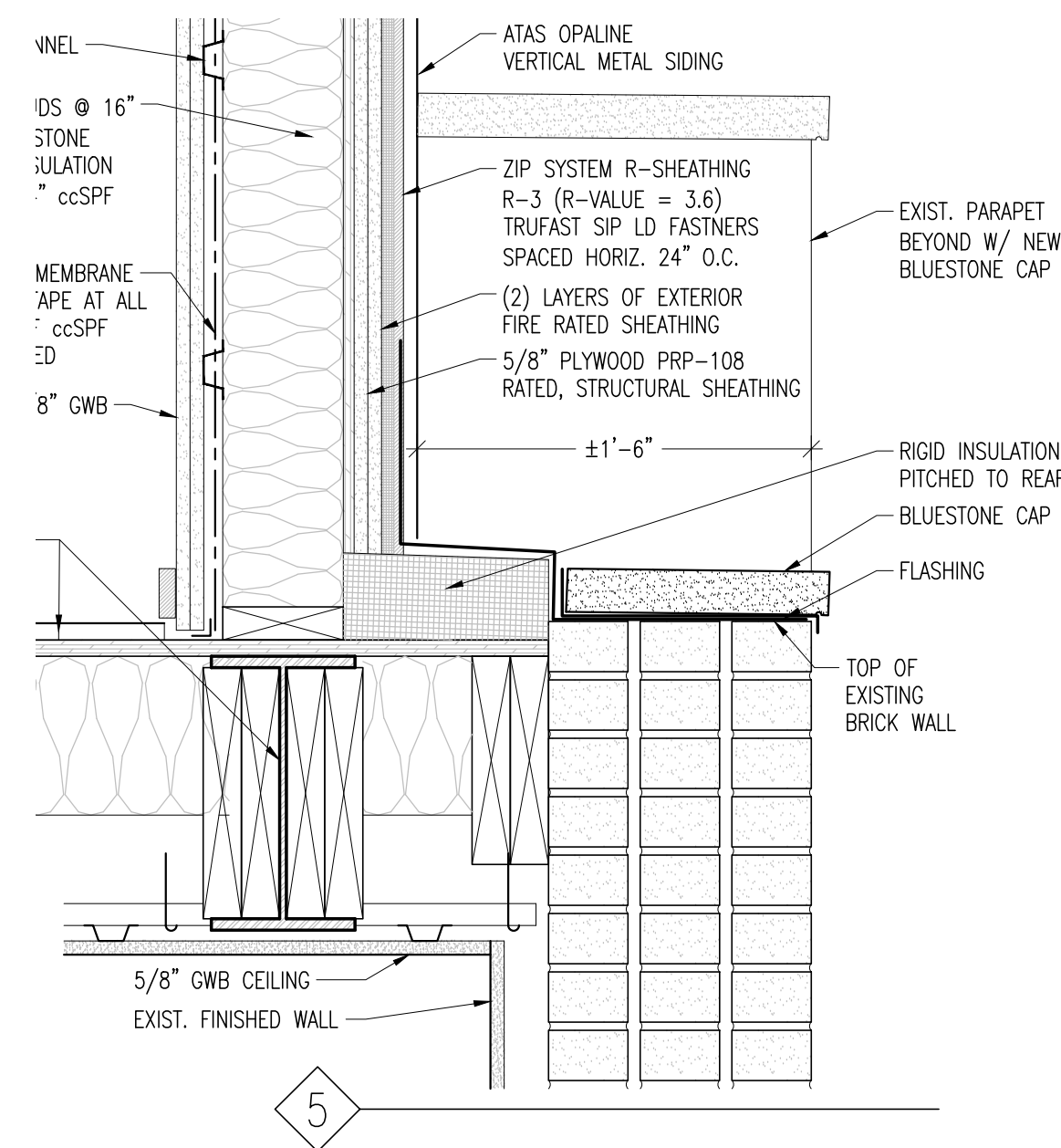
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PRECEDENT STUDY

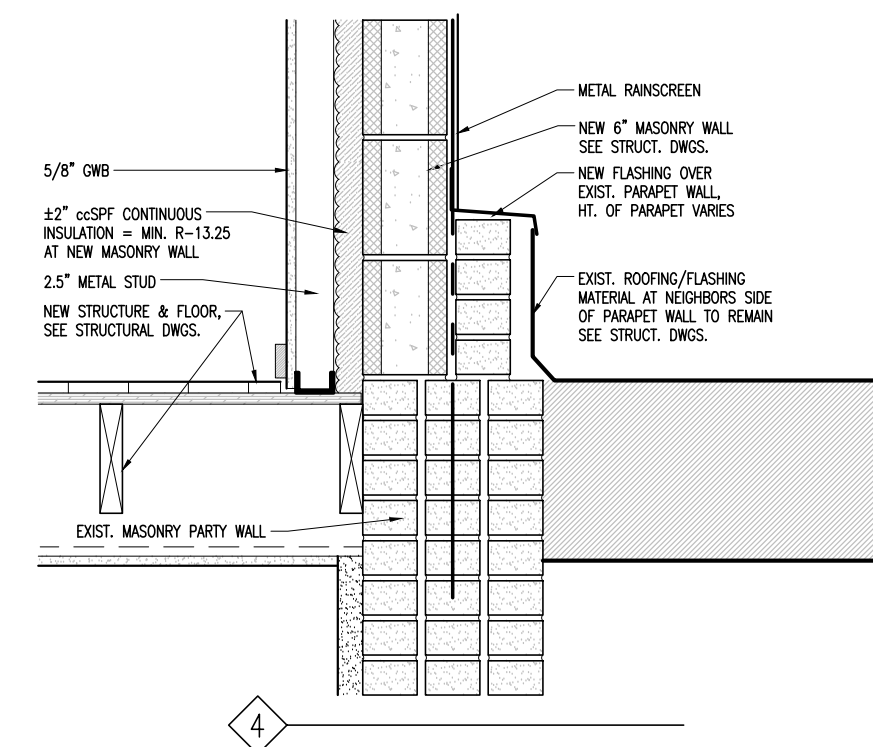


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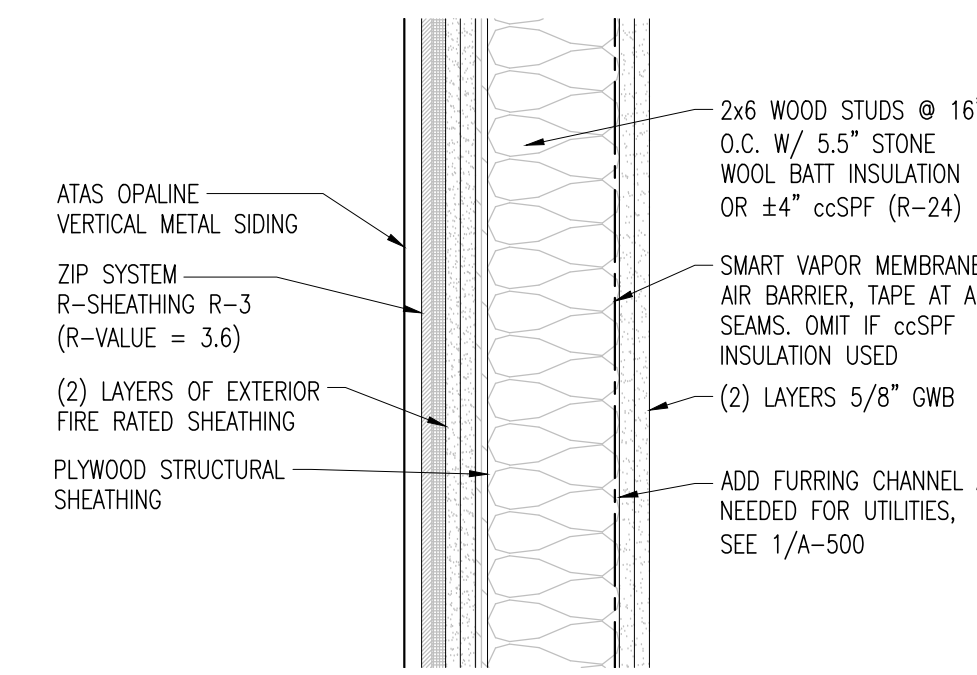
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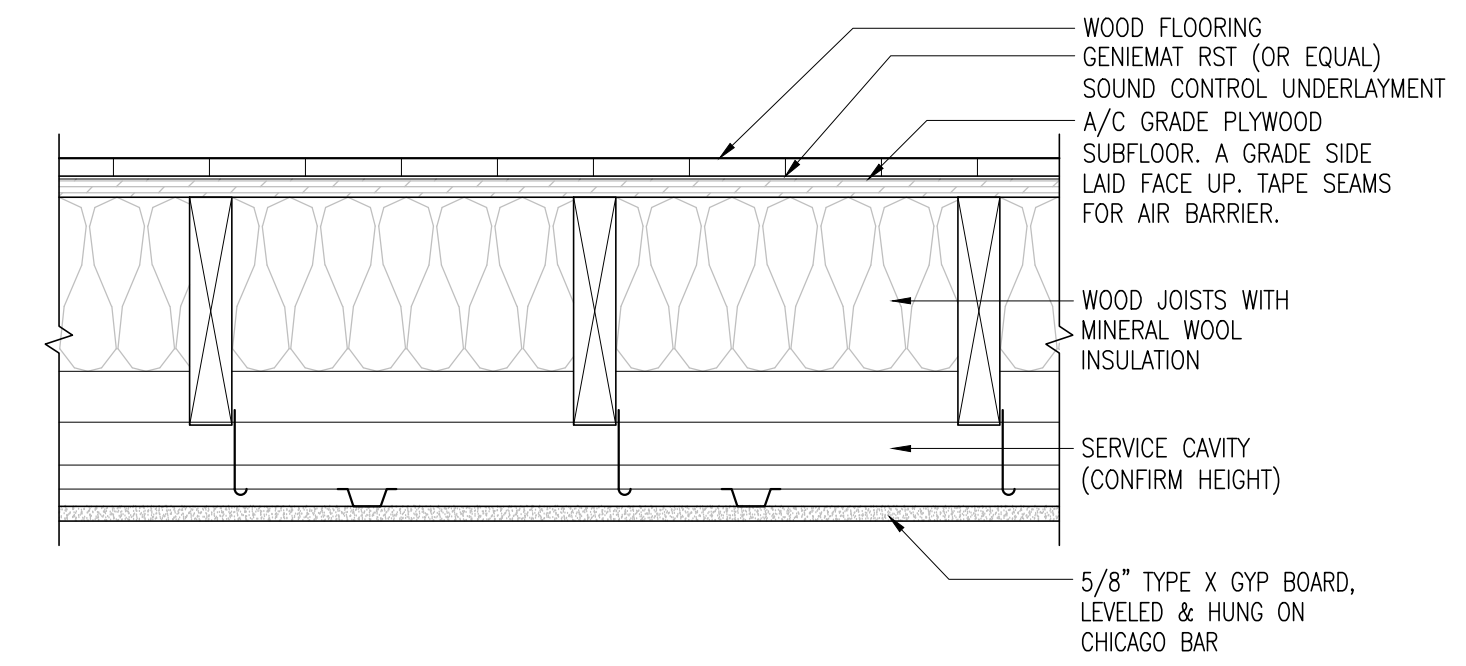
1 PROPOSED PENTHOUSE REAR WALL DETAIL
SCALE: 1-1/2" = 1'-0"
R-VALUE = 13.25



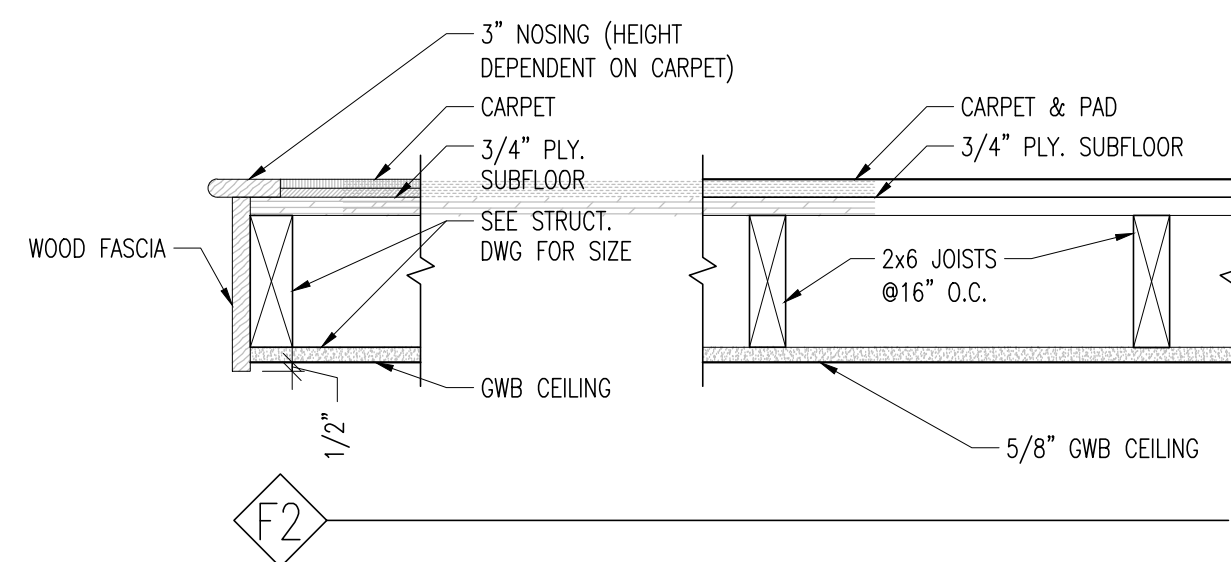
2 PROPOSED PARTY WALL DETAIL
SCALE: 1-1/2" = 1'-0"
R-VALUE = 13.25



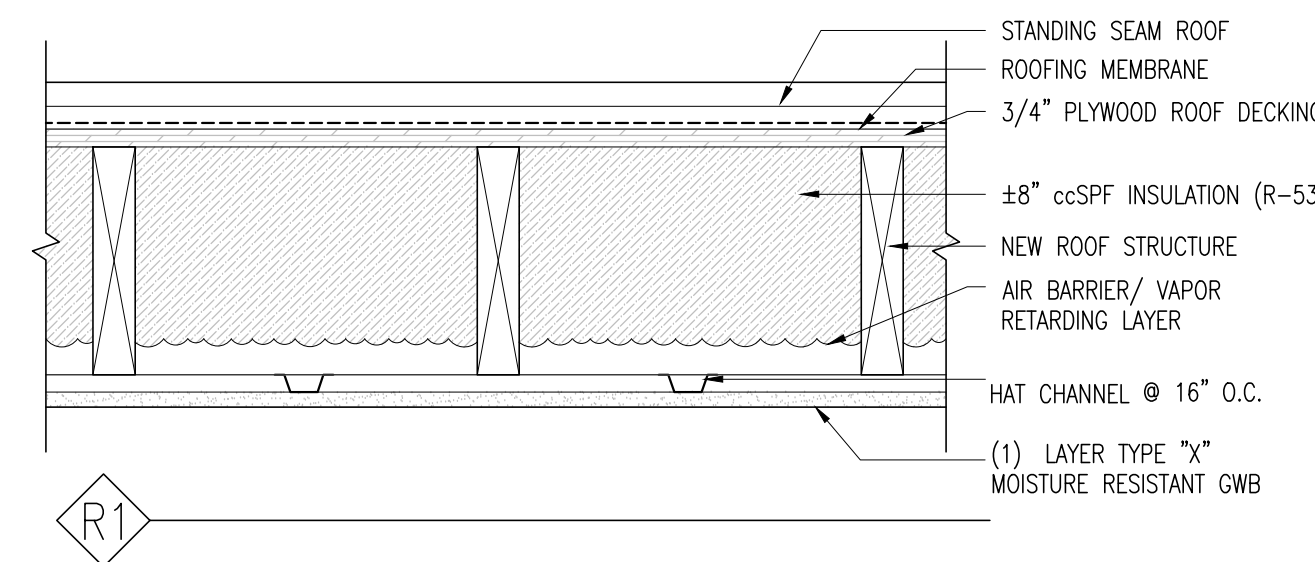
3 PROPOSED FRAMED WALL DETAIL
SCALE: 1-1/2" = 1'-0"
R-VALUE = 24 + 3.6 ci



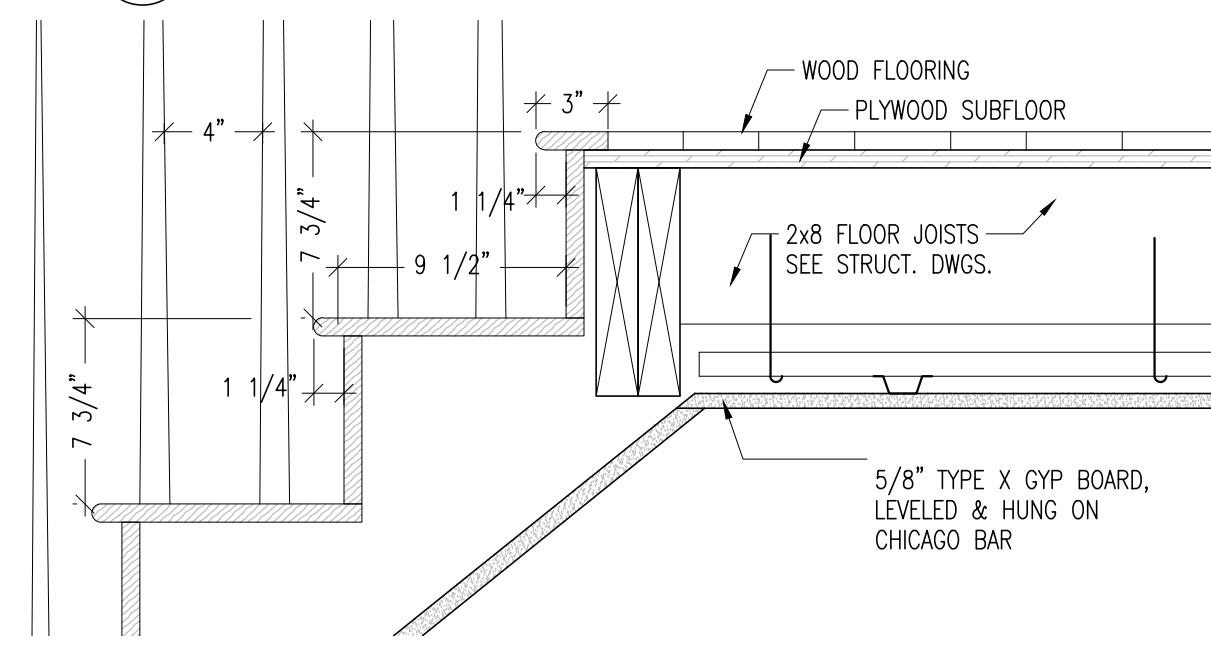
4 PROPOSED NEW FLOOR AT PENTHOUSE
SCALE: 1-1/2" = 1'-0"
R-VALUE = 30



5 PROPOSED NEW FLOOR AT MEZZANINE
SCALE: 1-1/2" = 1'-0"

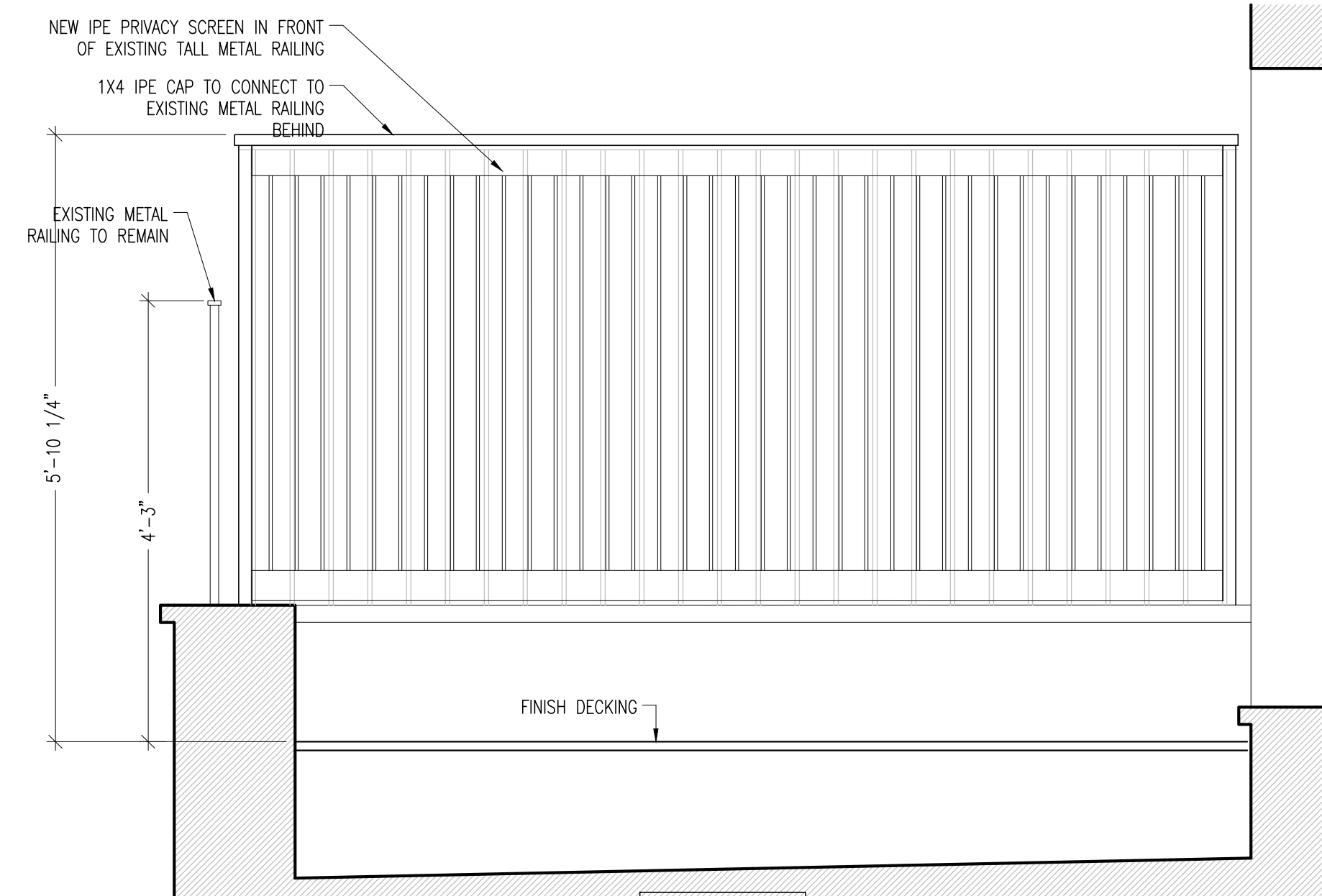


6 PROPOSED NEW ROOF AT BULKHEAD & PENTHOUSE
SCALE: 1-1/2" = 1'-0"
R-VALUE = 53

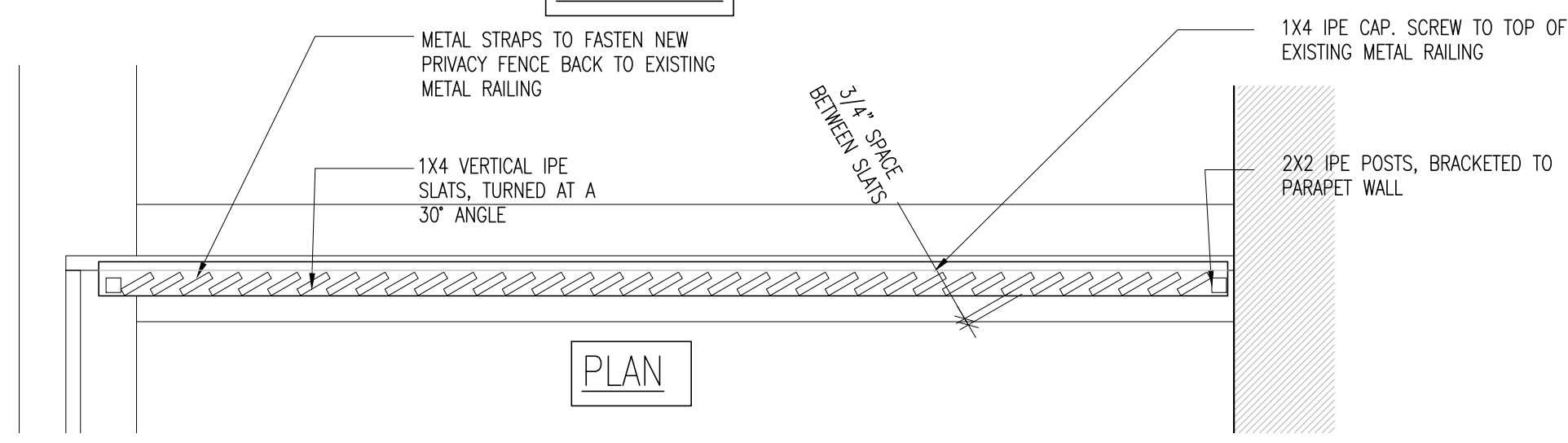


7 PROPOSED STAIR & LANDING DETAIL
SCALE: 1-1/2" = 1'-0"

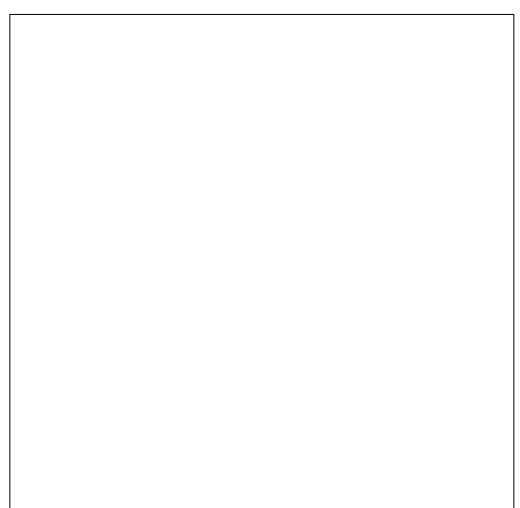
NYC 2022 BC 1011.5.2 RISER HEIGHT AND TREAD DEPTH; EXCEPTION 4, GROUP R-3 OCCUPANCIES
4.1. SUM OF TREADS AND (2) RISERS SHALL NOT BE LESS THAN 24" NOR MORE THAN 25.5"
7.75" + 7.75" + 9.5" = 25"



8 PROPOSED PRIVACY SCREEN AT 3RD FLOOR ROOF
SCALE: 1" = 1'-0"



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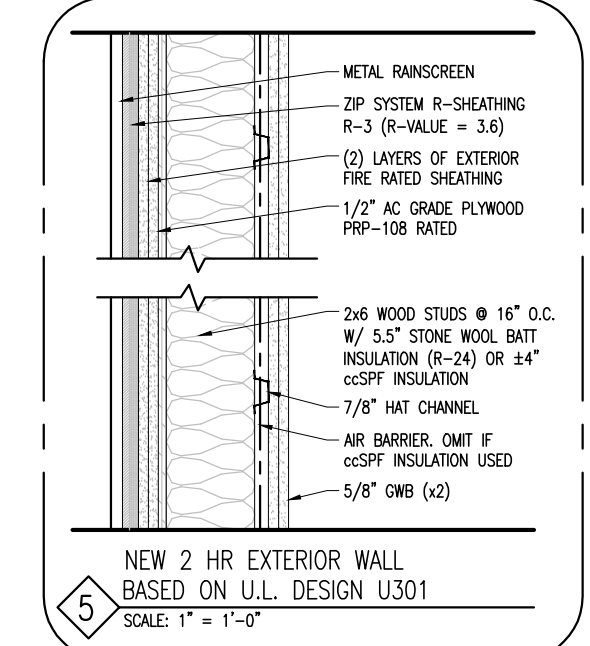
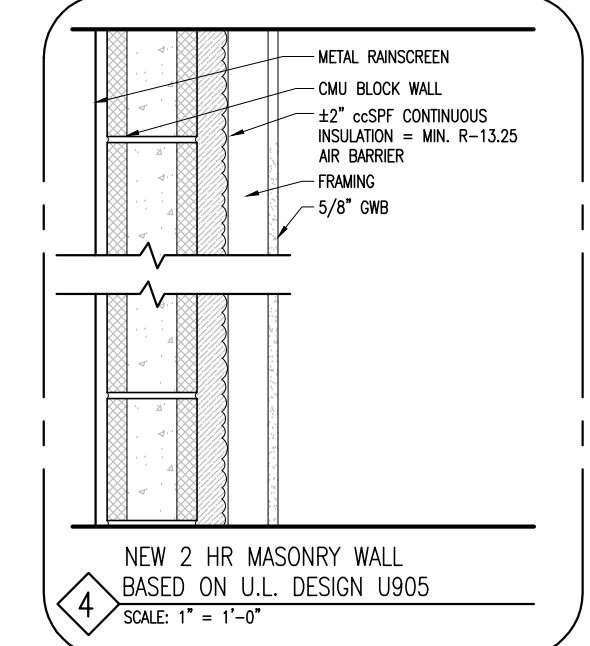
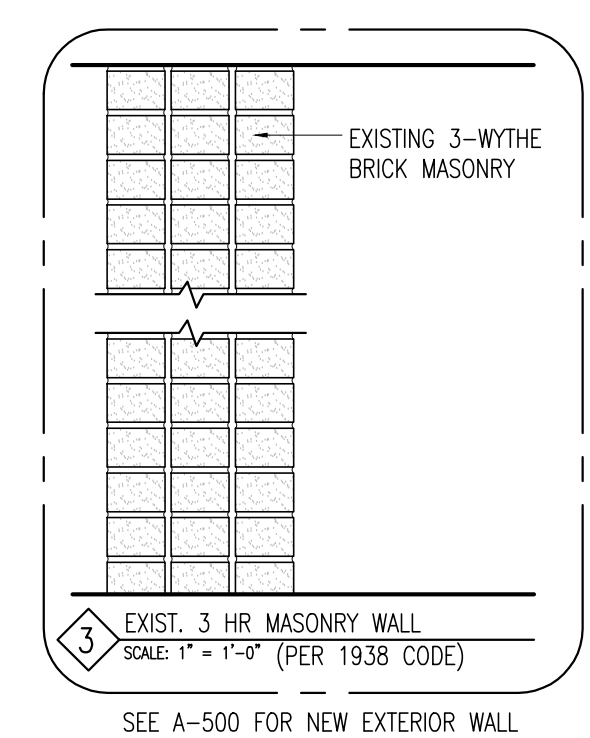
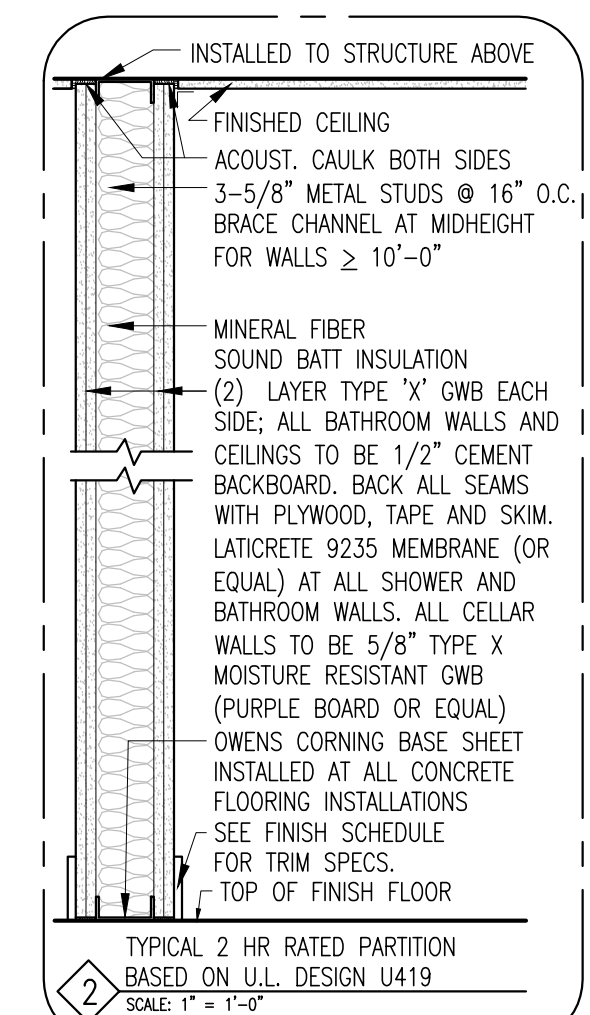
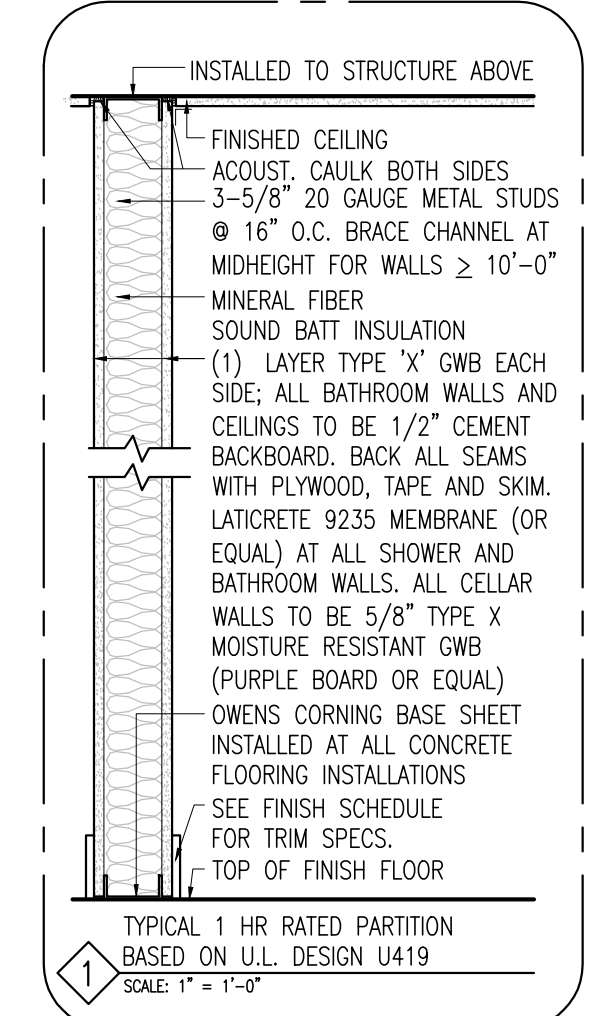
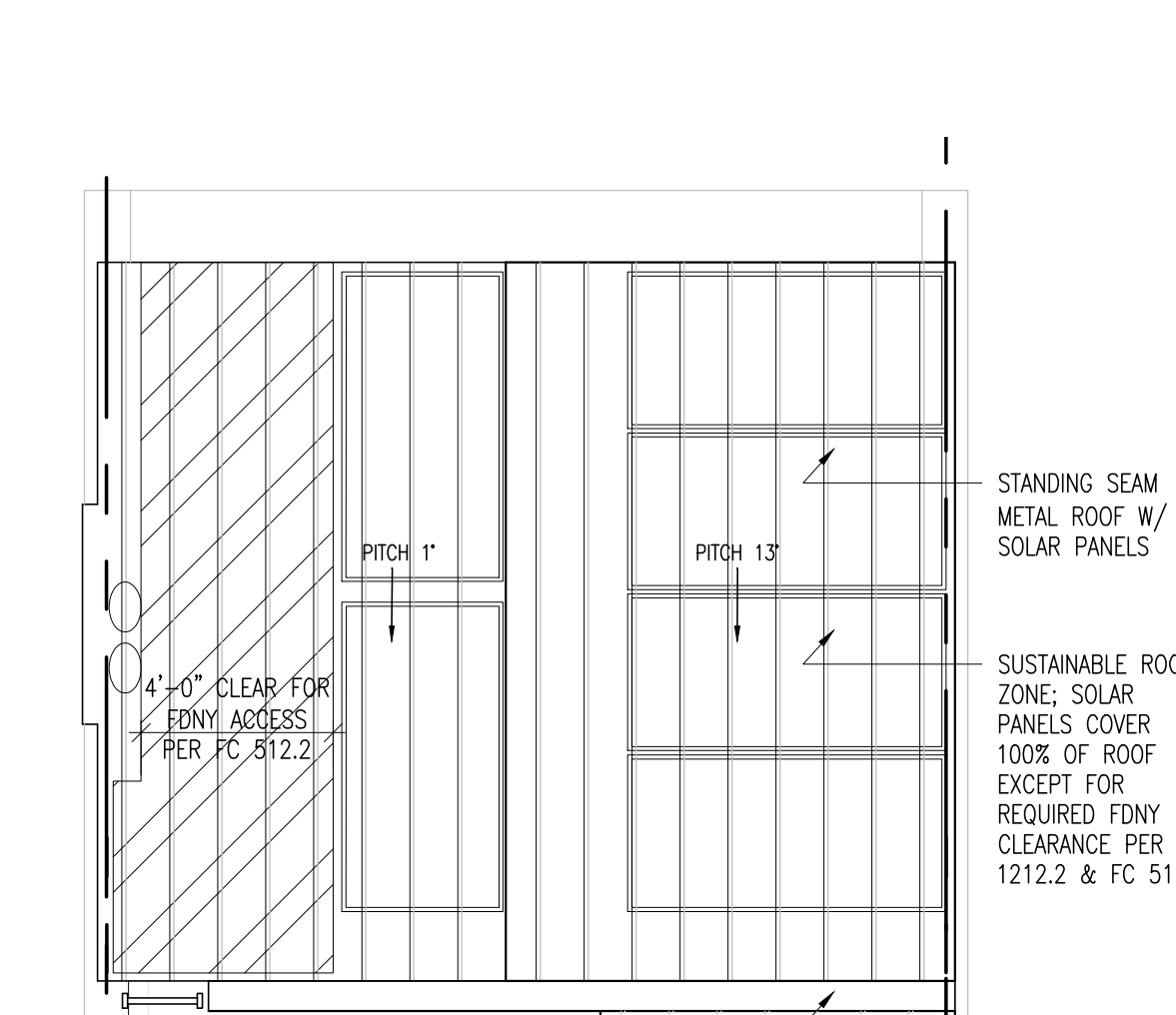
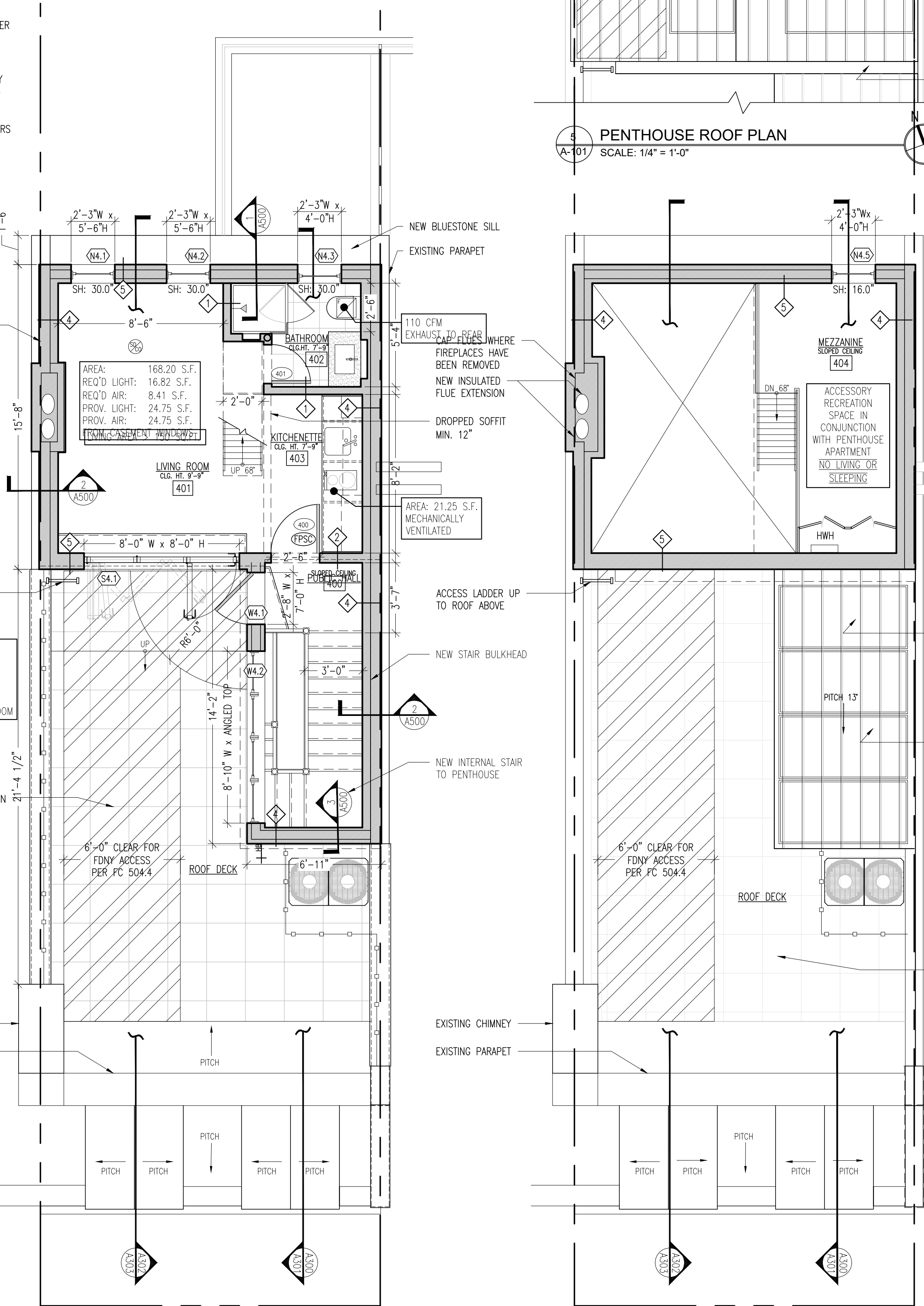
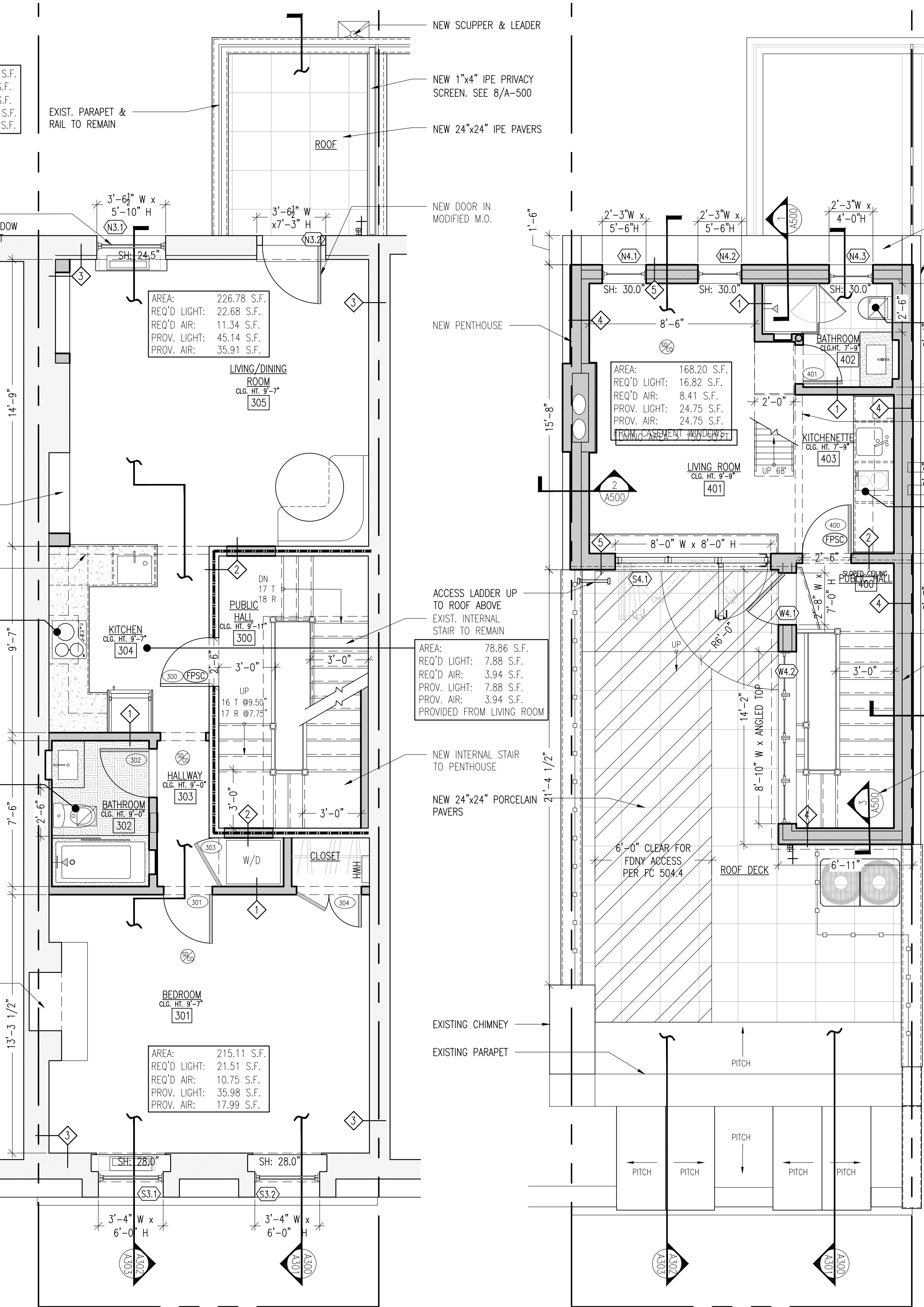
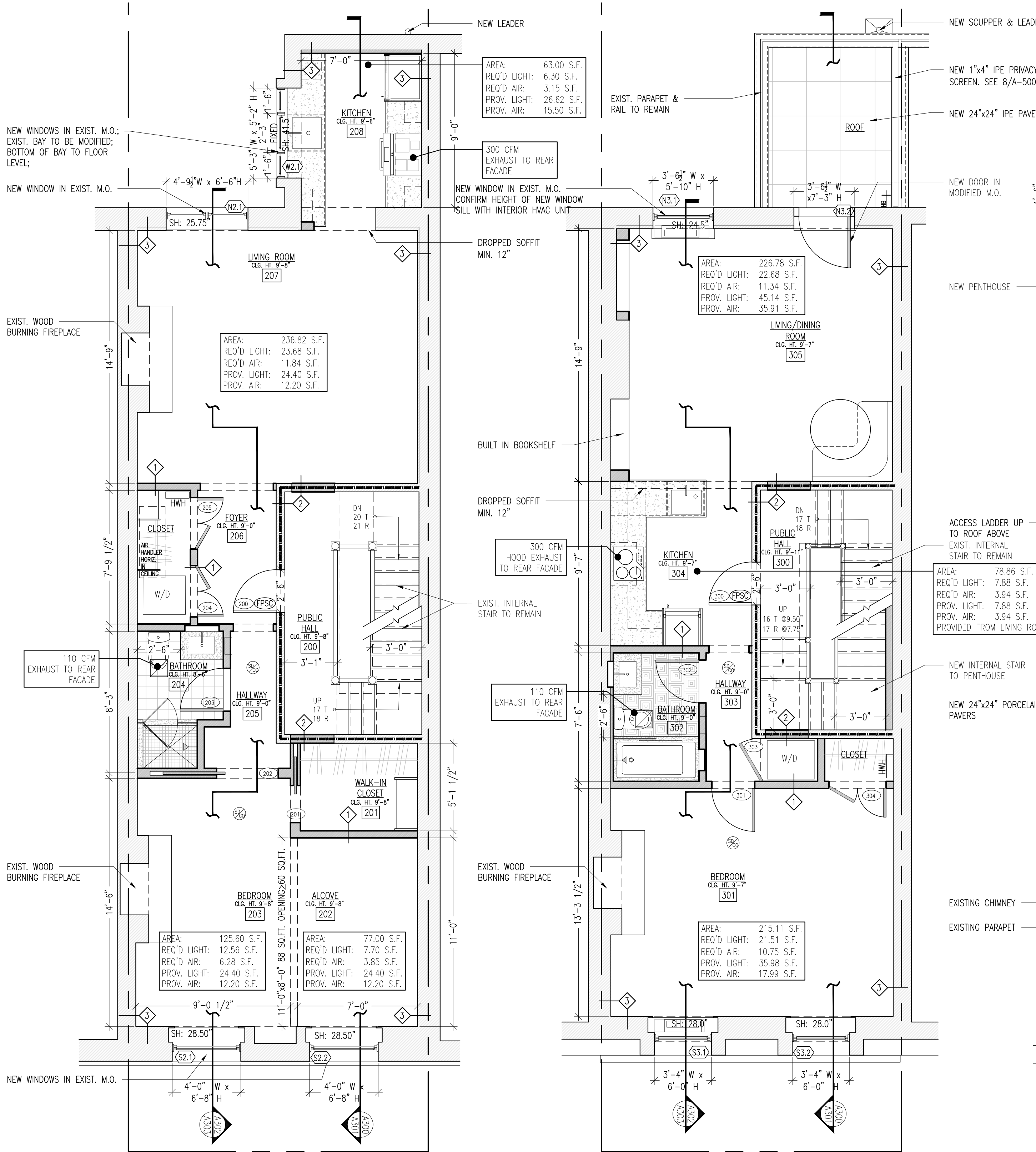
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BULKHEAD & PENTHOUSE
DETAILS

DOB NOTES:
 GYPSUM BOARD OR CEMENT BOARD, USED IN ASSEMBLY FOR THE FOLLOWING AREAS, SHALL HAVE A MOLD RESISTANCE RATING OF 10 IN ACCORDANCE WITH ASTM D3273:

1. INTERIOR FACES OF EXTERIOR WALLS OF CELLARS AND OTHER BELOW GRADE ROOMS
2. WALLS AND CEILINGS OF LAUNDRY ROOMS
3. PORTIONS OF WALLS WITHIN 2' OF KITCHEN SINKS TO A HEIGHT OF 4' ABOVE FLOOR
4. PORTIONS OF WALLS WITHIN 2' OF KITCHEN STOVES TO A HEIGHT OF 4' ABOVE FLOOR
5. WALLS OF BATHROOMS



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LEGEND

- EXISTING WALL FRAMING TO REMAIN
- 2-HOUR RATED PARTITION
- PROPOSED NEW PARTITION
- EXHAUST FAN, 75CFM UNLESS OTHERWISE NOTED
- CARBON MONOXIDE & SMOKE DETECTOR COMBO, HARDWIRED, INTERCONNECTED, AND U.L. LISTED, ADA APP'D AUDIBLE & VISUAL
- FIRE PROTECTED SELF CLOSING DOOR
- WALL TYPE ASSEMBLY; REFER TO DETAILS ON A-100/101

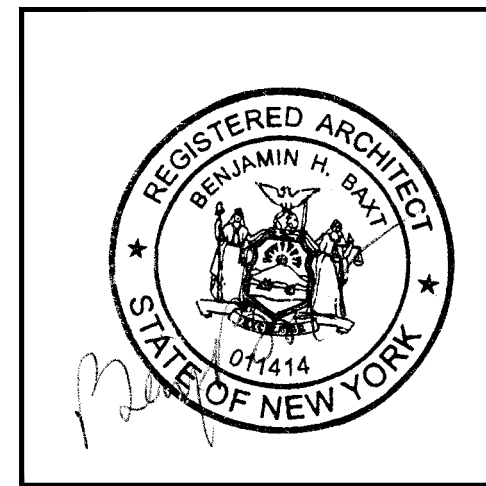
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 PROPOSED PLANS
 6 OF 14

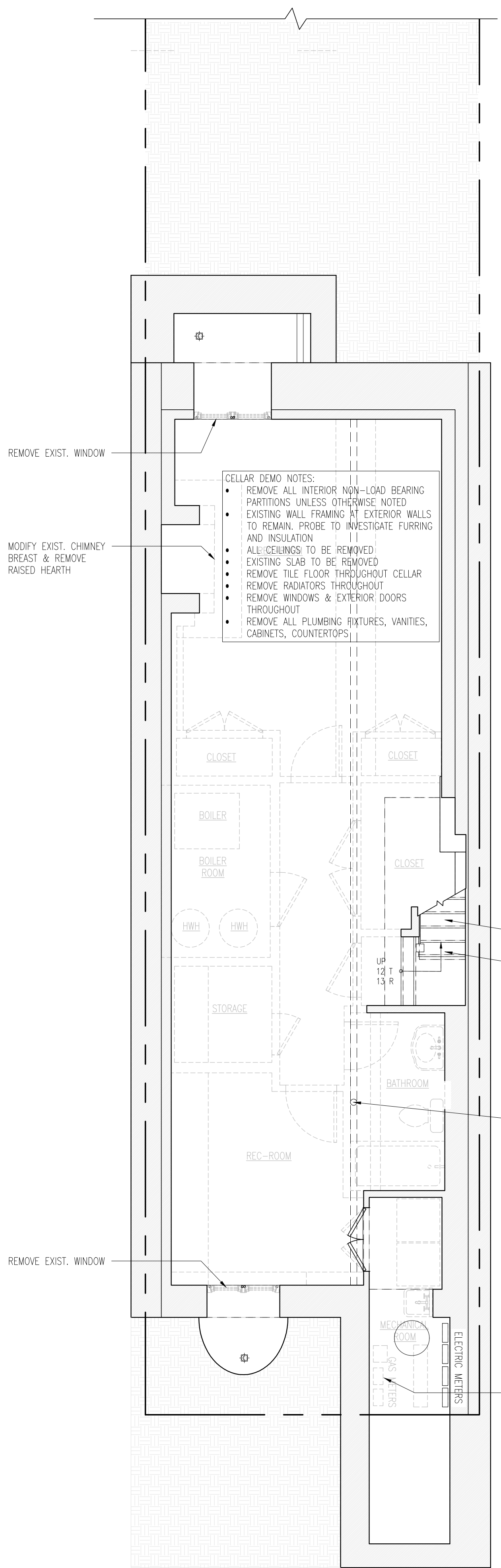


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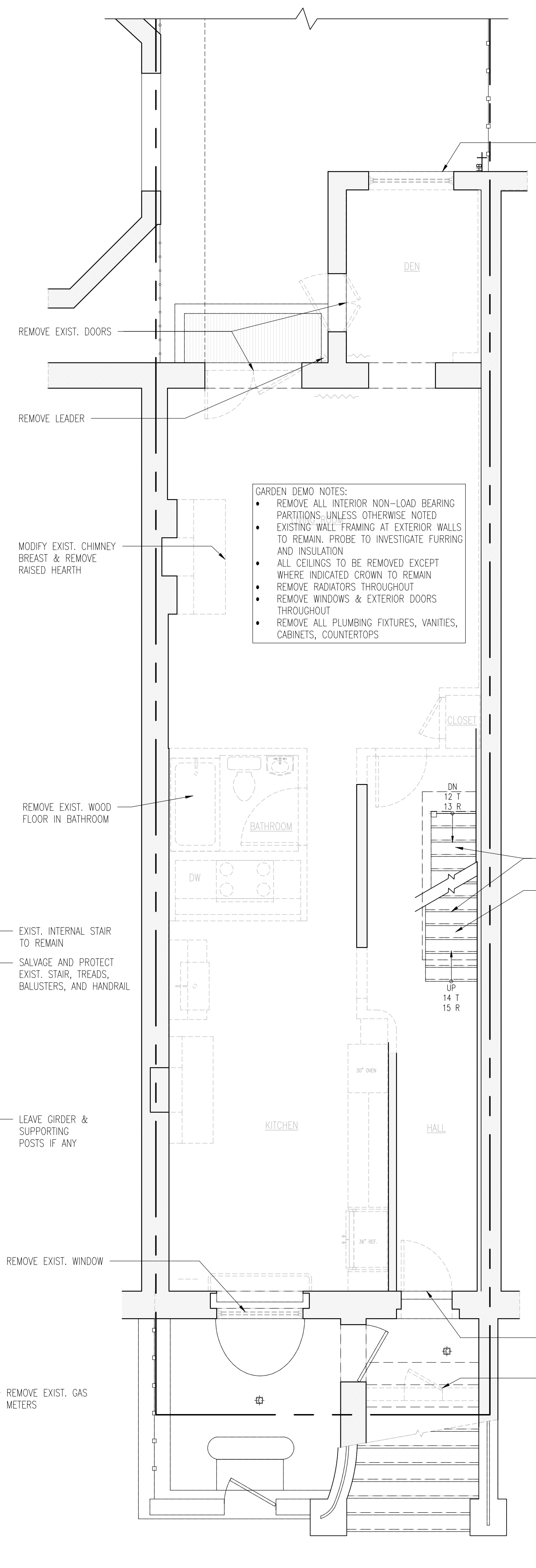
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DEMO LEGEND

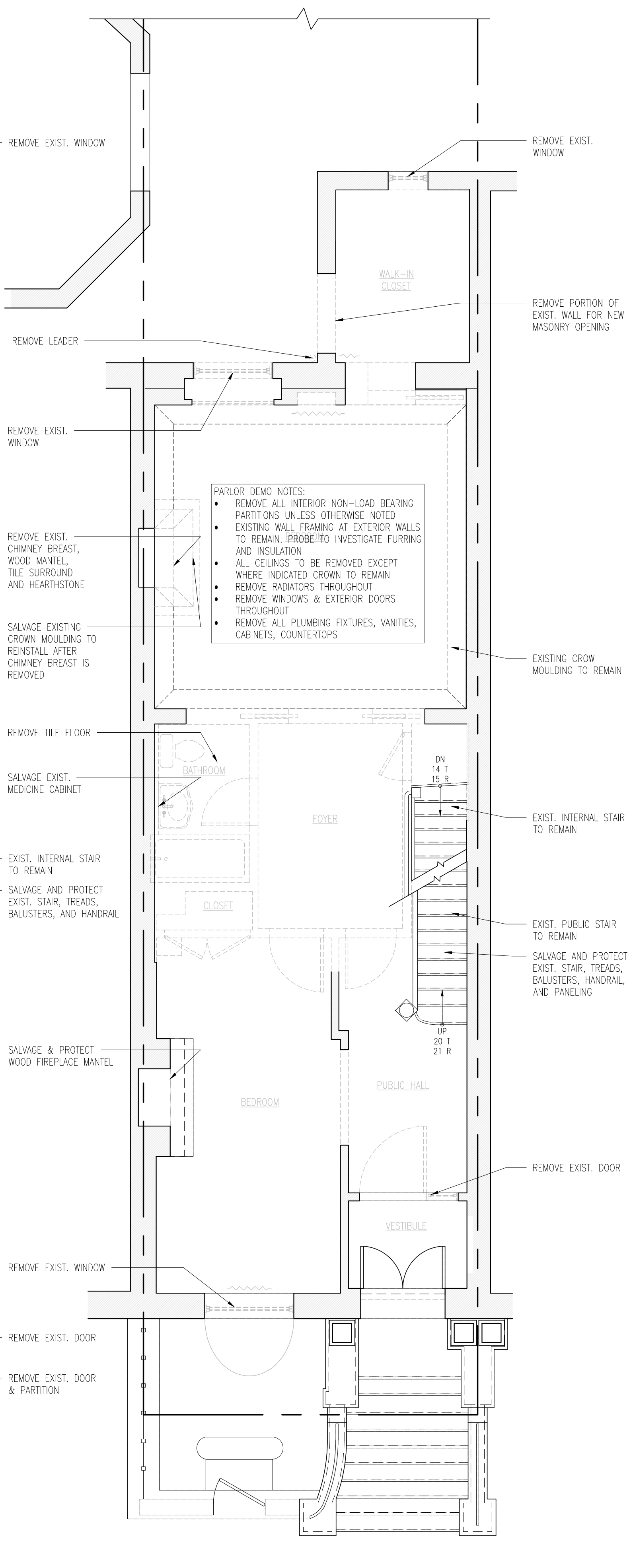
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING WALL TO REMAIN



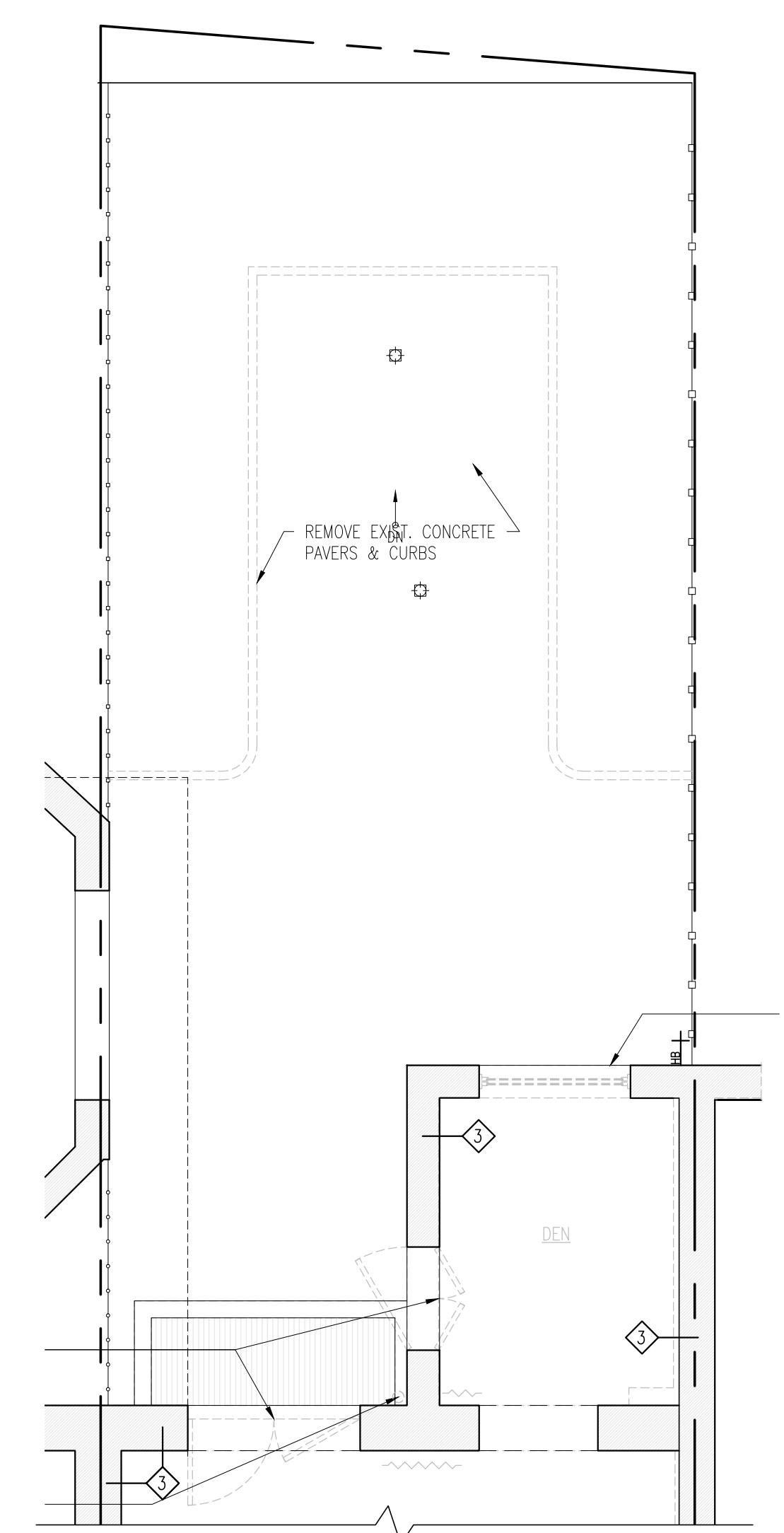
1 CELLAR FLOOR PLAN - APT. 1
D-100 SCALE: 1/4" = 1'-0"



2 BASEMENT [GARDEN] FLOOR PLAN - APT. 1
D-100 SCALE: 1/4" = 1'-0"



3 FIRST [PARLOR] FLOOR PLAN - APT. 1
D-100 SCALE: 1/4" = 1'-0"



4 REAR YARD PLAN
D-100 SCALE: 1/4" = 1'-0"

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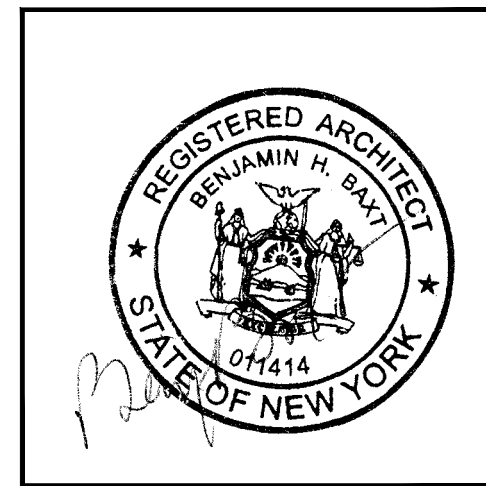
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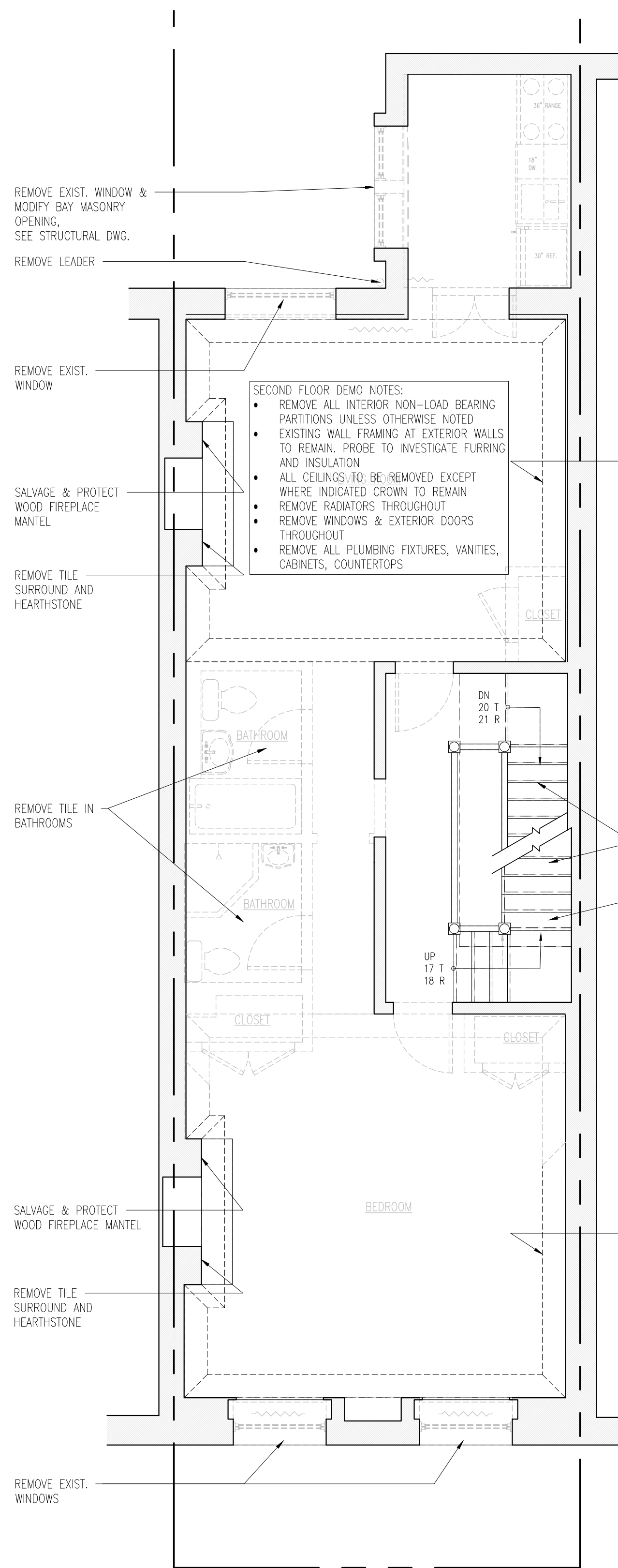
EXISTING/DEMO PLANS



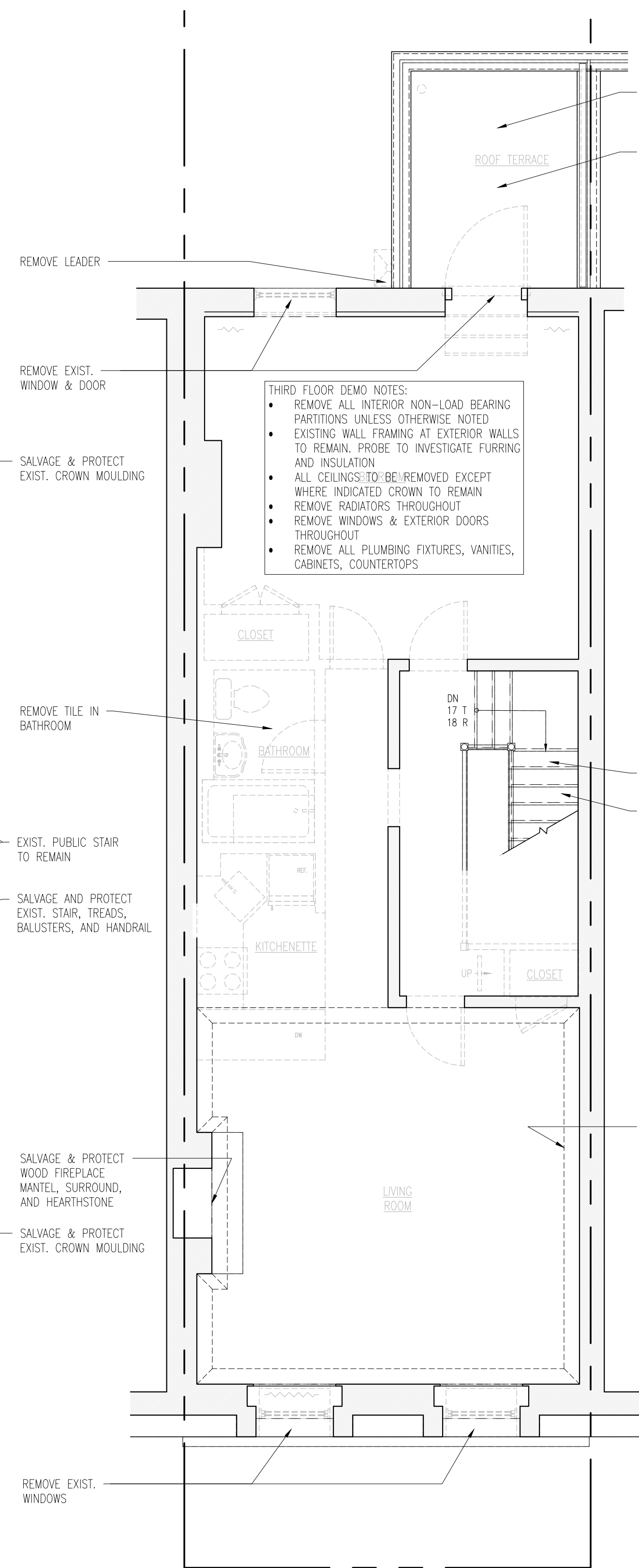
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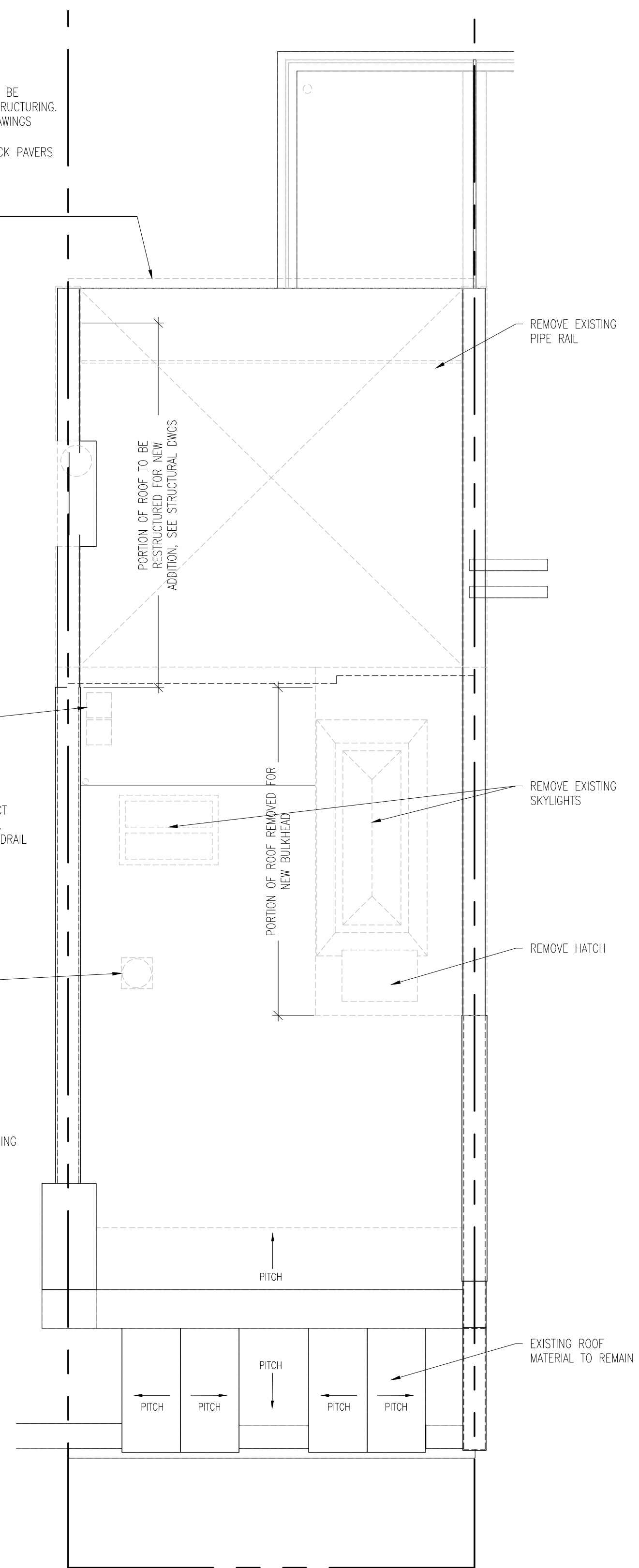
DEMO LEGEND	
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING WALL TO REMAIN



1 SECOND FLOOR PLAN - APT. 2
D-101 SCALE: 1/4" = 1'-0"

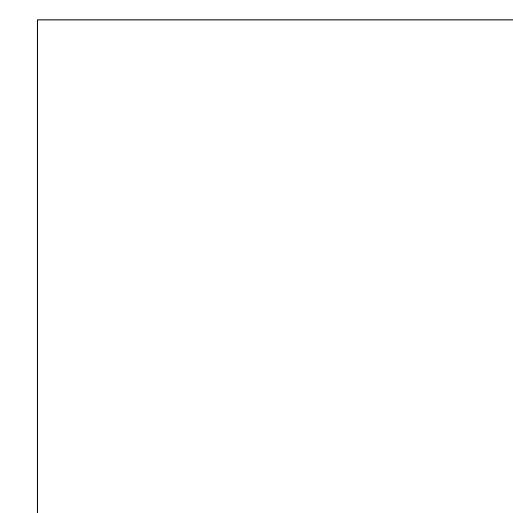


2 THIRD FLOOR PLAN - APT. 3
D-101 SCALE: 1/4" = 1'-0"



3 ROOF PLAN
D-101 SCALE: 1/4" = 1'-0"

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EXISTING/DEMO PLANS
4 OF 14

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157 West 82nd Street, New York, NY 10024

BUILDING CODE

GENERAL NOTES:

1. ALL WORK IS EXISTING UNLESS SHADED OR NOTED AS NEW.
2. ALL NEW WORK TO COMPLY WITH 2022 CODE.
3. ALL NEW CONSTRUCTION TO BE NON-COMBUSTIBLE.

GENERAL CONSTRUCTION NOTES:

1. CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS PERTAINING TO LABOR AND MATERIALS. IF DRAWINGS AND SPECIFICATIONS CONFLICT OR DIFFER FROM ANY LAW OR CODE, THE PERTAINING LAW OR CODE SHOULD SUPERSEDE DRAWING AND SPECIFICATIONS AND SHOULD BE APPLIED.
2. CONTRACTOR SHALL COMPLY WITH PLANS AND SPECIFICATIONS.
3. BEFORE COMMENCEMENT OF WORK, CONTRACTOR SHALL FURNISH OWNER WITH COPIES OF ALL REQUIRED INSURANCE CERTIFICATES.
4. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS AND LOCATIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCY.
5. CONTRACTOR SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS AROUND SITE DURING THE EXECUTION OF WORK RELATING TO THIS CONTRACT. DURING THE CONSTRUCTION WORK, THE CONTRACTOR SHALL PROTECT ALL WORK MATERIALS, TOOLS, EQUIPMENT, ON THE SITE, AND ALL ADJACENT PROPERTY, WHETHER FURNISHED BY THE CONTRACTOR OR OWNER, FROM ANY DAMAGE, LOSS OR PULPERAGE, WITH THE UNDERSTANDING THAT CONTRACTOR WILL MAKE GOOD ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.
6. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER AND ARCHITECT ALL SHOP DRAWINGS FOR ALL WORK, INSTALLATION AND EQUIPMENT. BY SO DOING THE CONTRACTOR REPRESENTS THAT HE HAS VERIFIED ALL MATERIALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA OR WILL DO SO PRIOR TO INSTALLATION.
7. CONTRACTOR SHALL FURNISH FOR OWNER AND ARCHITECT'S APPROVAL PRIOR TO ORDERING THEM, ALL SAMPLES AND MANUFACTURER'S SPECS AND PRODUCT DATA FOR ALL FINISHING MATERIALS, HARDWARE, OR ANY OTHER MATERIALS CALLED FOR IN DRAWINGS AND SPECIFICATIONS OR THAT ARE NOT MENTIONED BUT NEEDED FOR A PROPER AND TIMELY COMPLETION OF WORK.
8. CONTRACTOR SHALL USE ONLY THOSE MATERIALS AND FINISHES SPECIFIED AND APPROVED BY THE OWNER AND/OR ARCHITECT. THE CONTRACTOR SHALL FURNISH, WITHOUT EXTRA CHARGE, ALL WORK AND MATERIALS NOT MENTIONED, BUT NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF WORK.
9. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATION OF THE VARIOUS TRADE INSTITUTES (A.C.I., A.I.S.C., ETC.) WHERE APPLICABLE.

CARBON MONOXIDE & SMOKE DETECTOR NOTES:

- CARBON MONOXIDE DETECTOR NOTES (2022 CODE) 915.4-915.6:
1. EVERY DWELLING UNIT WILL BE EQUIPPED WITH AN APPROVED AND OPERATIONAL CARBON MONOXIDE DETECTING DEVICE COMPLYING WITH RSI7-3 AND INSTALLED IN ACCORDANCE WITH 17-14.
 2. SUCH CARBON MONOXIDE DETECTOR MUST BE "UL" APPROVED.
 3. FOR EXISTING BUILDINGS, CO DETECTORS CAN BE BATTERY OPERATED OR CAN PLUG INTO ELECTRICAL OUTLET AS LONG AS IT HAS BATTERY BACK-UP IN CASE OF POWER INTERRUPTION.
 4. NEW BUILDINGS OR SUBSTANTIALLY IMPROVED BUILDINGS MUST HAVE CO DETECTORS THAT ARE HARD-WIRED TO THE BUILDING'S ELECTRICAL SYSTEM.
 5. THE INSTALLATION OF A COMBINATION SMOKE DETECTOR ALARM/CO DETECTOR IS ALLOWED.
 6. CARBON MONOXIDE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE PRIMARY ENTRANCE OF EACH ROOM USED FOR SLEEPING PURPOSES AND WITHIN ANY ROOM USED FOR SLEEPING PURPOSES.
 7. WHEN MORE THAN ONE CARBON MONOXIDE IS REQUIRED TO BE INSTALLED WITHIN A DWELLING UNIT, THE ALARM/DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARMS OR DETECTORS IN THE INDIVIDUAL UNIT.
- SMOKE DETECTOR NOTES (2022 CODE) 907.2.11.1-907.2.11.5:
1. SMOKE DETECTORS ARE REQUIRED IN SLEEPING AREAS, IN EVERY ROOM IN THE PATH OF THE MEANS OF EGRESS FROM THE SLEEPING AREA TO THE DOOR LEADING FROM THE DWELLING UNIT, IN EACH STORY WITHIN THE UNIT, INCLUDING BELOW-GRADE STORIES, FOR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL.
 2. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM A DEDICATED BRANCH CIRCUIT OR THE UNSWITCHED PORTION OF A BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.
 3. SUCH SMOKE DETECTOR MUST BE EITHER THE IONIZATION-CHAMBER TYPE FOR THE PHOTOELECTRIC DETECTOR TYPE AS PER C26-1705.4 (SUB.B.).
 4. ALL SMOKE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE OF ANY SLEEPING ROOM, WALL OR CEILING MOUNTED AND INDICATED ON PLAN AS PER N.F.P.A. #74-1980.
 5. A CERTIFICATE OF SATISFACTORY INSTALLATION FOR SMOKE DETECTORS MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT, H.P.D. 10 DAYS AFTER INSTALLATION.
 3. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER-CURRENT PROTECTION. EXCEPTION: SMOKE ALARMS WITH INTEGRAL STROBES SHALL NOT REQUIRE BATTERY BACKUP PROVIDED THAT THE SMOKE ALARMS ARE CONNECTED TO AN EMERGENCY ELECTRICAL SOURCE.
 4. WHERE MORE THAN ONE SMOKE ALARM OR DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE SMOKE ALARMS OR DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARMS OR DETECTORS IN THE INDIVIDUAL UNIT.

IMPERVIOUS SURFACES (BC106.11):

WHENEVER ANY ALTERATION INCREASES IMPERVIOUS SURFACES ON THE LOT GREATER THAN 20% OF EXISTING IMPERVIOUS SURFACES, APPLICANT REQUIRES APPROVAL FROM DEPARTMENT OF ENVIRONMENTAL PROTECTION.
NO INCREASE IN IMPERVIOUS SURFACES.

COMPLIANCE WITH RULE 52

CONTRACTOR WILL NOTIFY DEPARTMENT OF BUILDINGS WITHIN 48 HOURS OF COMMENCEMENT FOR ALL EXCAVATION AND FOUNDATION WORK.

SCOPE OF WORK:

INTERIOR RENOVATIONS OF EXISTING RESIDENTIAL BUILDING & VERTICAL ENLARGEMENT FOR NEW PENTHOUSE AND STAIR BULKHEAD, CHANGE IN OCCUPANCY FROM 3 FAMILY TO 4 FAMILY. NO EXCAVATION OR FOUNDATION WORK.

TABLE 504.3 & 504.4 ALLOWABLE BUILDING HEIGHT & STORIES:

GROUP R-2 CONSTRUCTION CLASS IIIA: LIMITED TO: 85 FEET, 7 STORIES
PROPOSED: 59 FEET, 11 INCHES 4 STORIES + PENTHOUSE

TABLE 506.2 ALLOWABLE AREA FACTOR:

GROUP R-2 CONSTRUCTION CLASS IIIA: LIMITED TO: 48,000.00 SQ.FT.
PROPOSED: 5,105.77 SQ.FT.

TABLE 601 TYPES OF CONSTRUCTION:

PROPOSED CONSTRUCTION CLASS IIIA, EQUIVALENT TO 1938 CODE CLASS 3 NFP (PROTECTED WOOD JOISTS).

TABLE 602 FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:

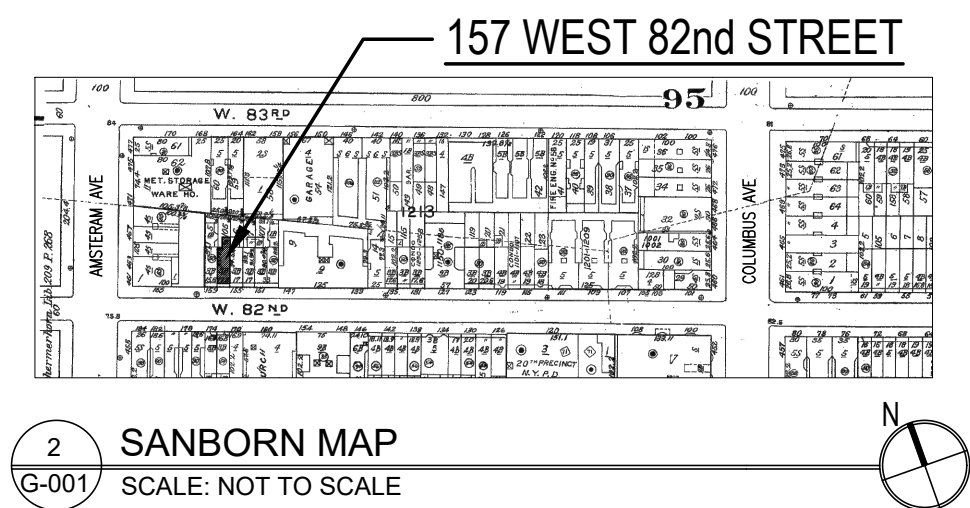
FIRE SEPARATION DISTANCE = 0 (SEE SECTION 706.1.1 FOR PARTY WALLS > 2 HOUR RATING FOR PARTY WALLS)
OCCUPANCY GROUP R-2, 1-HOUR MINIMUM FIRE RATING; 3-HOUR MINIMUM FIRE RATING FOR PARTY WALLS

SUBSEQUENT APPLICATIONS

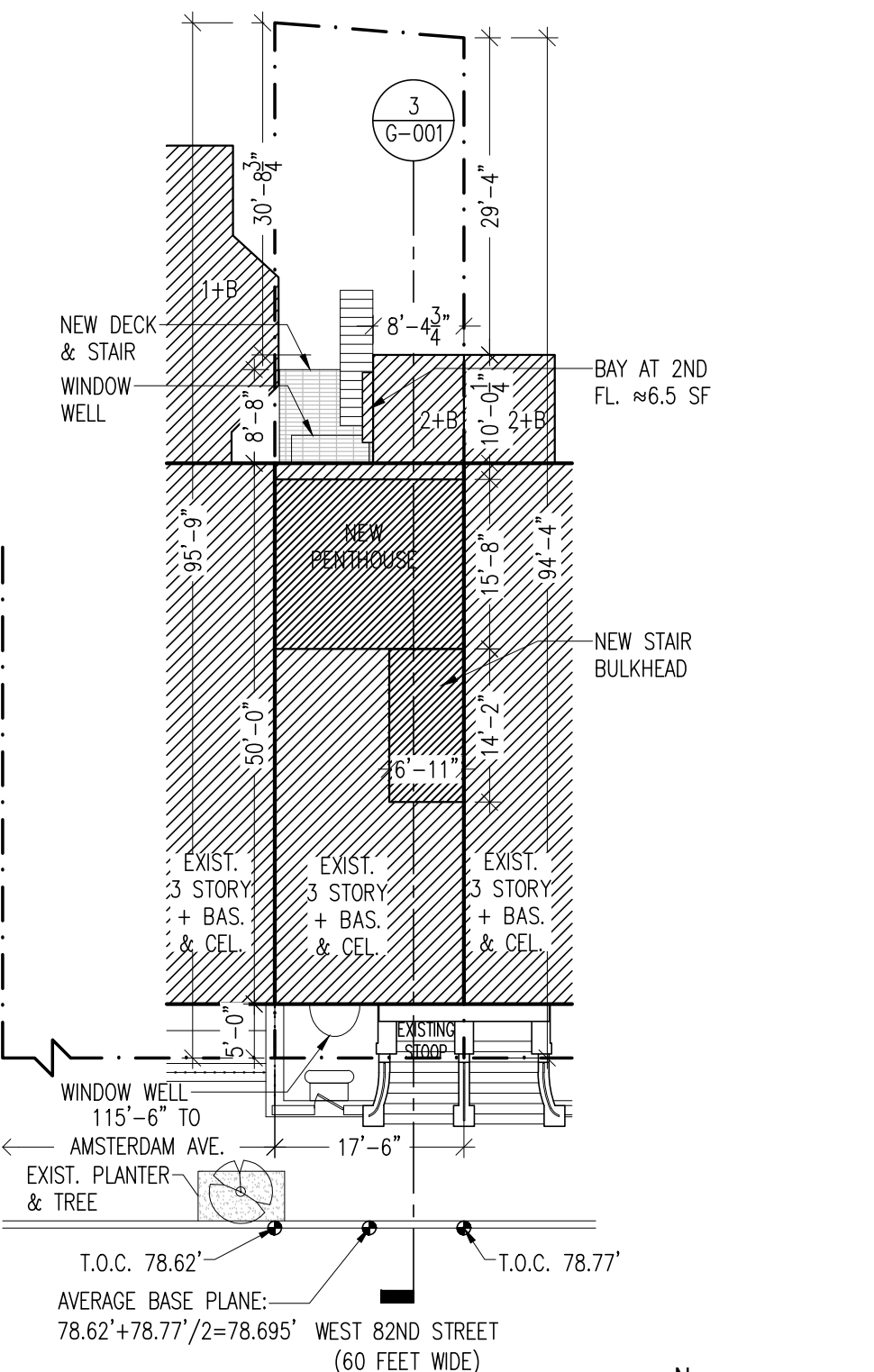
1. PLUMBING
2. STRUCTURAL
3. MECHANICAL
4. SPRINKLER

SPECIAL AND PROGRESS INSPECTIONS

- | | |
|--------------|--|
| BC 1704.5 | MASONRY |
| BC 1705.25.1 | STRUCTURAL STABILITY EXISTING BUILDINGS |
| BC 1704.27 | FIRE-RESISTANT PENETRATIONS AND JOINTS |
| BC 110.3.5 | ENERGY CODE COMPLIANCE INSPECTIONS (SEE ENERGY CODE APPLICATION) |
| BC 110.3.4 | FIRE-RESISTANCE RATED CONSTRUCTION |



2 SANBORN MAP
SCALE: NOT TO SCALE



1 PLOT PLAN
SCALE: 1/16" = 1'-0"



3 UPPER WEST SIDE - CENTRAL PARK WEST HISTORIC DISTRICT
NOT TO SCALE



4 1940's TAX PHOTO
NOT TO SCALE

LIST OF DRAWINGS:	DATE	BY	REVISIONS
G-001 GENERAL SHEET	X		
Z-001 ZONING SHEET	X		
DM-100 DEMOLITION PLANS	X		
DM-101 DEMOLITION PLANS	X		
A-100 PROPOSED FLOOR PLANS	X		
A-101 PROPOSED FLOOR PLANS	X		
A-200 EXISTING & PROPOSED FRONT ELEVATIONS	X		
A-201 EXISTING & PROPOSED REAR ELEVATIONS	X		
A-300 EXISTING SECTION	X		
A-301 PROPOSED SECTION	X		
A-302 EXISTING SECTION	X		
A-303 PROPOSED SECTION	X		
A-500 PENTHOUSE & BULKHEAD DETAILS	X		
A-501 LPC WINDOW DETAILS	X		
A-502 NOT ISSUED			
A-503 WALL SECTIONS	X		



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LPC PUBLIC HEARING
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The BurrowNYC,
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Residence

157 West 82nd Street
New York NY 10024

G-001.00

GENERAL SHEET

1 OF 14

ZONING

BLOCK: 1213 ZONING DISTRICT: R8B MANHATTAN CORE
 LOT NUMBER: 105 MANDATORY QUALITY HOUSING BULK REGULATIONS ZR23-011
 ZONING MAP: 5d UPPER WEST SIDE/CENTRAL PARK WEST HISTORIC DISTRICT
 CONSTRUCTION CLASS: 3 NON-FIREPROOF 1938 CODE
 EQUIVALENT TO CLASS IIIA 2022 CODE

ENLARGEMENT OF EXISTING (3) FAMILY TO (4) FAMILY RESIDENCE

ZONING CALCULATIONS

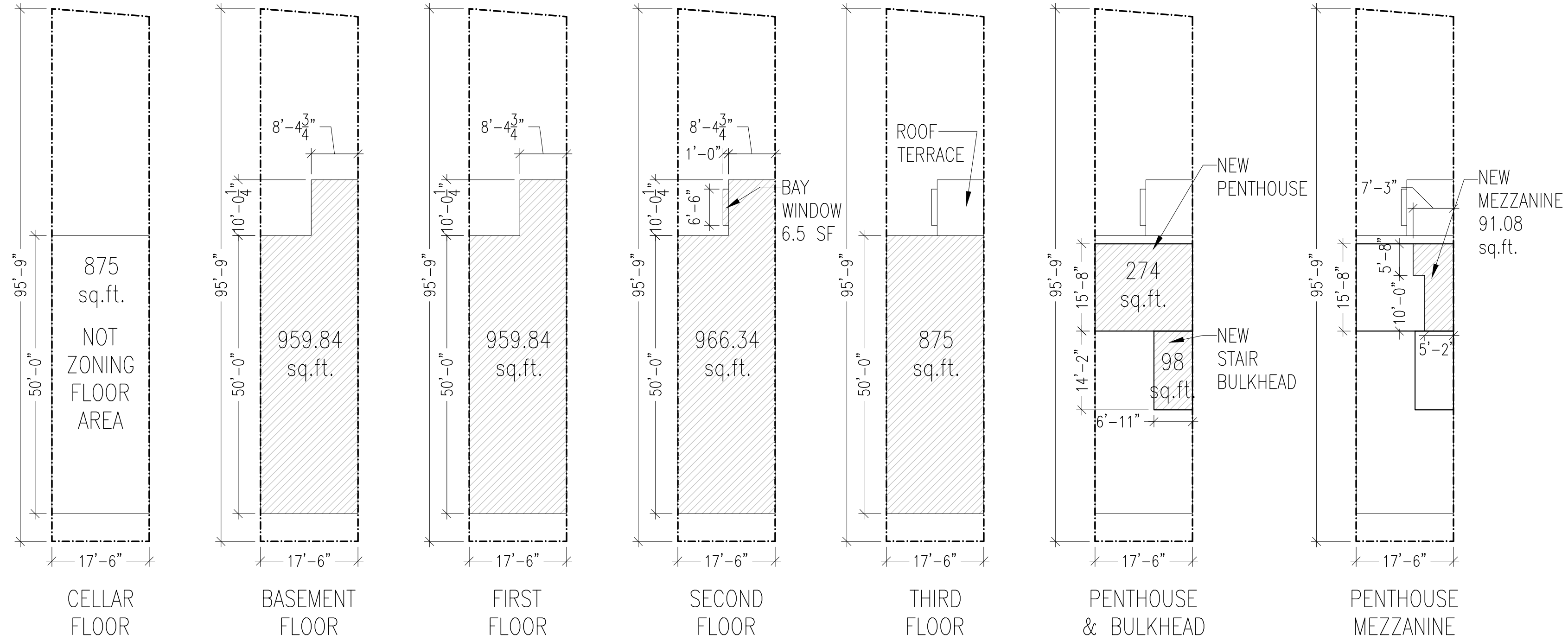
SQUARE FOOTAGE	EXISTING SQ. FT.	PROPOSED ADDITION	TOTALS
CELLAR	(17.5'x50.0') = 875 SQ.FT. (NOT FLOOR AREA)	NONE	875.00 SQ.FT.
BASEMENT	(17.5'x50.0')+(10.1'x8.4') = 959.84 SQ.FT.	NONE	959.84 SQ.FT.
FIRST FLOOR	(17.5'x50.0')+(10.1'x8.4') = 959.84 SQ.FT.	NONE	959.84 SQ.FT.
SECOND FLOOR	(17.5'x50')+(10.1'x8.4')+(1.0'x6.5')=966.34 SQ.FT.	NONE	966.34 SQ.FT.
THIRD FLOOR	(17.5'x50.0') = 875.00 SQ.FT.	NONE	875.00 SQ.FT.
BULKHEAD	NONE	(6'-11" x 14'-2") = 98.00 SQ.FT.	98.00 SQ.FT.
PENTHOUSE	NONE	(17'-6" x 15'-8") = 274.00 SQ.FT.*	274.00 SQ.FT.
P.H. MEZZANINE	NONE	(10'x5'-2")+(5'-8"x7'-3")=91.08 SF**	91.08 SQ.FT.
ZONING F.A. TOTAL	3761.02 SQ.FT.	463.08 SQ.FT.	4224.10 SQ.FT.
GROSS F.A. TOTAL	4636.02 SQ.FT.	463.08 SQ.FT.	5099.10 SQ.FT.

* PENTHOUSE AREA < 1/3 OF ROOF AREA PER NYC BC 504.3
 ** MEZZANINE AREA < 1/3 OF PENTHOUSE AREA PER NYC BC 505.2.1

ITEM DESCRIPTION	CODE REQUIREMENT	PROPOSED
LOT AREA	17'-6" x 94'-4" + (95'-8" - 94'-4" = 1'-4" x 17'-6")/2 = 1663.25 sq.ft.	
STREET TREE PLANTING & PLANTING STRIPS (ZR23-03a) & (ZR23-04a)	DEVELOPMENTS OR ENLARGEMENTS THAT INCREASE THE FLOOR AREA BY MORE THAN 20% SHALL PROVIDE STREET TREES	20% OF EXIST. F.A. = 767.87 SQ.FT. PROPOSED ENLARGEMENT = 483 SQ.FT. < 767.87 SQ.FT. THEREFORE EXEMPT FROM STREET TREE PLANTING
LOT COVERAGE (ZR23-153)	MAX. 70% = 1663.25 SQ.FT x 70% = 1164.28 SQ.FT.	966.34 SQ.FT./1663.25 SQ.FT ≈ 58% 58% < 70% THEREFORE COMPLIES
FLOOR AREA RATIO (ZR23-153)	MAX. F.A.R. = 4.00 4.0 x 1663.25 = 6653.00 SQ.FT.	6653.00 SQ.FT. > 4241.98 SQ.FT. F.A.R. = 2.55 > 4.00 THEREFORE COMPLIES
MAX. NUMBER OF DWELLING UNITS (ZR23-22)	MAX DENSITY ALLOWED: 4241.98 SQ.FT./680 SQ.FT. = 6.24	6.24 D.U. PERMITTED > 4 D.U. PROPOSED THEREFORE COMPLIES
FRONT YARD (ZR23-45)	NONE REQUIRED	5'-0" EXISTING TO REMAIN
SIDE YARD (ZR23-46(c))	NONE REQUIRED	NONE PROVIDED
REAR YARD (ZR23-47)	REQ'D = 30'-0"	30'-8"
MAXIMUM HEIGHT AND SETBACK REGULATIONS (ZR23-662)	MINIMUM BASE HEIGHT = 55'-0" MAXIMUM BASE HEIGHT = 65'-0" MAX. HEIGHT OF BLDGS = 75'-0" MIN. NARROW STREET SETBACK = 15'-0"	EXIST. BASE HEIGHT = 47'-10", NO CHANGE EXIST. BLDG. HEIGHT = 47'-10" PROPOSED BLDG. HEIGHT = 58'-8"

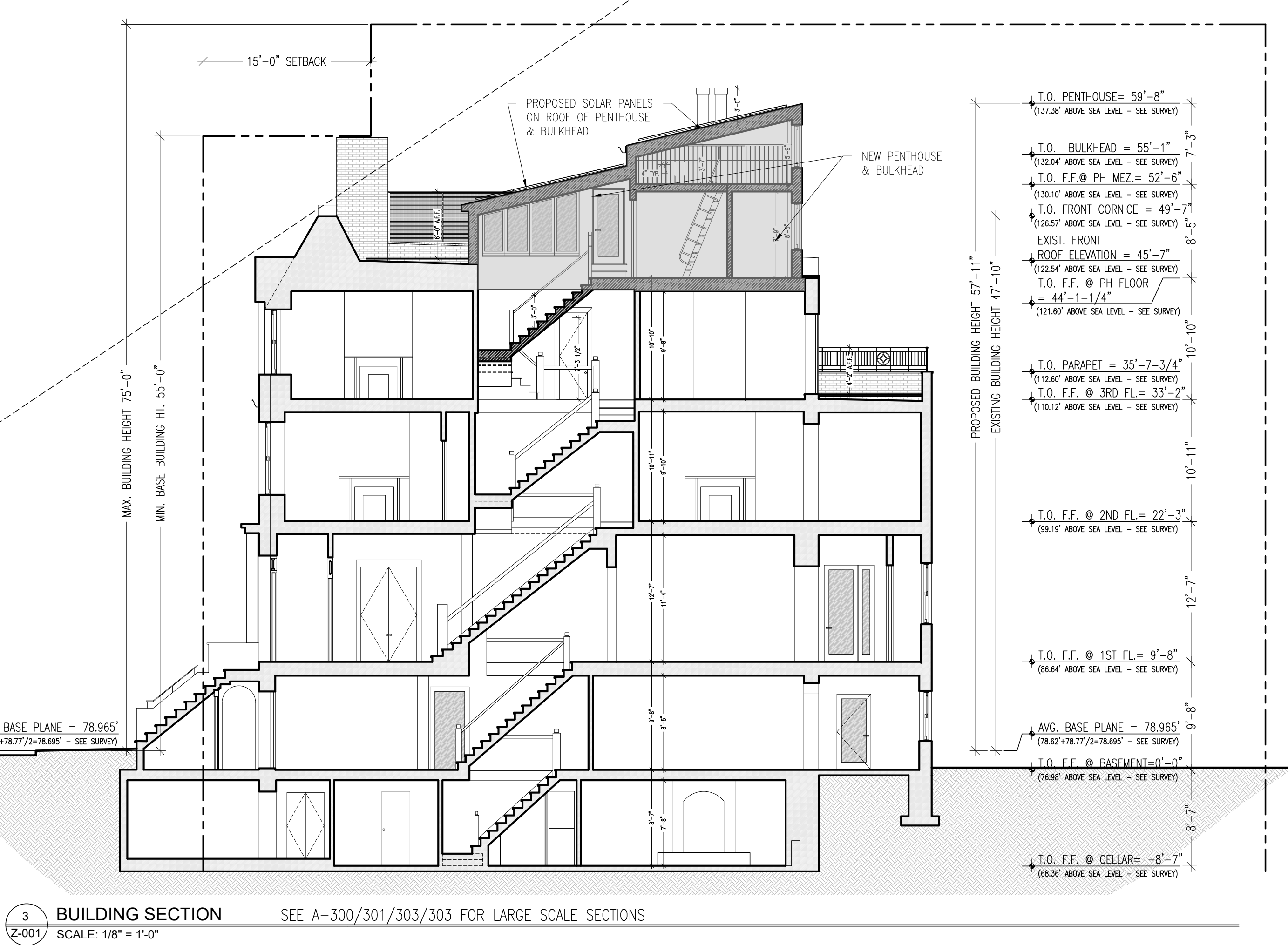
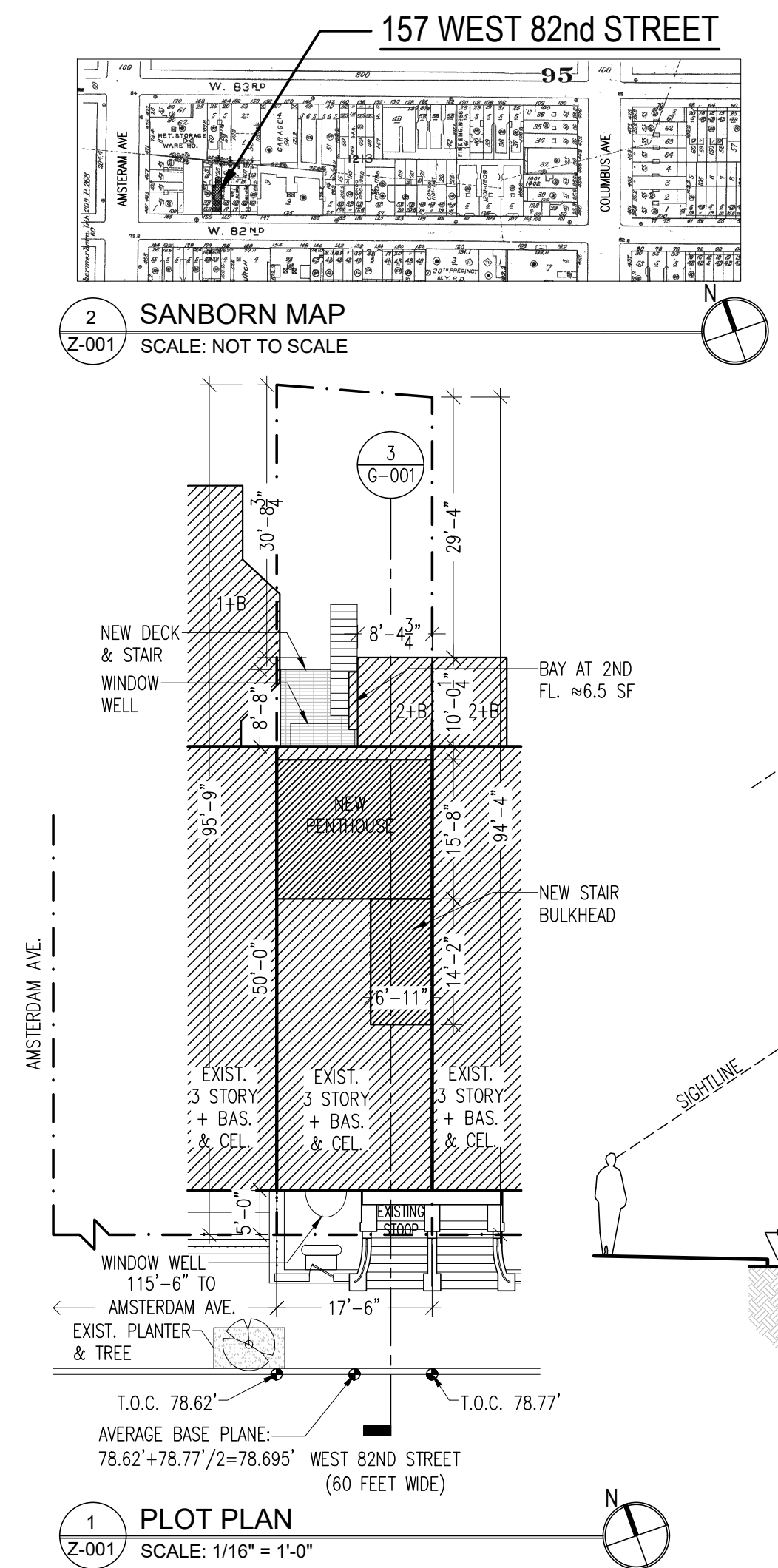
QUALITY HOUSING ZONING NOTES (ZR 23-011(a))

- a. IN R8B DISTRICTS, ANY BUILDING OR OTHER STRUCTURE SHALL COMPLY WITH BULK REGULATIONS FOR QUALITY HOUSING
- ZR 28-00 (ARTICLE 2 CHAPTER 8 ZR)
- A. ELEVATED GROUND FLOOR UNITS (28-11) - NOT REQUIRED
- B. REFUSE STORAGE & DISPOSAL (28-12) - < 9 UNITS, THEREFORE NOT APPLICABLE
- C. LAUNDRY FACILITIES (28-13)
FLOOR AREA DEDUCTION - NONE PROVIDED
- D. DAYLIGHT IN CORRIDORS (28-14)
50% F.A. CORRIDOR REDUCTION - NO DEDUCTION TAKEN
- E. REQUIRED RECREATION SPACE (28-21) - NONE REQUIRED
- F. PLANTING AREAS (28-23)
AREA OF ZONING LOT BETWEEN STREET WALL & STREET LINE SHALL BE PLANTED EXCEPT AT ENTRANCES & EXITS OF THE BUILDING, OR ADJACENT TO COMMERCIAL USES FRONTING THE STREET.
NO CHANGE TO EXISTING FRONT YARD
- G. DENSITY PER CORRIDOR (28-31)
50% FLOOR AREA CORRIDOR REDUCTION
MAXIMUM DWELLING UNITS ON CORRIDOR = 10
ACTUAL DWELLING UNITS ON CORRIDOR = 1
NO DEDUCTION TAKEN
- H. PARKING SCREENING (28-41) NOT APPLICABLE
- I. OFF-SITE PARKING REGULATIONS (28-42) - NOT APPLICABLE
- J. LOCATION OF ACCESSORY PARKING (28-43)
NOT PERMITTED BETWEEN STREET WALL & LINE THROUGH LOT MAX. 180' DEEP EXCEPTION NOT APPLICABLE



SUM OF EXISTING FLOOR AREA + ADDITIONAL FLOOR AREA = TOTAL FLOOR AREA
 3757.77 SQ.FT. + 496.00 SQ.FT. = 4253.77 SQ.FT. < MAX. FLOOR AREA 6653.00 SQ.FT.

4 FLOOR AREA DIAGRAMS
 Z-001 NOT TO SCALE



3 BUILDING SECTION
 SEE A-300/301/303/303 FOR LARGE SCALE SECTIONS
 Z-001 SCALE: 1/8" = 1'-0"



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Z-001.00

ZONING SHEET
 2 OF 14