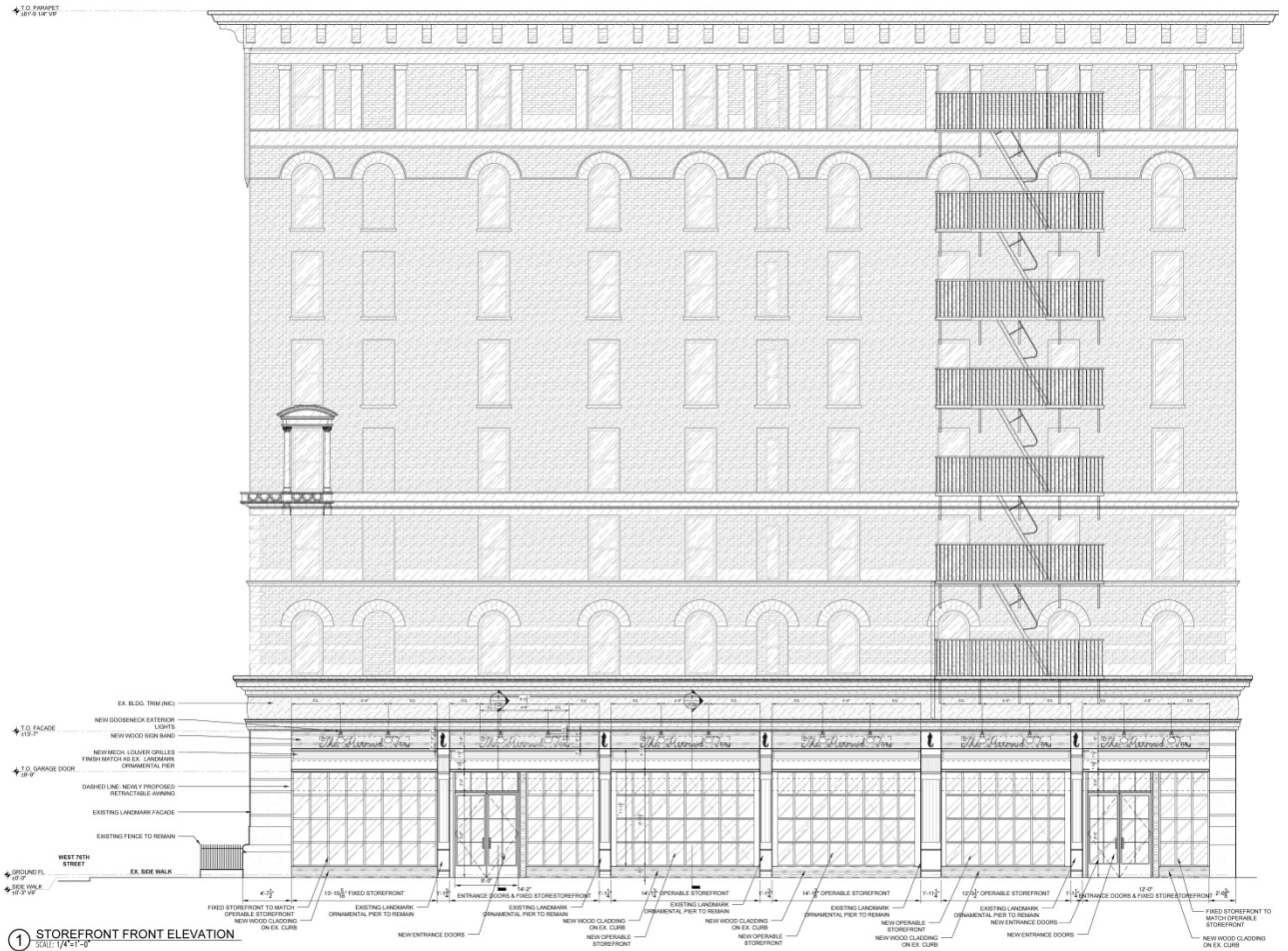
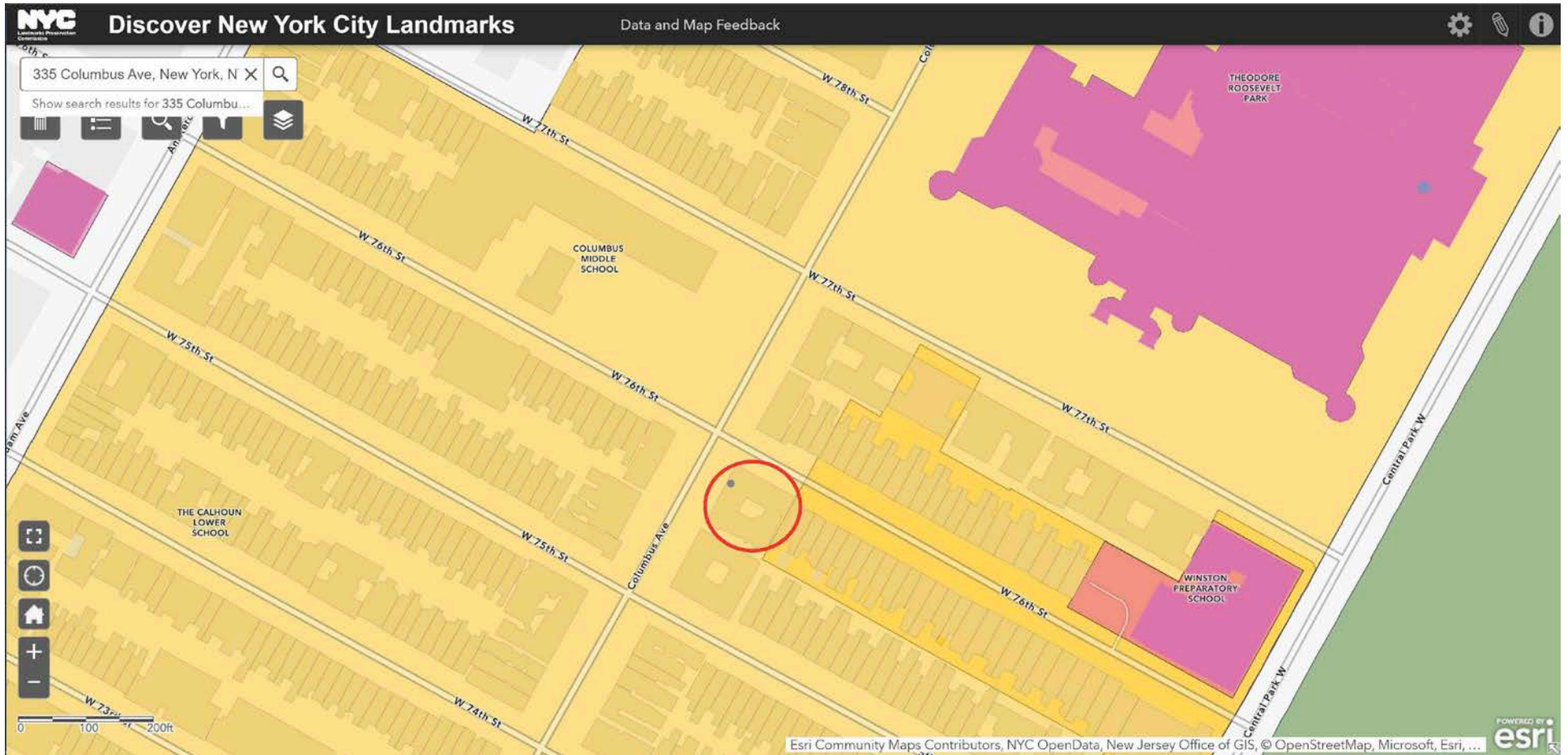


**COMMUNITY BOARD SEVEN . 8 FEBRUARY 2024 ■ LANDMARKS PRESERVATION COMMISSION . 19 MARCH 2024**



GUARDIA | ARCHITECTS



**Project location:**  
**Columbus Avenue . Southeast corner of West 76<sup>th</sup> Street . Manhattan**  
**Upper West Side / Central Park West Historic District**  
**Manhattan Community Board Seven**

## 1930s tax photo

*Historic photos  
are uninformative  
about original conditions*





## 1980s Tax Photo

*No changes are proposed to the West 76<sup>th</sup> Street Storefront  
Existing historic elements were covered over at each storefront*





## DESIGNATION PHOTOS (1990)







# Existing conditions: Formerly The Gap / Chase Bank

Modern glass storefront with historic iron pilasters exposed









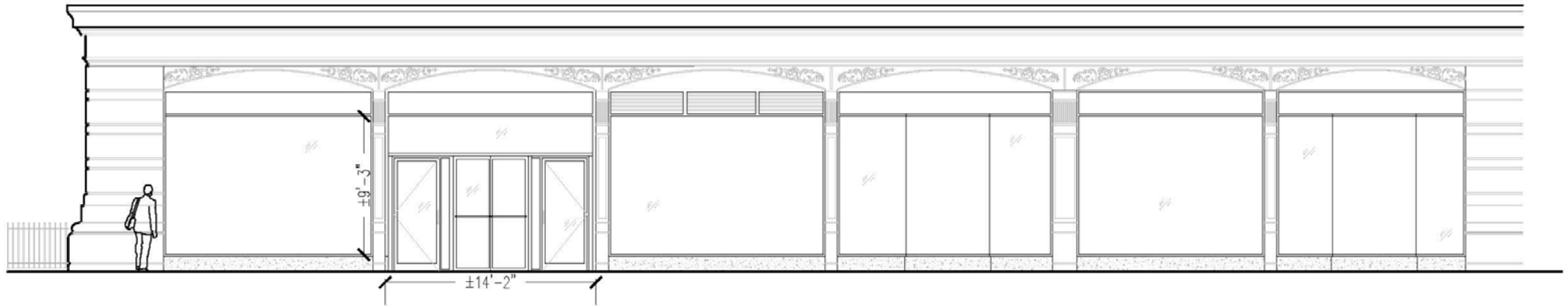






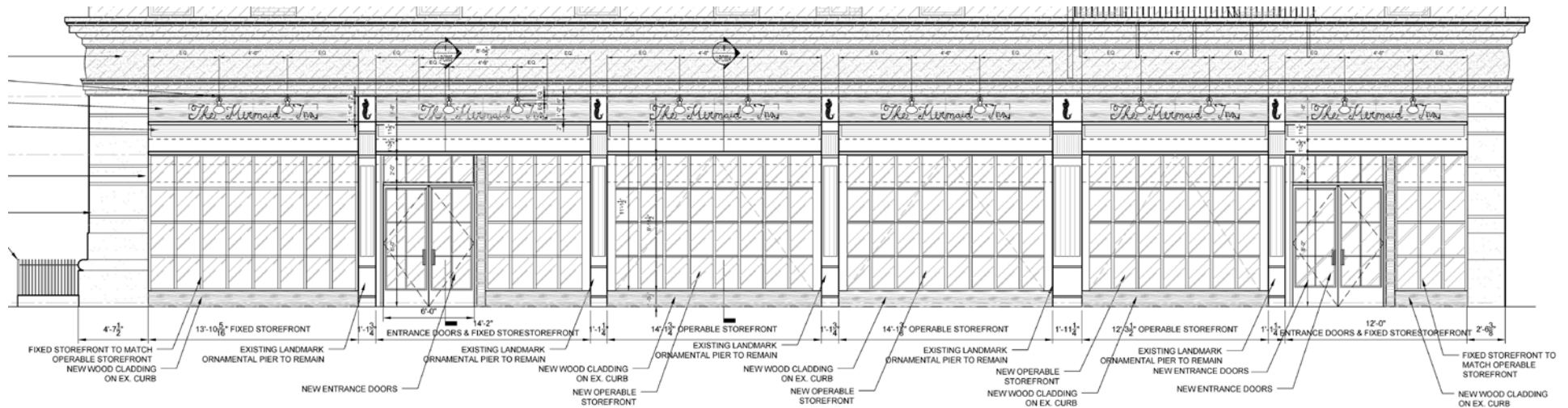
# EXISTING ELEVATION / COLUMBUS AVENUE

Post Designation:  
The Gap (1994)  
Adapted by Chase Bank (2005)  
Sign violations corrected 2018



EXISTING FRONT ELEVATION

**New signboard replacing previous non-historic decorative metal**

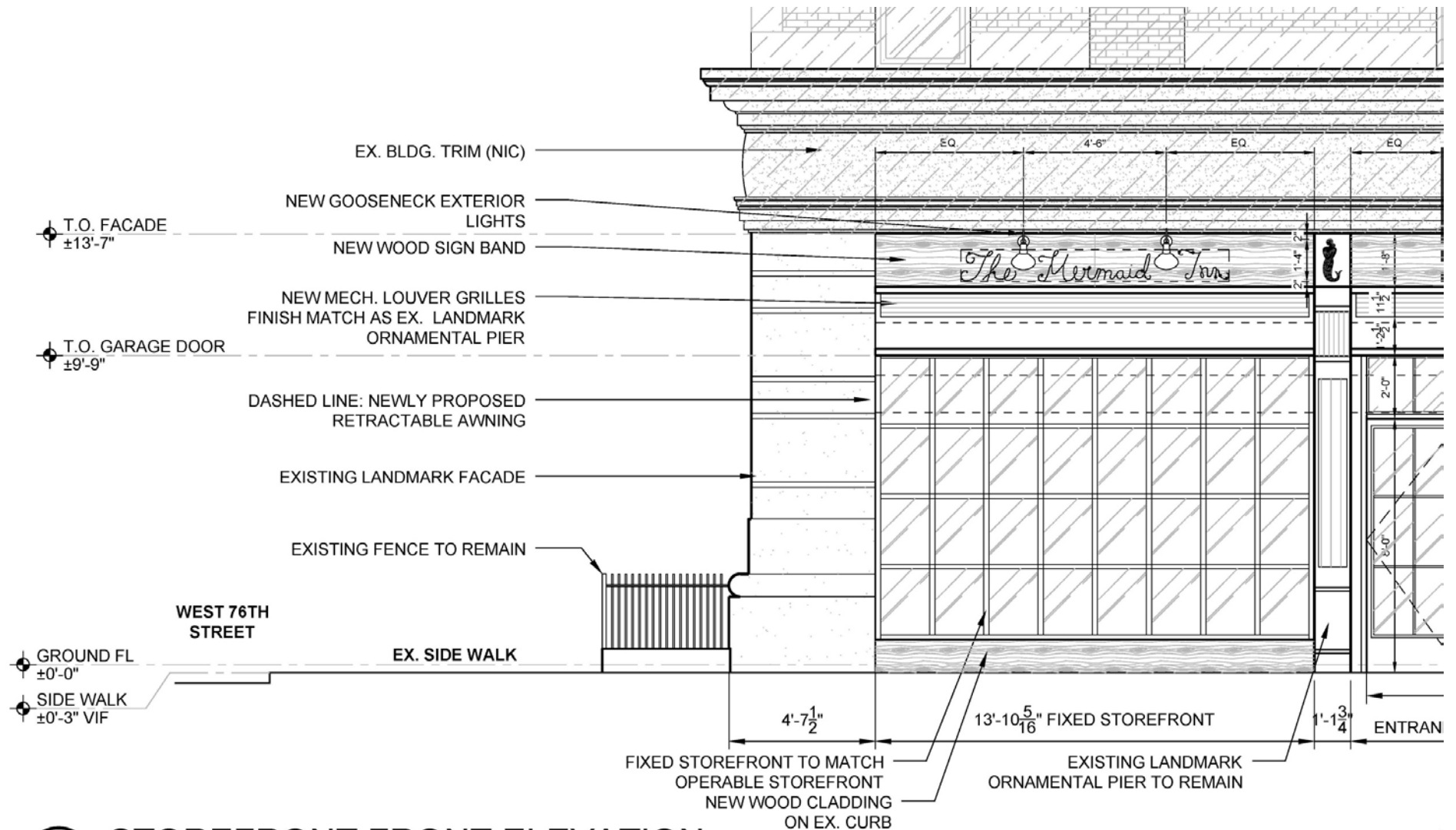






# PROPOSED ELEVATION / COLUMBUS AVENUE / DETAIL

## North end



**1 STOREFRONT FRONT ELEVATION**  
SCALE: 1/4"=1'-0"





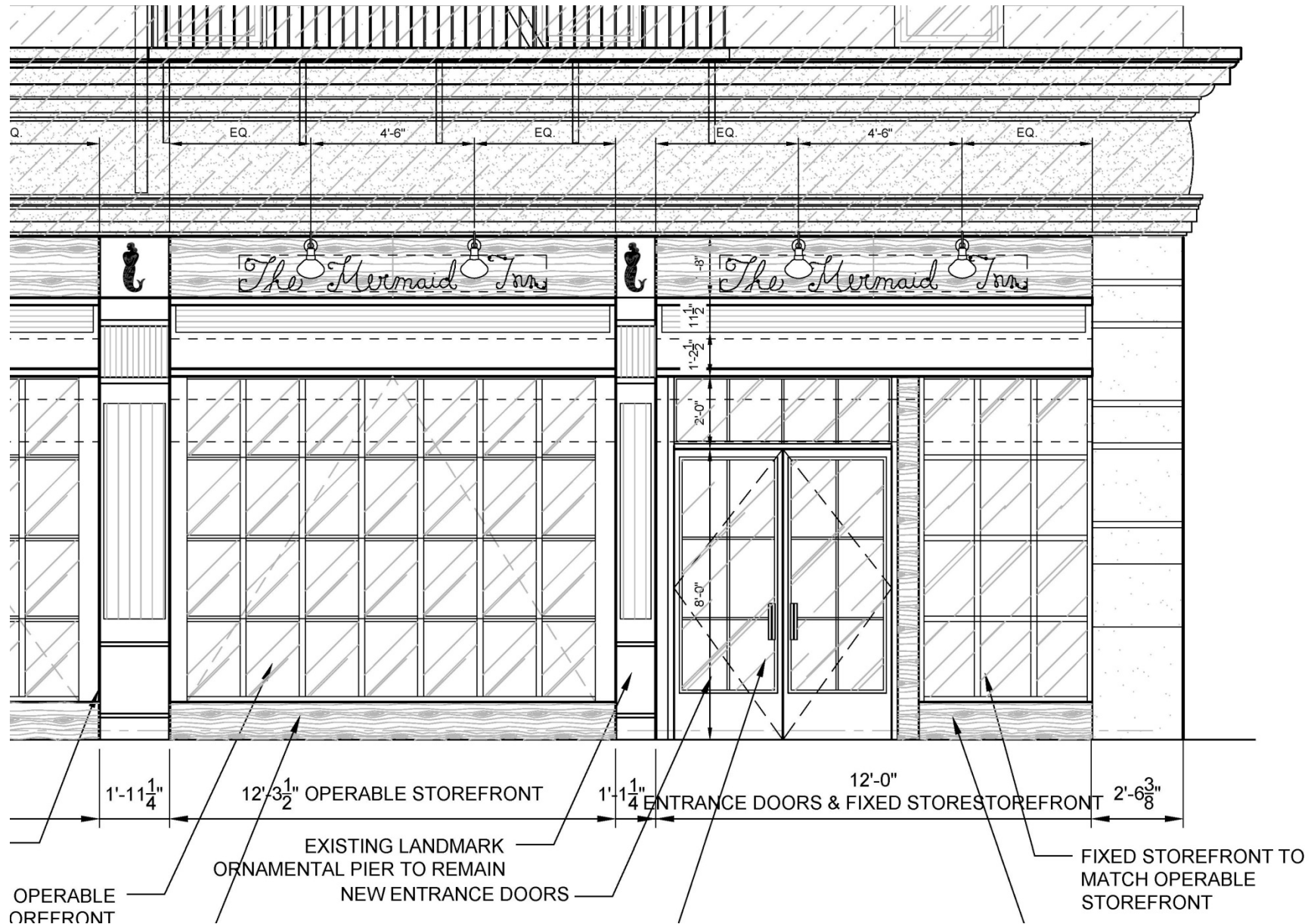






# PROPOSED ELEVATION / COLUMBUS AVENUE / DETAIL

## South end









EX. MASONRY WALL

EX. CORNICE

NEW DBL 3-5/8x16 BRACE @ HANGER LOCATION

EX. SPANDREL BEAMS

NEW GOOSENECK LIGHT W/ CUSTOM 3" BASE, FINISH MATCH AS LIGHTING FIXTURE

EX. METAL DECORATION ORNAMENT

EX. METAL PANEL

NEW WOOD PANEL

2" THK. BLACKENED METAL LETTER SIGN

NEW 0.157 PAF'S (TYP.)

NEW L4X4X120A

NEW L4X4X120A HANGER AT 1/2 POINTS

NEW MECHANICAL LOUVER TRANSOM

NEW RETRACTABLE AWNING BRACKET

NEW 1"x1" HEADER W/ SOLID WOOD BLOCKING @ ATTACHMENT POINTS SEE LEGEND IS-201 FOR SIZE & INFO

NEW RETRACTABLE AWNING

NEW 3-5/8x16 @ 12" O.C.

1"x2" HEADER SEE LEGEND IS-201 FOR SIZE & INFO

EXISTING PIER AT FACADE TO REMAIN UNDISTURBED

13'-10"

8'-11 1/2"

10'-0"

9'-9"

ALONG

PATCH AND REPAIR EXISTING COLUMN BEYOND

NEW GARAGE DOOR

NEW WOOD CLADDING AT EXISTING CURB

EX. SIDEWALK

EX. CASTIRON COLUMN TO REMAIN

BLOCKING AS REQUIRED

METAL FRAME

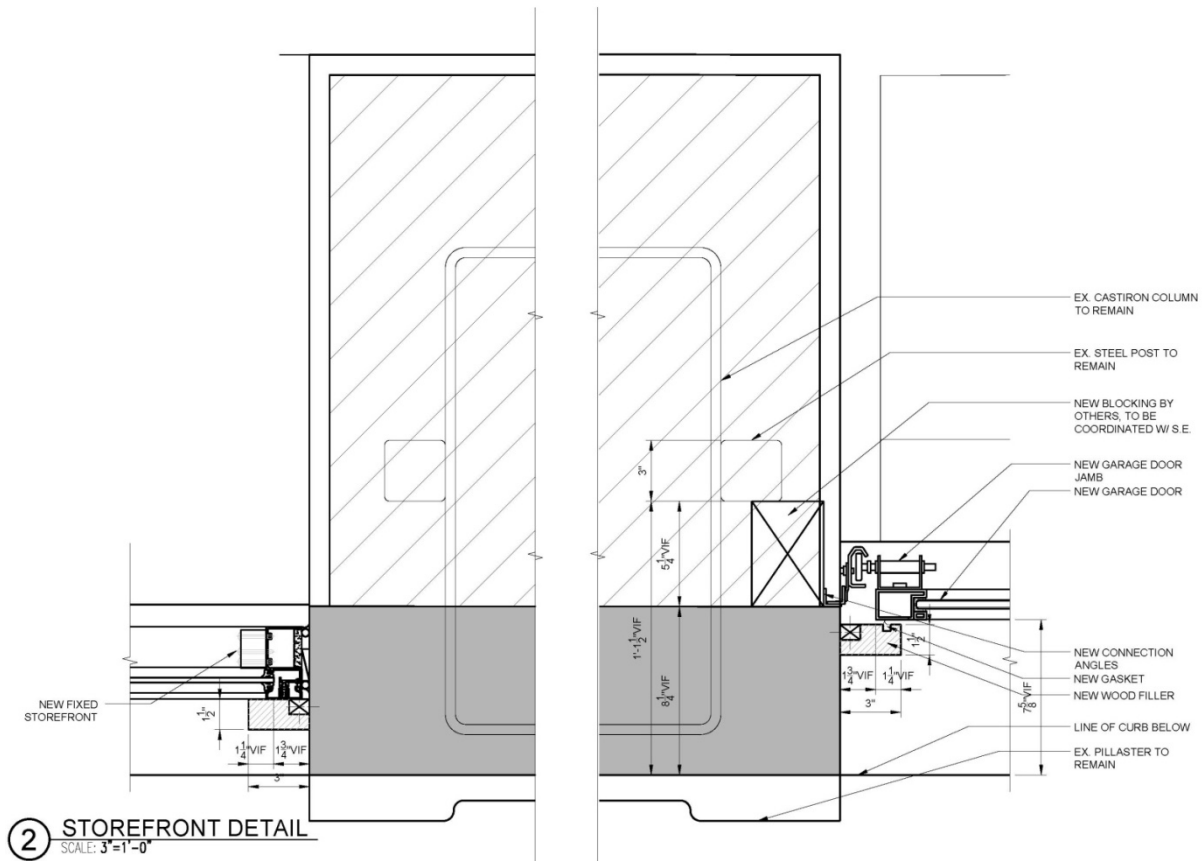
NEW DOOR

EX. STEEL POST TO REMAIN

1'-0" SET BACK



# DETAIL OF OPERABLE STOREFRONT



# THE MERMAID INN SECOND AVE WITH TRADEMARK OPERABLE STOREFRONT





# **THE MERMAID INN AMSTERDAM AVE**

## **WITH TRADEMARK OPERABLE STOREFRONT**





The Mermaid Inn

3/4" THK. BLACKENED  
METAL LETTER SIGN

(5) ENLARGED SIGNAGE ELEVATION  
SCALE: 1 1/2"=1'-0"



GIDICH + SEPÚLVEDA ARCHITECTURE

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+1(917)250-8999

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**LPC FILING SET FOLLOWS**



LPC SUBMISSION

# MERMAID INN - RESTAURANT

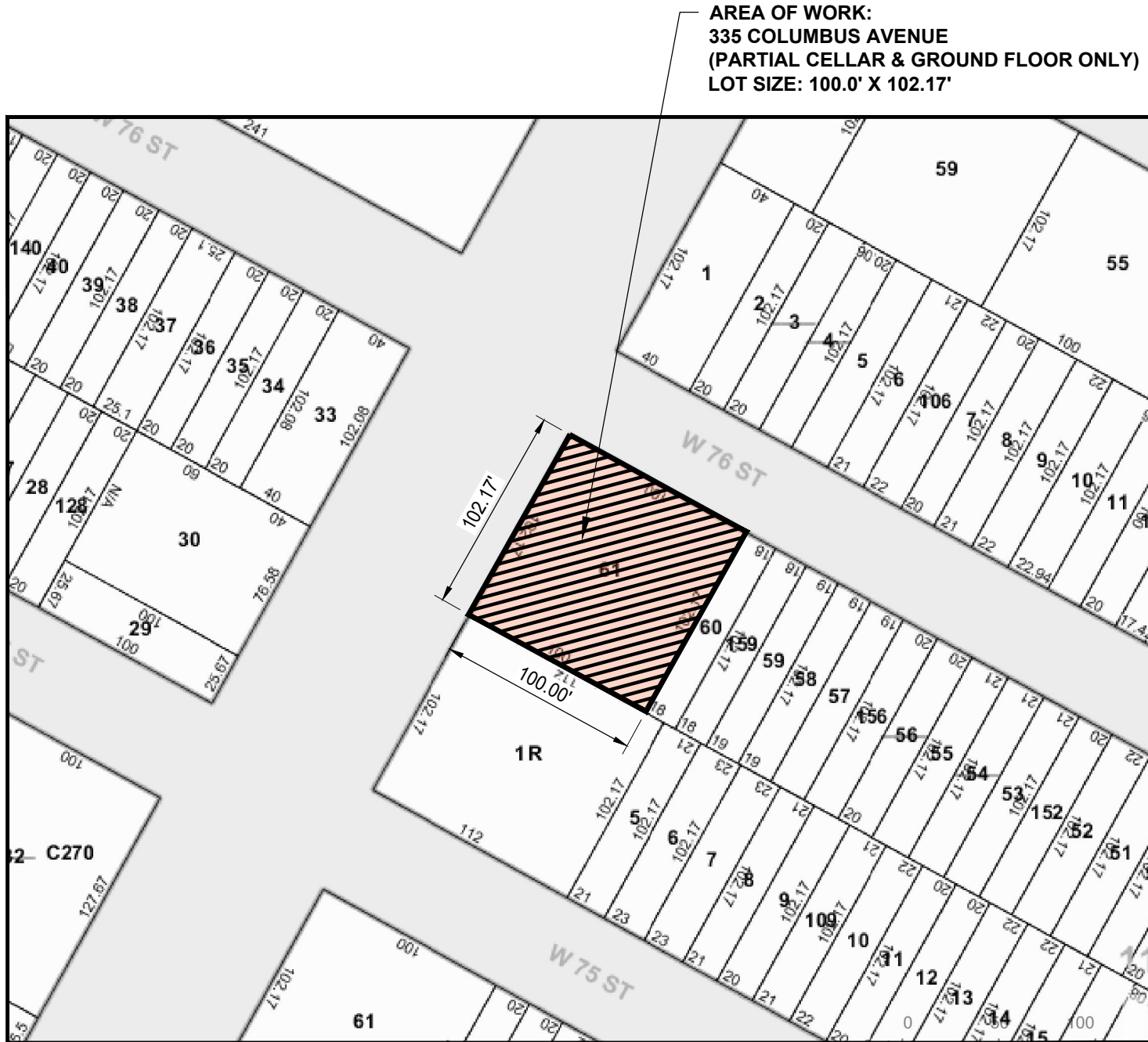
## 335 COLUMBUS AVENUE

## NEW YORK, NY 10023

MANHATTAN COUNTY/ BLOCK: 1128/ LOT: 61



1 KEY MAP  
SCALE: NTS



2 PLOT PLAN  
SCALE: NTS

### GENERAL CONDITIONS

- GENERAL - ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2014 NEW YORK CITY BUILDING CODE, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL SAFETY - CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING AS REQUIRED WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
- HEALTH REQUIREMENTS - DEBRIS, DIRT AND DUST SHALL BE KEPT TO A MIN. AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA AND BE CLEANED AND CLEARED FROM THE BUILDING PERIODICALLY TO AVOID EXCESS ACCUMULATION.
- THERE WILL BE ABSOLUTELY NO CHANNELING OF STRUCTURAL SLABS, DEMISING WALLS AND EXTERIOR WALLS OR PIPE CHASE / SHAFT.
- WHERE NEW ELECTRICAL DEVICES ARE LOCATED ON SHAFT WALL, THE WALL MUST BE FURRED OUT TO ACCOMMODATE THE DEVICES SO AS NOT TO VIOLATE THE INTEGRITY OF THE RATED ENCLOSURE.
- THERE WILL BE NO REMOVAL OF MASONRY BACK UP MATERIAL AT EXTERIOR OR SHAFT WALLS FOR INSTALLATION OF JUNCTION BOXES, ETC.
- THERE WILL BE NO REDUCTION IN FIRE RATING OF THE COLUMN ENCLOSURE. IF ANY FIREPROOFING IS DISTURBED IT MUST BE REPLACED BY THE CONTRACTOR
- NO OFFSET OF RISERS (PLUMBING, GAS ETC.) WILL BE PERMITTED.
- FOR ALL RISERS (PLUMBING, GAS ETC.) ACCESS TO RISER SHUTOFF MUST BE MAINTAINED.

### BUILDING CODE NOTES

- ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH THE CITY OF NEW YORK BUILDING CODE, THE CITY OF NEW YORK FIRE CODE, THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTIVE ASSOCIATION REQUIREMENTS AND ALL FEDERAL, STATE AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK.
- BEFORE COMMENCING WORK, ALL REQUIRED PERMITS SHALL BE SECURED IN TIMELY MANNER AND SHALL BE CONSPICUOUSLY POSTED IN ACCORDANCE WITH NYC CODE SUBCHAPTER #1, NYC CODE SUBCHAPTER #1.
- REQUIRED INSPECTIONS AND TESTS OF MATERIALS DESIGNATED FOR SPECIAL INSPECTION AND PROGRESS INSPECTION SHALL BE MADE BY AN ARCHITECT OR ENGINEER WHO SHALL BE, OR SHALL BE ACCEPTABLE TO THE ARCHITECT OR ENGINEER WHO PREPARED OR SUPERVISED THE PREPARATION OF THE PLANS.
- REQUIRED APPROVALS AND PERMITS SHALL BE OBTAINED FROM THE NYC DEPARTMENT OF HIGHWAYS, THE DEP AND ANY OTHER AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND CLEARANCES IN FIELD, BEFORE COMMENCING WORK, AND NOTIFY THE ARCHITECT IF CONFLICTING CONDITIONS OR IF DISCREPANCIES EXIST.
- DIMENSIONS ON DRAWINGS ARE FOR DESIGN ONLY. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- ALL DIMENSIONS ARE TO THE FACE OF FINISHES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE BRACINGS AND SHORING FOR ALL STRUCTURAL OR

REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF WORK.

- THE CONTRACTOR SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES - PLUMBING, ELECTRICAL, ETC.
- MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL CONTAIN AND REMOVE ALL CONSTRUCTION DEBRIS AND TRASH IN A PROMPT AND LEGAL MANNER.
- NO WORK SHALL BE CONDUCTED BEYOND THE PROPERTY LINES.
- THE CONTRACTOR SHALL COMPLY WITH LOCAL LAW 33-2007 NOTICE OF COMMENCEMENT OF WORK REGULATION.
- THE PROPOSED WORK SHALL COMPLY WITH SEISMIC DETAILS AS PER LOCAL LAW 17/95 AND 2014 NYC BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE ONE RECORD COPY OF ALL DRAWINGS, APPROVED SHOP DRAWINGS, AND APPROVED SAMPLES, MARKED CURRENTLY TO RECORD ALL CHANGES DURING CONSTRUCTION.
- THE OWNER WILL FILE THE PROJECT WITH THE NYC DEPARTMENT OF BUILDINGS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS TO DO THE WORK.
- ALL PLUMBING WORK WILL BE DONE BY A NEW YORK CITY LICENSED PLUMBER AND ALL ELECTRICAL WORK WILL BE DONE BY A NEW YORK CITY LICENSED ELECTRICIAN

### TENANT PROTECTION PLAN AND SAFETY NOTES

- EGRESS - CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING. ALL EXISTING MEANS OF EGRESS SHALL BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY - ALL LAWS AND CONTROLS WITH RESPECTED TO OCCUPIED FIRE SAFETY - ALL LAWS AND CONTROLS WITH RESPECTED TO OCCUPIED AT CONSTRUCTION AREA AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA.
- HEALTH REQUIREMENTS - CONSTRUCTION WORK WILL BE CONFINED TO THE AFFECTED APARTMENT AND WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO OTHER APARTMENT UNITS WITHIN THE BUILDING. DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL, & MAINTENANCE OF SANITARY FACILITIES SHALL BE PERFORMED ON A DAILY BASIS.
- COMPLIANCE WITH HOUSING STANDARDS. - THE REQUIREMENTS OF THE NYC HOUSING MAINTENANCE CODE, AND THE NYC MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- STRUCTURAL SAFETY - NO STRUCTURAL WORK WILL BE PERFORMED THAT WILL ENDANGER THE OCCUPANTS OF THE BUILDING.
- NOISE RESTRICTIONS - CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8:30 A.M. TO 4:30 P.M. MONDAY THROUGH FRIDAY, EXCEPT LEGAL HOLIDAYS. ANY WORK WHICH CAN PRODUCE NOISE THAT MIGHT BE DISTURBING TO BUILDING OCCUPANTS MAY BE DONE ONLY AFTER 10:00 AM. AND MUST BE COMPLETED BEFORE 4:00 P.M. ALL WORKERS MUST BE OUT OF THE BUILDING BY 5:00 PM.
- THERE WILL BE NO ONE OCCUPYING THE SPACE TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.
- THE USE OF PNEUMATIC OR POWER TOOLS WHICH MAY DISTURB OTHER OCCUPANTS OF THE BUILDING WILL NOT BE PERMITTED EXCEPT ON A LIMITED BASIS WHERE ABSOLUTELY NECESSARY.

### PROJECT INFO

#### BUILDING OWNER

OLSHAN PROPERTIES  
800 MADISON AVENUE 14TH FLOOR NEW YORK, NY 10022  
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E: QOWOKONIRAN@OLSHANPROPERTIES.COM

#### ARCHITECT/ DESIGNER

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#### PROJECT MANAGEMENT

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### SCOPE OF WORK

#### ALTERATION TYPE 1

EATING/ DRINKING ESTABLISHMENT - INTERIOR/ EXTERIOR RENOVATION (NEW INTERIOR PARTITIONS/ EQUIPMENT/ MILLWORK/ DOORS/ LIGHTING/ LOW-VOLTAGE/ MEP ALTERATIONS/ ETC.) AT PARTIAL CELLAR AND GROUND FLOOR LEVEL ONLY.

USE GROUP WILL BE MAINTAINED.

THE PROJECT WILL BE FILED USING THE 1968 NYC BUILDING CODE.

\*CHANGE OF USE/ OCCUPANCY & EGRESS\*

### BUILDING CODES REF.

CITY OF NEW YORK BUILDING CODE 1968

☐ New Construction ☒ Renovation (Existing Bldg.)

☐ Upfit ☒ Alteration ☐ Reconstruction

FIRE CODE:

NEW YORK CITY 2022

MECHANICAL CODE:

NEW YORK CITY 2022

PLUMBING CODE:

NEW YORK CITY 2022

ELECTRICAL CODE:

NEW YORK CITY 2022

ENERGY CONSERVATION CODE

2020 NYC ENERGY CONSERVATION CODE

ACCESSIBILITY CODE:

ICC A117.1/ LOCAL AMENDMENTS

### SITE AND BUILDING DATA

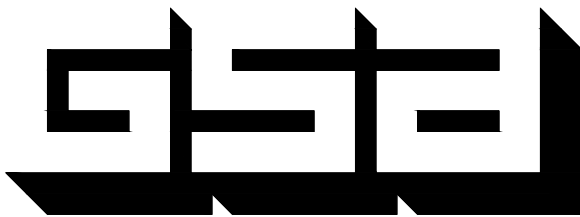
ITEM	DATA
BLOCK NO.	1128
LOT NO.	61
DISTRICT	MANHATTAN 8
ZONE	C1-8A
MAP	8C
EXISTING OCCUPANCY	J-2
EXISTING CONSTRUCTION CLASS	IIB
EXISTING USES (GROUPS)	E
LOT AREA	10,216 S.F.
BUILDING HEIGHT	7 STORIES
**NOTES:	

### SHEET LIST

NO.	SHEET NO.	SHEET NAME	REVISION NUMBER	REVISION DATE	STATUS
1	LPC-001.00	TITLE PAGE / PROJECT INFO / NOTES & DRAWING INDEX			AS SHOWN
2	LPC-001.00	FIRST FLOOR PLAN			AS SHOWN
3	LPC-002.00	EXTERIOR ELEVATION			AS SHOWN
4	LPC-003.00	STOREFRONT & DINING ROOM ENLARGED SECTIONS			AS SHOWN
5	LPC-004.00	STOREFRONT SECTION & ACOUSTICAL CEILING DETAIL			AS SHOWN
6	LPC-005.00	SPECIFICATIONS			AS SHOWN
7	LPC-006.00	REFERENCE RENDERINGS			AS SHOWN

\* REFER TO ALL OTHER ARCHITECTURAL/ ENGINEERING DRAWINGS FOR ALL SCOPE OF WORK PERTAINING TO THE RENOVATION OF THE EXISTING BUILDING/ SPACE AND OTHER SITE RELATED ELEMENTS.

ARCHITECT/ DESIGNER



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STRUCTURAL ENGINEER

THE EIPEL ENGINEERING GROUP, D.P.C.

307 7TH AVENUE, 18TH FLOOR NEW YORK, NY 10001

TEL: (212) 695-5120 FAX: (212) 695-5158

PROJECT: INTERIOR/ EXTERIOR RENOVATION

**THE MERMAID INN**

335 COLUMBUS AVENUE,  
NEW YORK, NY 10023

ISSUE/ REVISIONS

MARK	DATE	DESCRIPTION
	05.23.23	ISSUED FOR LL REVIEW
	06.30.23	ISSUED FOR LL REVIEW
	07.12.23	ISSUED FOR CONST/ ALT2
	08.06.23	ISSUED FOR CONST/ DEMO
	09.15.23	ISSUED INTERNAL REVIEW
	09.22.23	80% COMPLETE CD SET
	10.16.23	ISSUED DOB COMMENTS/ ALT2
	10.27.23	ISSUED FOR CONSTRUCTION
	11.01.23	ISSUED FOR TPP
	11.21.23	ISSUED FOR 100% IFC
	01.05.24	ISSUED FOR LPC REVIEW
	01.23.24	ISSUED FOR LPC REVIEW
	02.06.24	ISSUED FOR CONSTRUCTION_REV1

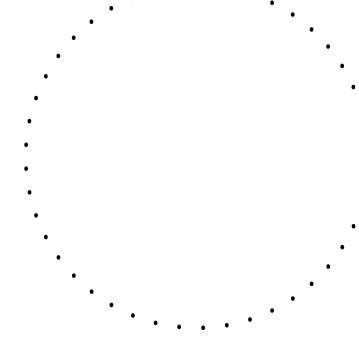
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PROJECT NUMBER: 23005

DATE	DRAWN BY	CHECKED BY
02.06.24	HI	ZG/ DS

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SHEET TITLE:

**TITLE PAGE / PROJECT INFO /  
NOTES & DRAWING INDEX**

DRAWING NO.

# LPC-001.00

FLRS:

CELLAR/ GROUND

01 of 49



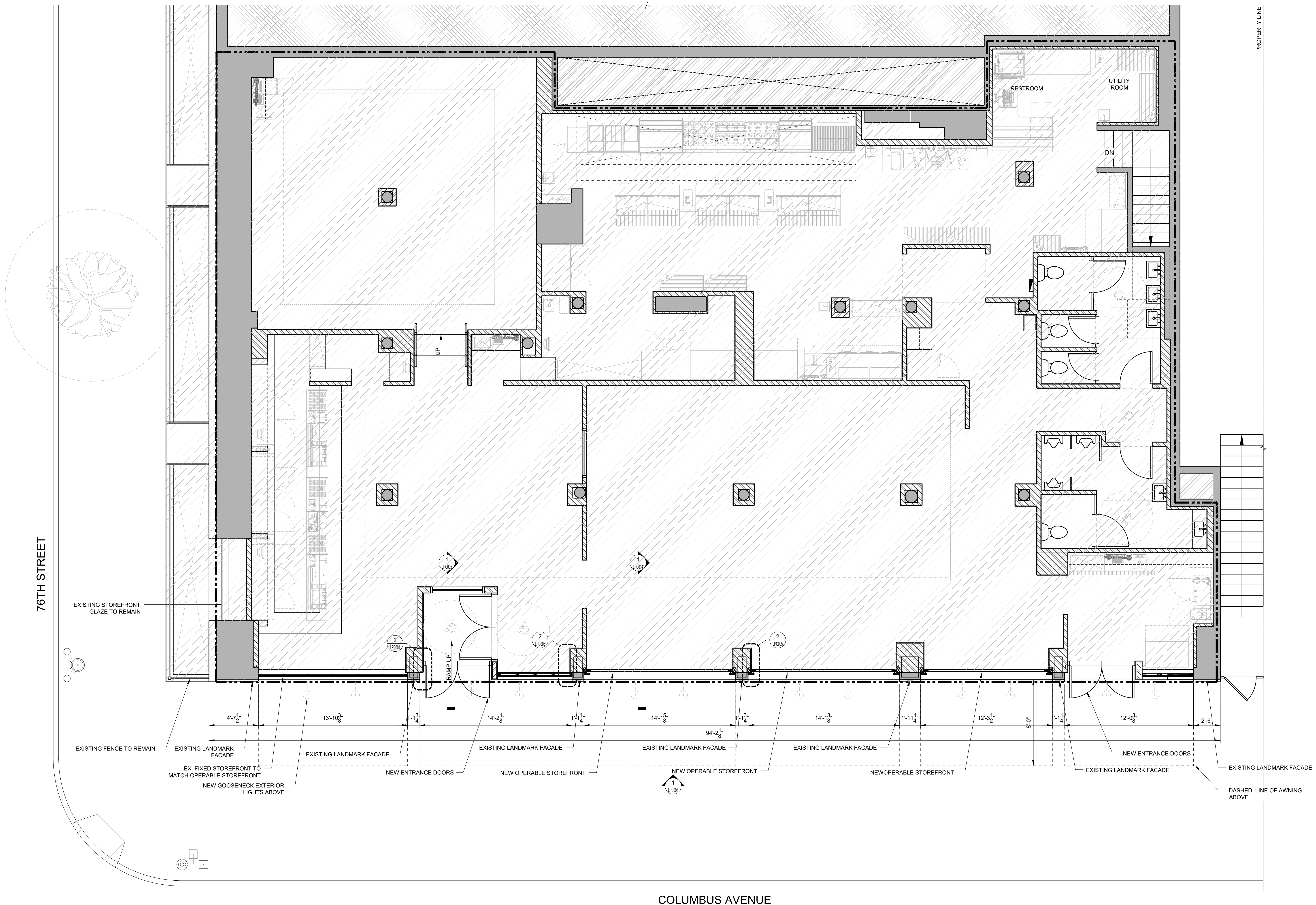
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ISSUE/ REVISIONS		
MARK	DATE	DESCRIPTION
	01.05.24	ISSUED FOR LPC
	01.23.24	ISSUED FOR LPC
	02.02.24	ISSUED FOR REVIEW
	02.06.24	ISSUED FOR LPC

SEAL/ SIGNATURE:

**LPC-002.00**

02 of 07

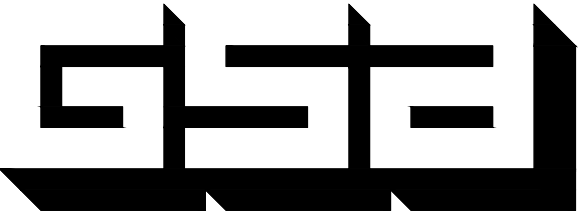


1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



T.O. PARAPET  
±81'-9 1/4" VIF

ARCHITECT



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PROJECT: INTERIOR/ EXTERIOR RENOVATION  
**THE MERMAID INN**  
335 COLUMBUS AVENUE,  
NEW YORK, NY 10023

ISSUE/ REVISIONS

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	01.05.24	ISSUED FOR LPC
	01.23.24	ISSUED FOR LPC
	02.02.24	ISSUED FOR REVIEW
	02.06.24	ISSUED FOR LPC

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PROJECT NUMBER: 23005

DATE	DRAWN BY	CHECKED BY
02.06.24	DS/HL	ZG/ DS

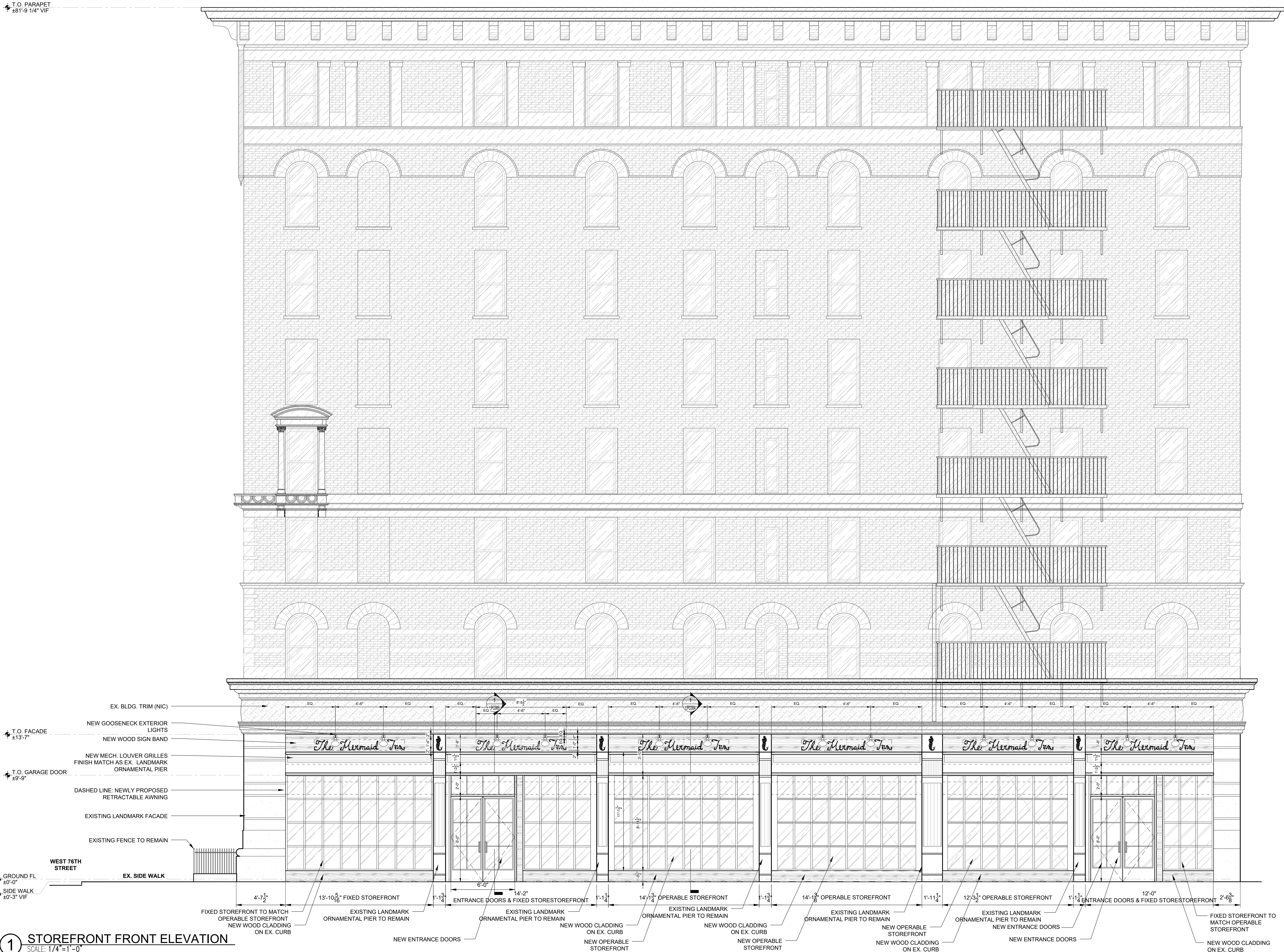
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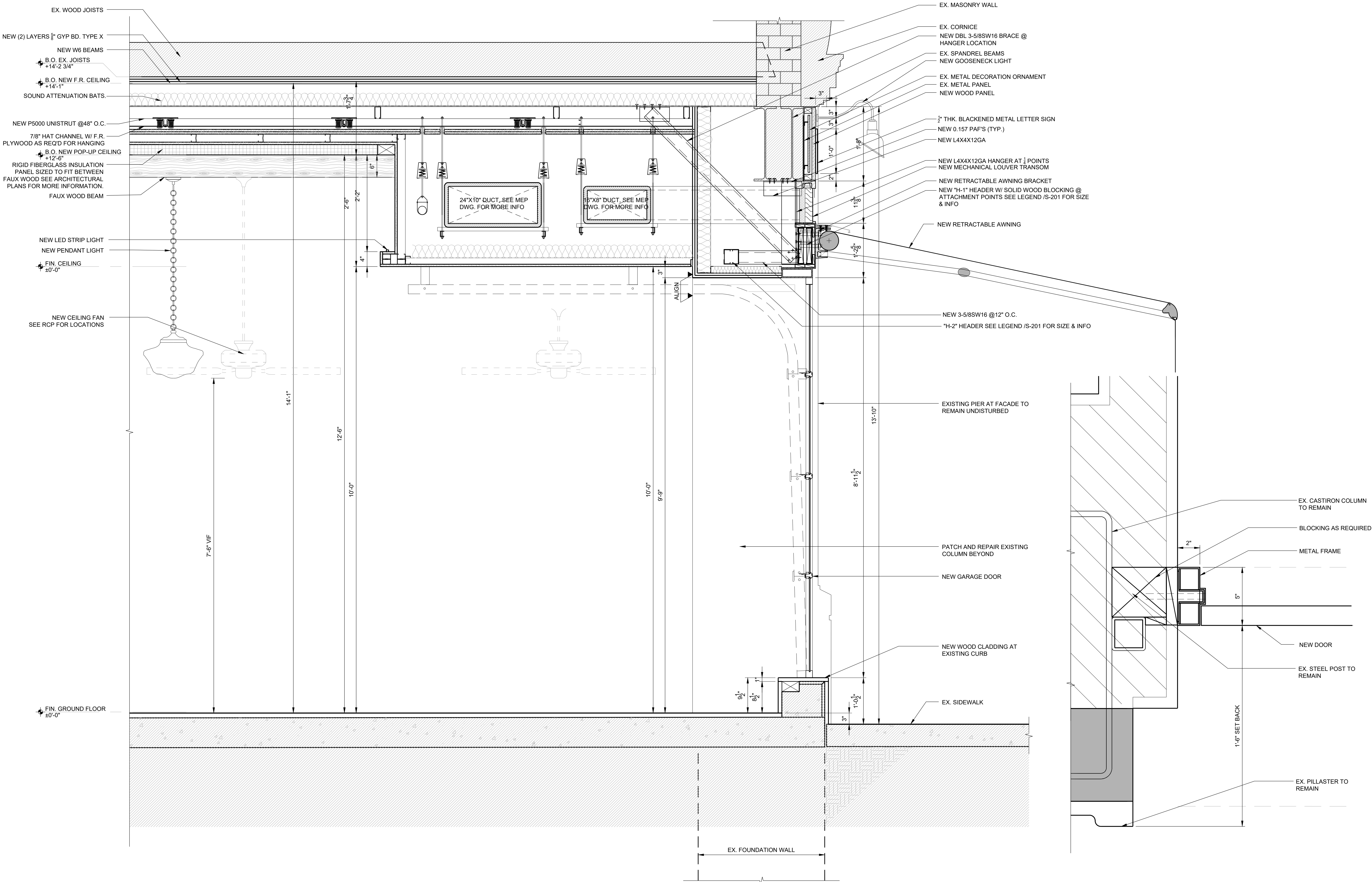
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SHEET TITLE:  
**EXTERIOR ELEVATION**

DRAWING NO.

**LPC-003.00**

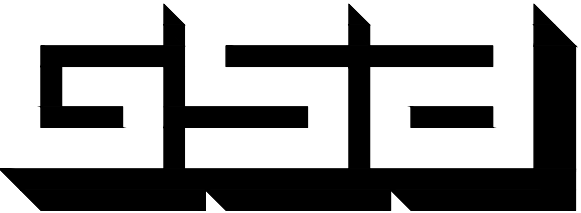




1 SECTION THRU GARAGE DOOR  
SCALE: 1"=1'-0"

2 NEW DOOR JAMB DETAIL W/ EX. PILLAR  
SCALE: 3"=1'-0"

ARCHITECT



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PROJECT: INTERIOR/ EXTERIOR RENOVATION  
**THE MERMAID INN**  
335 COLUMBUS AVENUE,  
NEW YORK, NY 10023

ISSUE/ REVISIONS

MARK	DATE	DESCRIPTION
	01.05.24	ISSUED FOR LPC
	01.23.24	ISSUED FOR LPC
	02.02.24	ISSUED FOR REVIEW
	02.06.24	ISSUED FOR LPC

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PROJECT NUMBER: 23005

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02.06.24	DS/HS	ZG/ DS

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SHEET TITLE:  
**STOREFRONT & DINING  
ROOM ENLARGED  
SECTIONS**

DRAWING NO.

**LPC-004.00**



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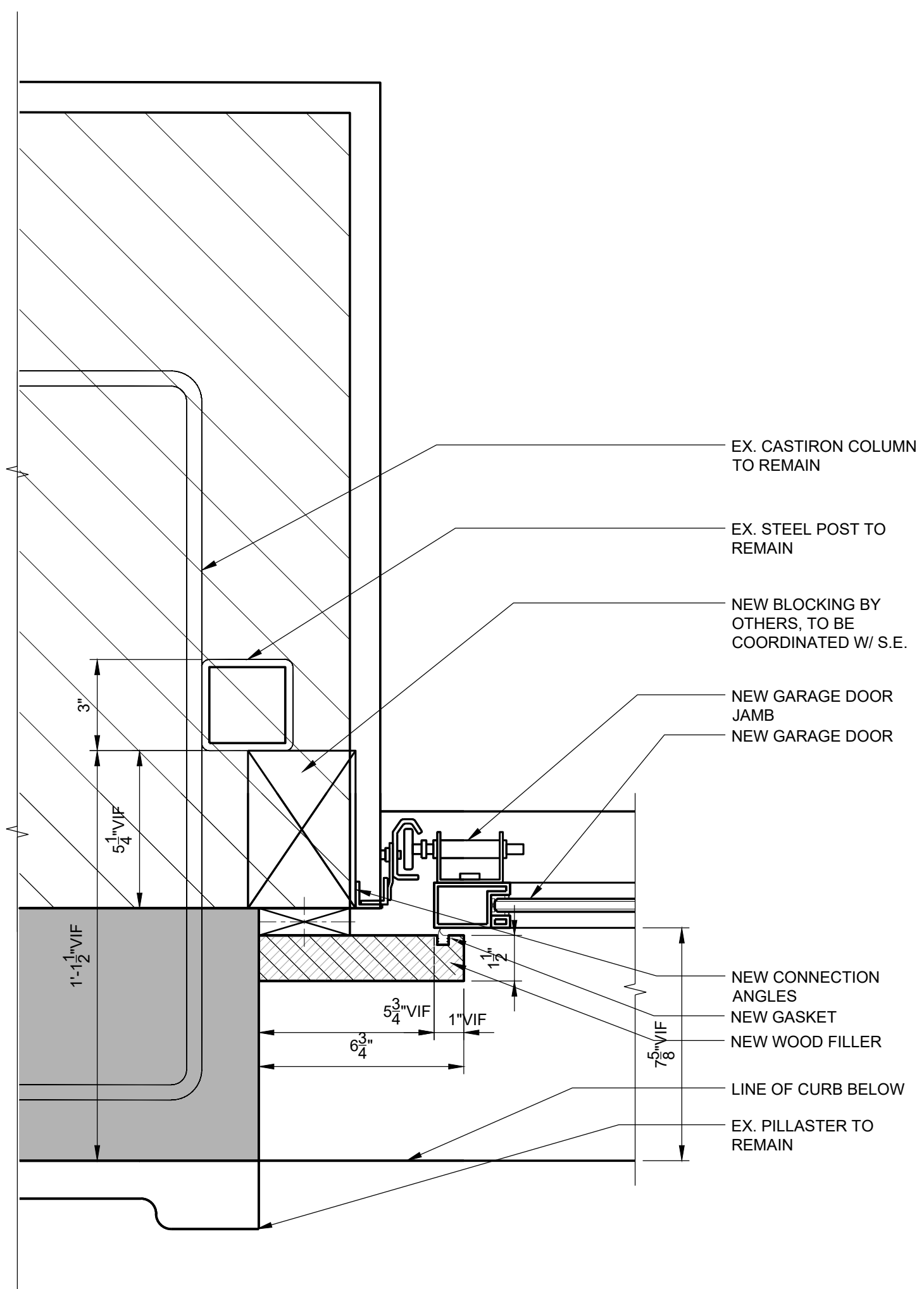
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NEW YORK, NY 10023

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	01.23.24	ISSUED FOR LPC
	02.02.24	ISSUED FOR REVIEW
	02.06.24	ISSUED FOR LPC

SEAL/ SIGNATURE

**LPC-005.00**

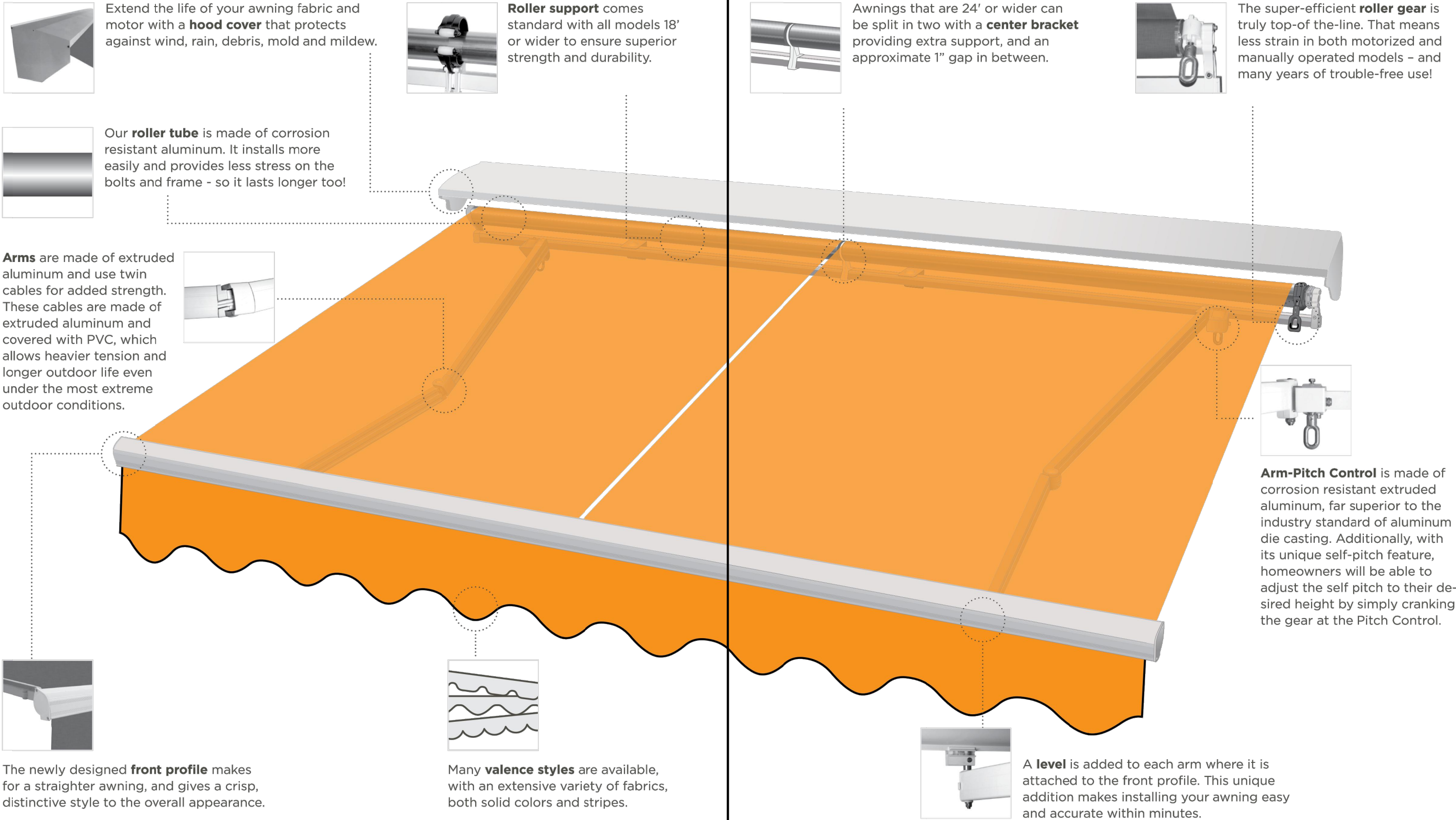


- NEW GARAGE DOOR JAMB
- NEW GARAGE DOOR

- NEW CONNECTION ANGLES
- NEW GASKET
- NEW WOOD FILLER
- LINE OF CURB BELOW
- EX. PILLASTER TO REMAIN



AWNING  
COMPONENTS & FEATURES



4

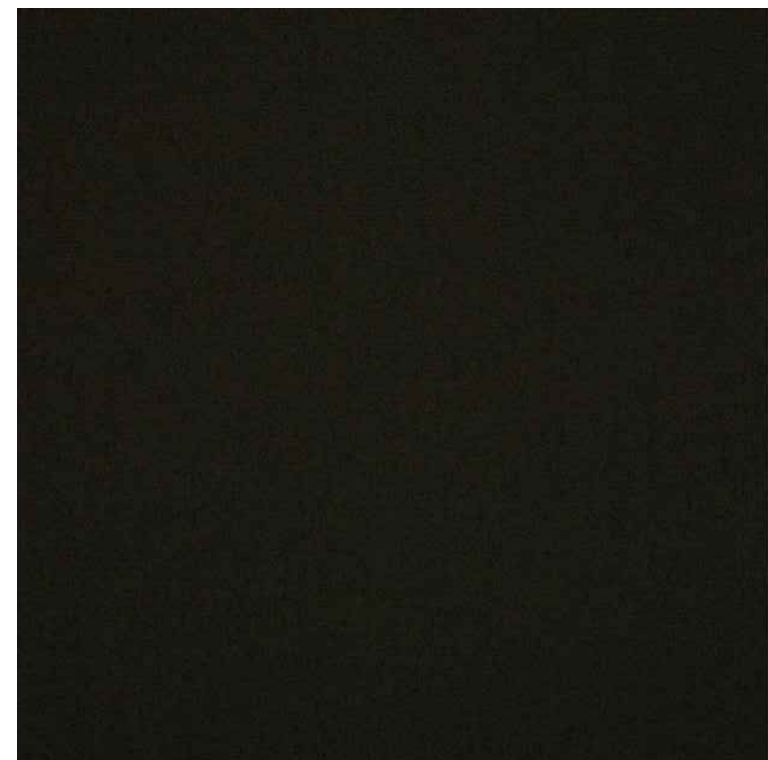
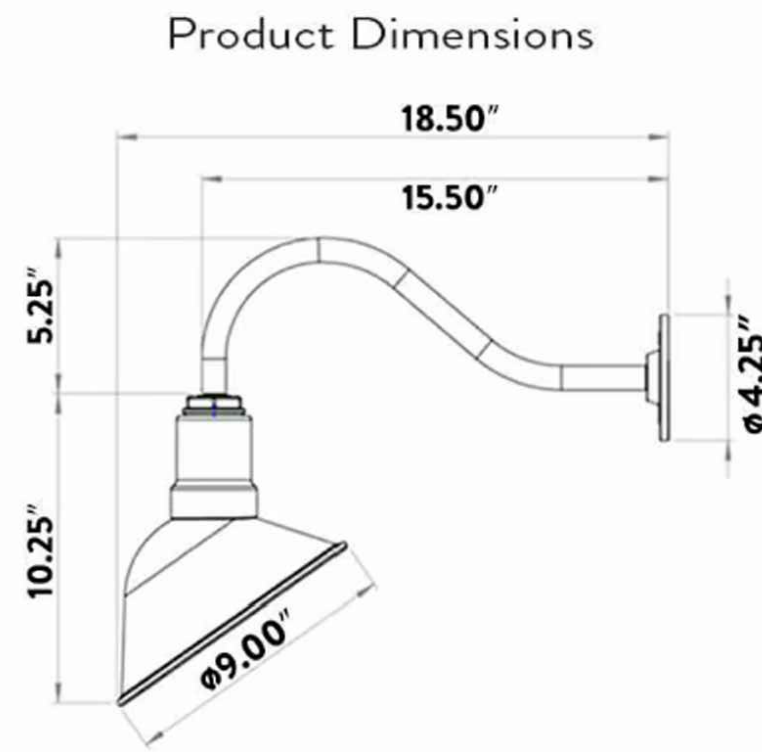
1 AWNING SPECIFICATIONS  
SCALE: NTS

Venice Wall Mounted Light | Indoor & Outdoor Decor & Sign Light

Venice Wall Mounted Light | Industrial Barn House Lighting Fixture



2 GOOSENECK LIGHTING SPECIFICATIONS  
SCALE: NTS



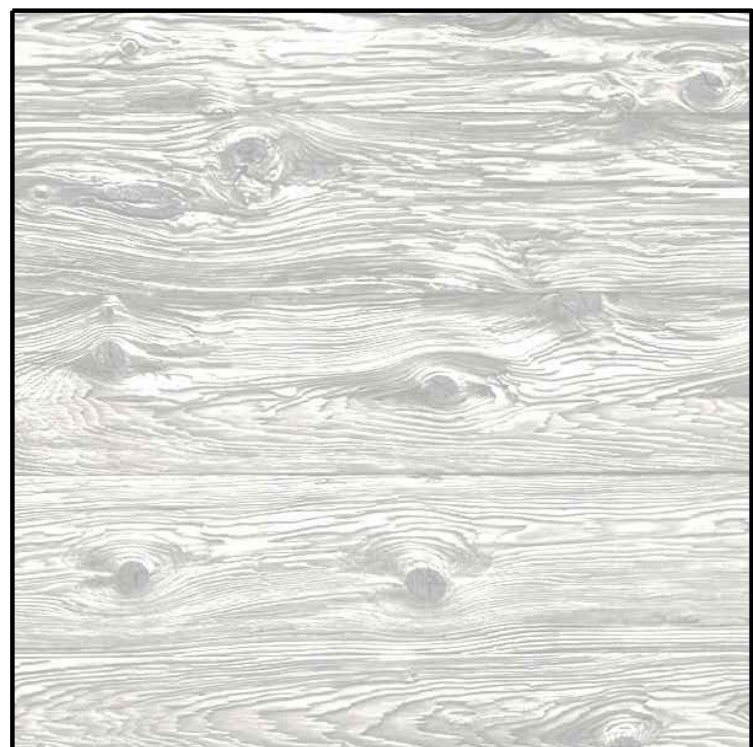
SUNBRELLA AWNING PLUS BLACK 60" FABRIC

3 AWNING FABRIC SPECIFICATIONS  
SCALE: NTS

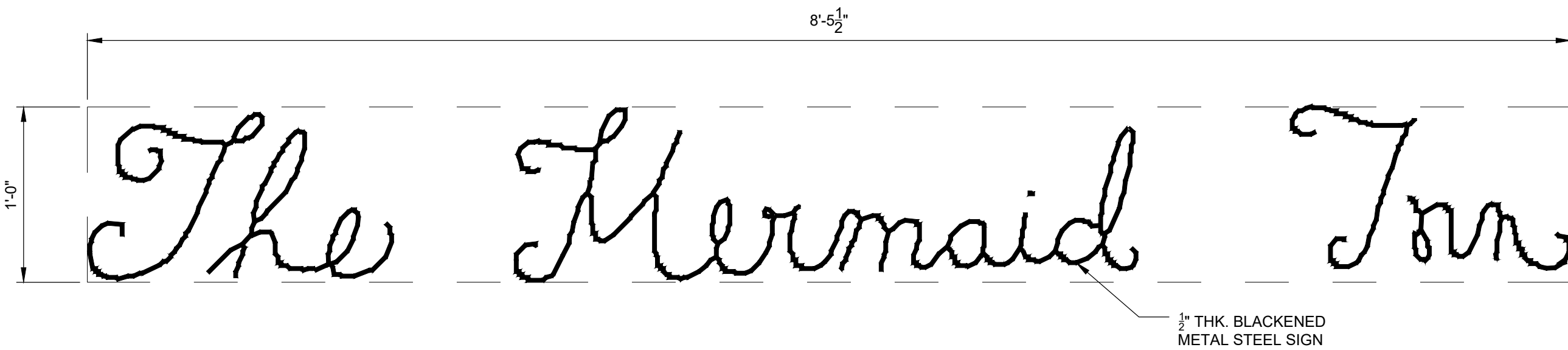


BENJAMIN MOORE OC-65 CHANTILLY LACE

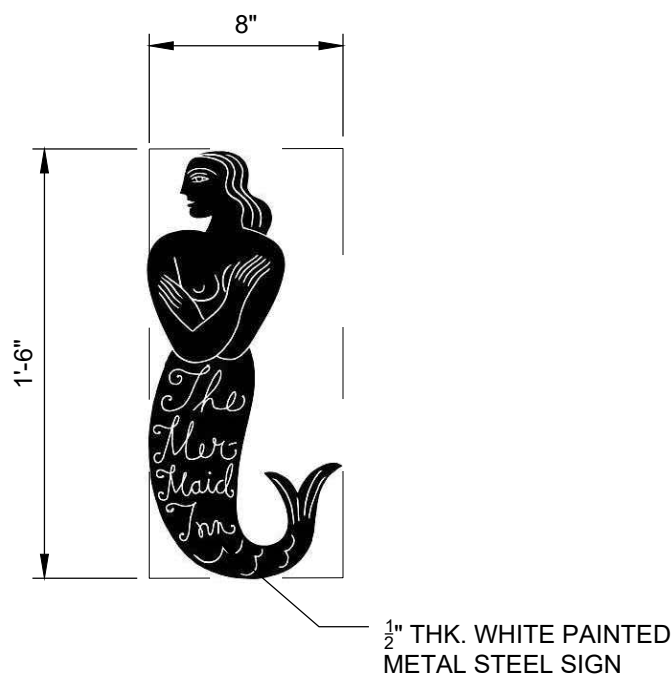
4 STOREFRONT COLOR SPECIFICATIONS  
SCALE: NTS



5 NEW WOOD CLADDING IMAGE  
SCALE: NTS



5 ENLARGED SIGNAGE ELEVATIONS  
SCALE: 1 1/2" = 1'-0"



LT50 RA CMO

(Rapid Limit Adjustment - Compact Manual Override)

525A2 CMO 1043010  
530R2 CMO 1045017  
535A2 CMO 1047006

540R2 CMO 1049026  
550R2 CMO 1051014



Offers control via power switching

Technical Features

Voltage Supply

120V AC, 60Hz

Index Protection

IP 44

Limit Switch Type

Rapid Adjustment (RA)  
(includes manual override)

Limit Switch Capacity

34 Turns

Temperature Working Range

14°F to 104°F (-10°C to 40°C)

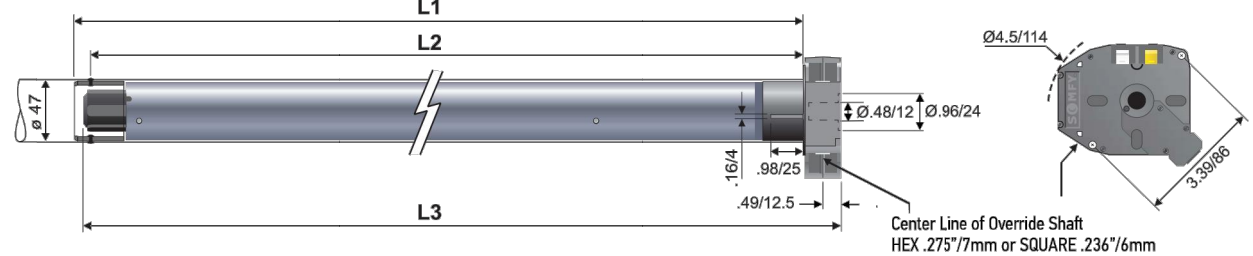
Insulation Class

Class 1 for 120V AC

Wiring

Do not parallel wire.

Dimensions



Dimensions	525A2 CMO	530R2 CMO	535A2 CMO	540R2 CMO	550R2 CMO
L1	23.39 in. (594 mm)	23.39 in. (594 mm)	26.14 in. (664 mm)	26.14 in. (664 mm)	26.14 in. (664 mm)
L2	22.80 in. (579 mm)	22.80 in. (579 mm)	25.55 in. (649 mm)	25.55 in. (649 mm)	25.55 in. (649 mm)
L3	23.90 in. (607 mm)	23.90 in. (607 mm)	26.65 in. (677 mm)	26.65 in. (677 mm)	26.65 in. (677 mm)
Cable Length	6 ft. (1.8 m)				

Specifications

	525A2 CMO	530R2 CMO	535A2 CMO	540R2 CMO	550R2 CMO
Torque	25 Nm	30 Nm	35 Nm	40 Nm	50 Nm
Nominal Voltage	120V / 60Hz				
Rated Current	1.6A	1.5A	2.1A	1.8A	2.1A
Speed	20 rpm	14 rpm	20 rpm	14 rpm	14 rpm
Thermal Protection	5 minutes				

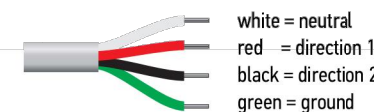
Optional CMO 4C cables available in varying lengths with open leads.

Type of power cable

Wired

120V AC / 60Hz

4-conductor cable



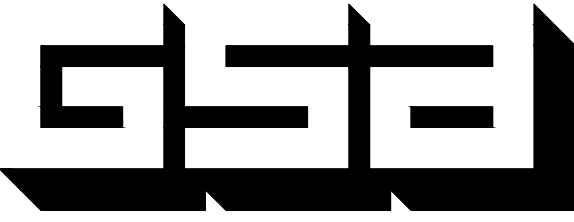
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ARCHITECT



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ISSUE/ REVISIONS

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2. GC TO NOTIFY ARCHITECT/ OWNER OF ANY DISCOVERABLES AND/OR DISCREPANCIES.  
3. GC IS RESPONSIBLE TO CARRY OUT ALL ITEMS THROUGH-OUT BUILDING AS PER DESIGN LAYOUT & WORK OF SCOPE, INCLUDING MEP/ STRUCTURE/ FINISHES/ MILLWORK/ ETC.

PROJECT NUMBER: 23005

DATE

02.06.24

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SHEET TITLE:

SPECIFICATIONS

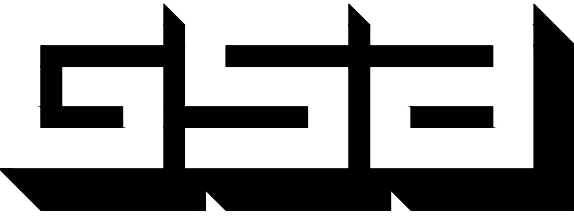
DRAWING NO.

LPC-006.00





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