

# THE MERMAID INN . 331 COLUMBUS AVENUE . MANHATTAN

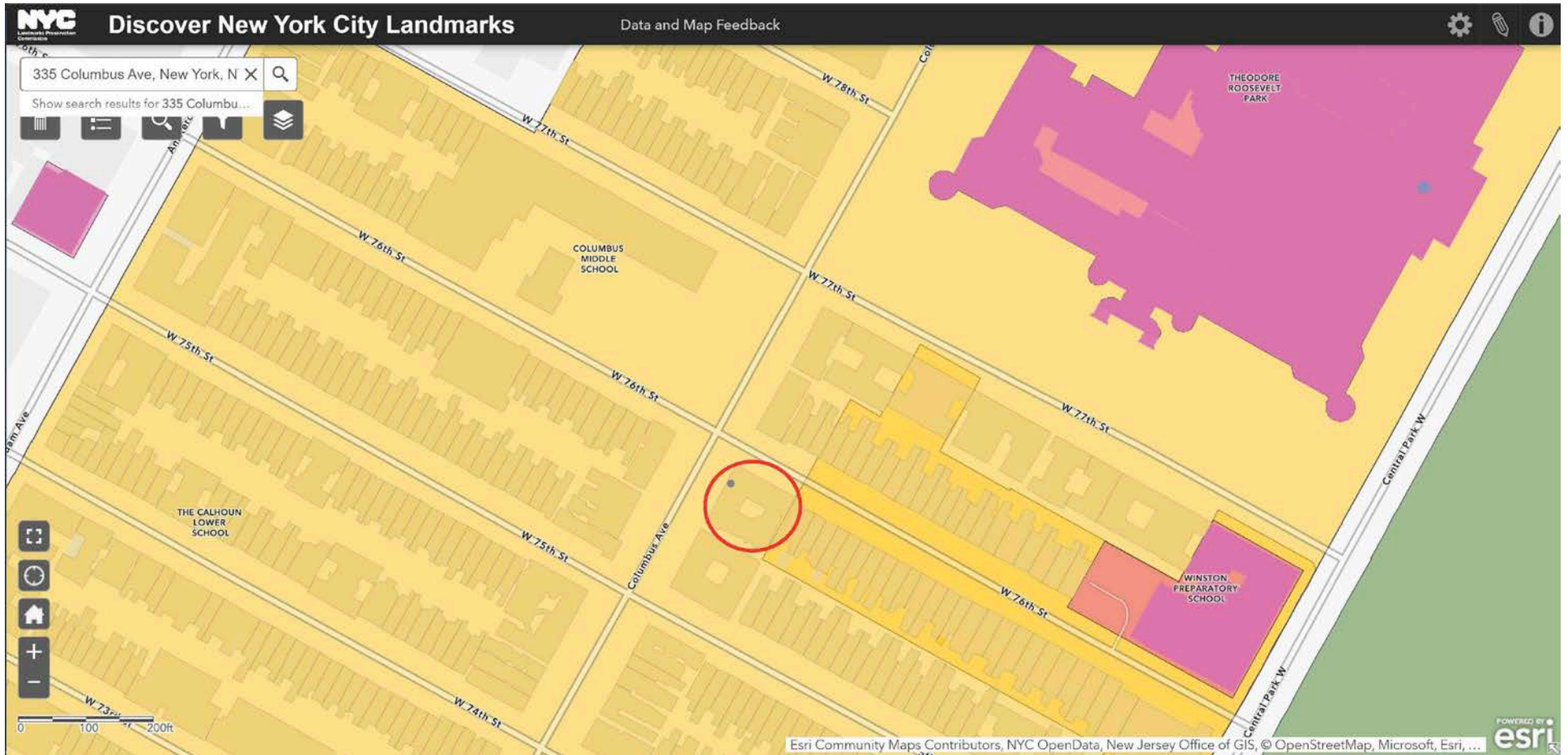
## STOREFRONT PROPOSAL

LANDMARKS PRESERVATION COMMISSION . 19 MARCH 2024



GIDICH + SEPÚLVEDA ARCHITECTURE

GUARDIA | ARCHITECTS



**Project location:**  
**Columbus Avenue . Southeast corner of West 76<sup>th</sup> Street . Manhattan**  
**Upper West Side / Central Park West Historic District**  
**Manhattan Community Board Seven**

## 1930s tax photo

*Historic photos  
are uninformative  
about original conditions*





## 1980s Tax Photo

*No changes are proposed to the West 76<sup>th</sup> Street Storefront  
Existing historic elements were covered over at each storefront*





## DESIGNATION PHOTOS (1990)







# Existing conditions: Formerly The Gap / Chase Bank

Modern glass storefront with historic iron pilasters exposed







*Note panels where former Chase signs were erected without permits*









# EXISTING ELEVATION / COLUMBUS AVENUE

*Former sign panels not shown for clarity*



EXISTING FRONT ELEVATION

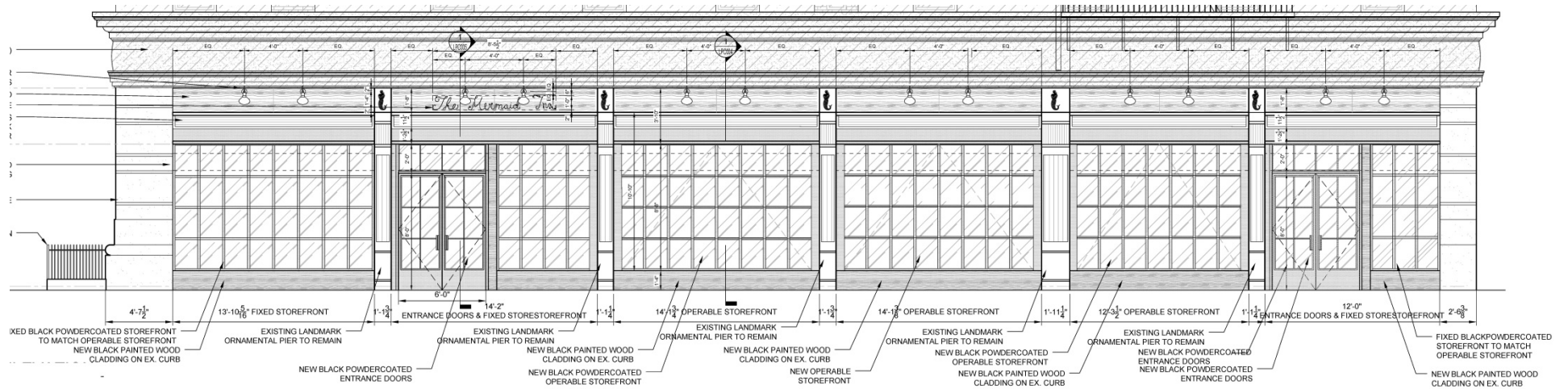
## Post Designation:

- The Gap (1994)
- Adapted by Chase Bank (2005)

Sign violations:  
Corrected 2018



**New storefronts within historic openings**  
**New signboard replacing previous non-historic decorative metal**







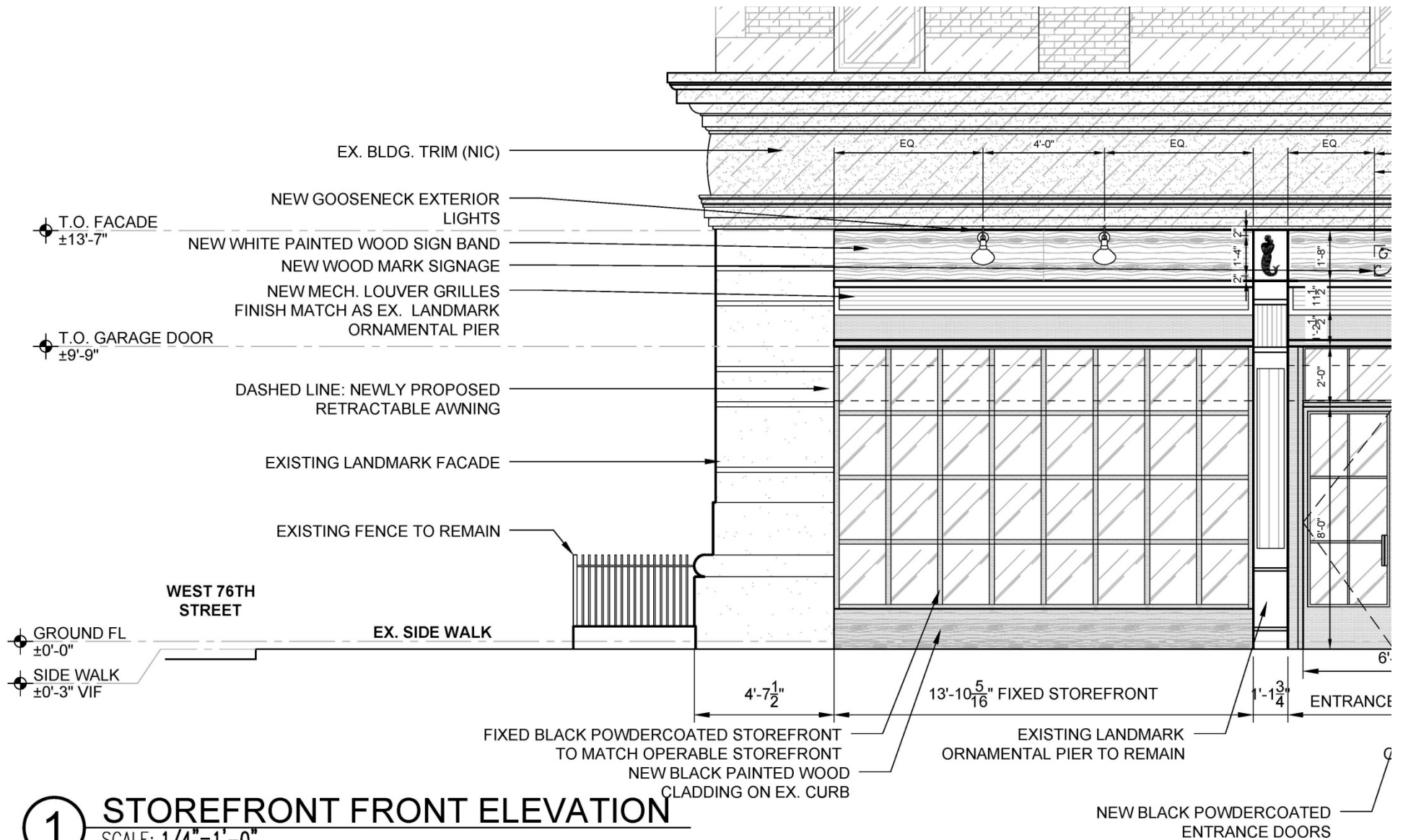






# PROPOSED ELEVATION / COLUMBUS AVENUE / DETAIL

## North end









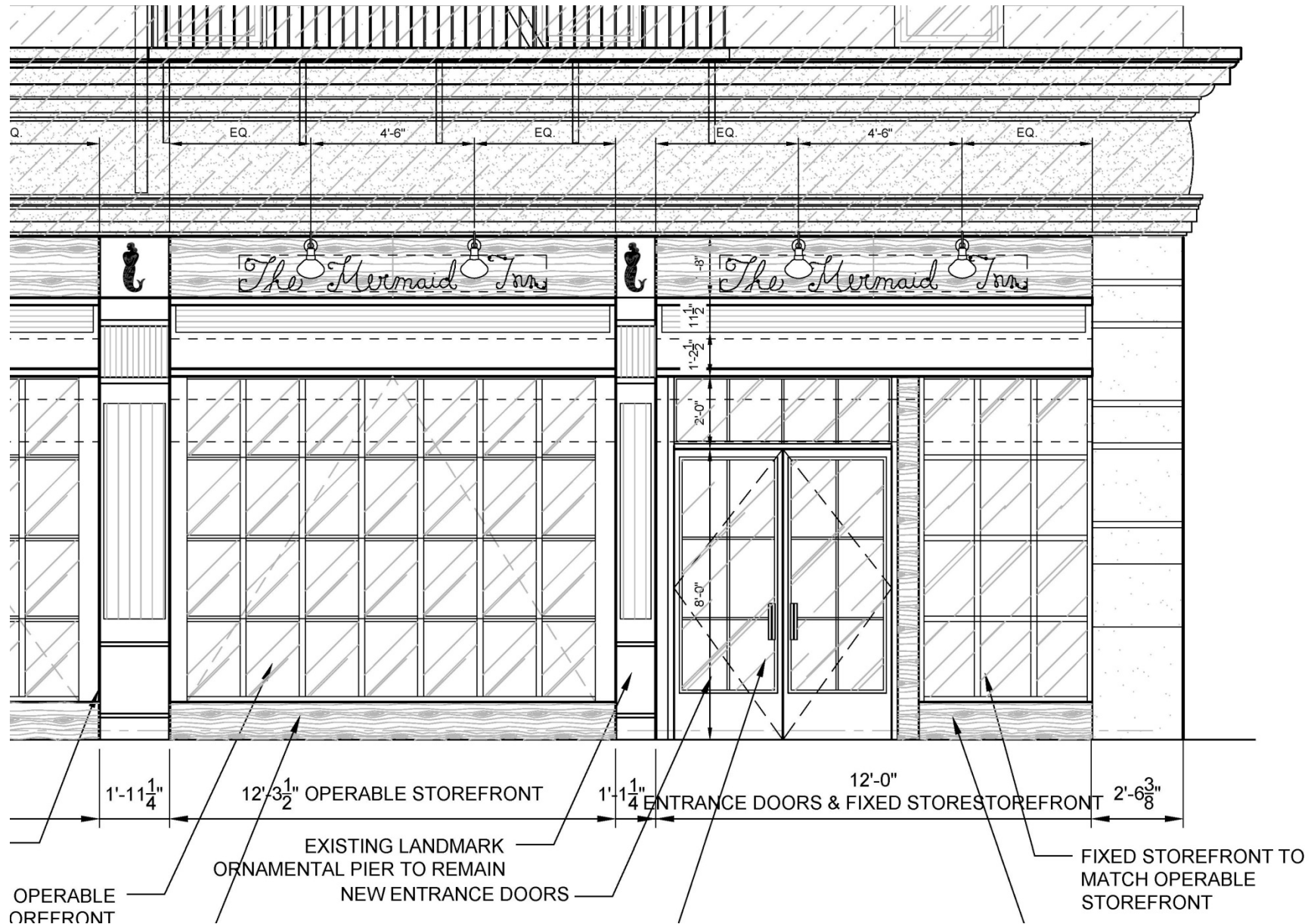






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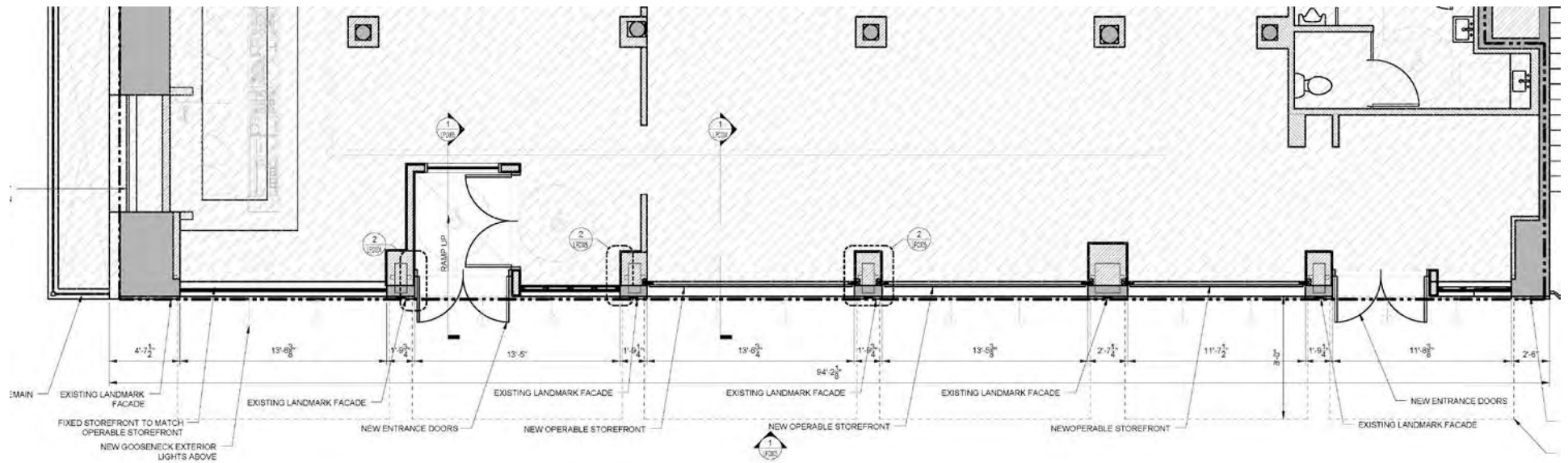
## South end







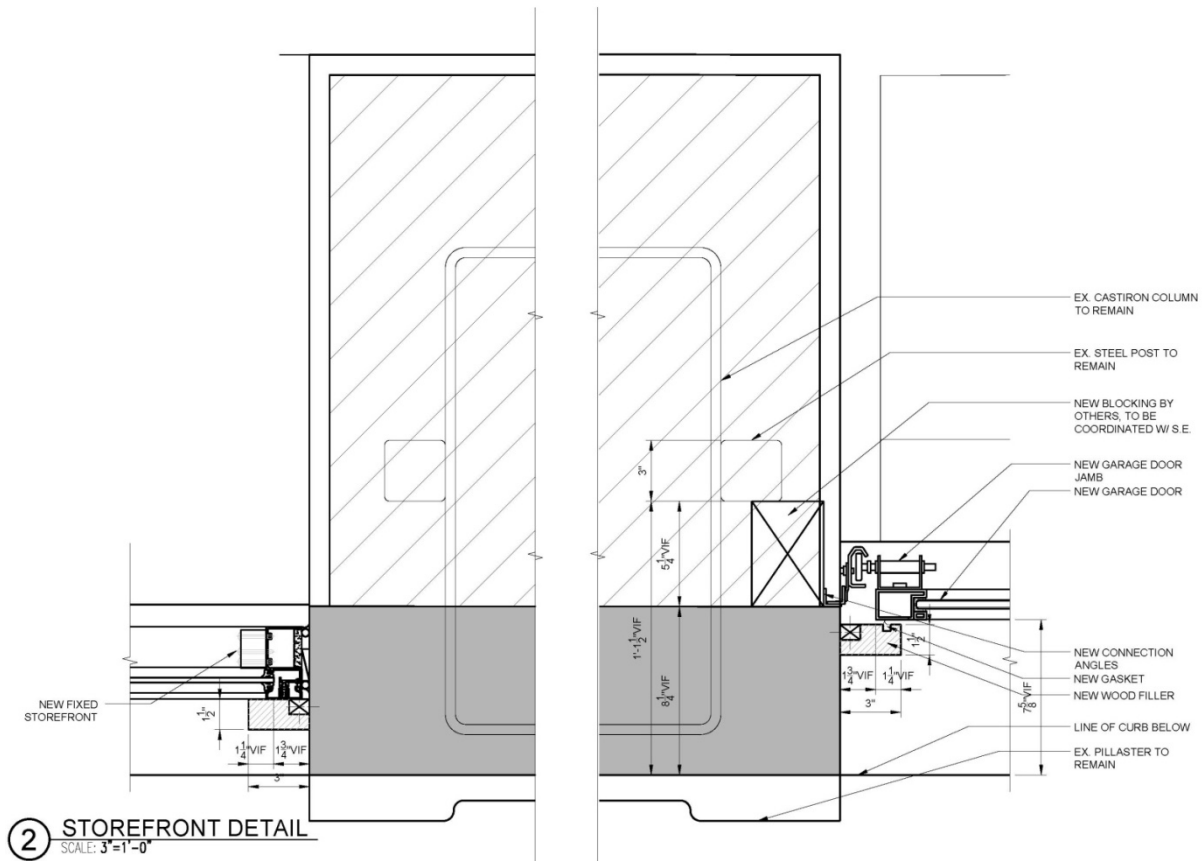
# PLAN / COLUMBUS AVENUE STOREFRONTS



[illegible]



# DETAIL OF OPERABLE STOREFRONT



## Other complex storefronts in the District



*Ansonia (Individual landmark)*



***Tiki Bar Amsterdam Avenue at West 85<sup>th</sup> Street***





**Vacant restaurant space / Amsterdam Avenue between West 80<sup>th</sup> and 81<sup>st</sup> Streets**





***WAO Restaurant West 81<sup>st</sup> Street and Amsterdam Avenue (Enclosed café)***





## MISCELLANEOUS OTHER STOREFRONTS IN THE HISTORIC DISTRICT





***Sarabeth's Kitchen***

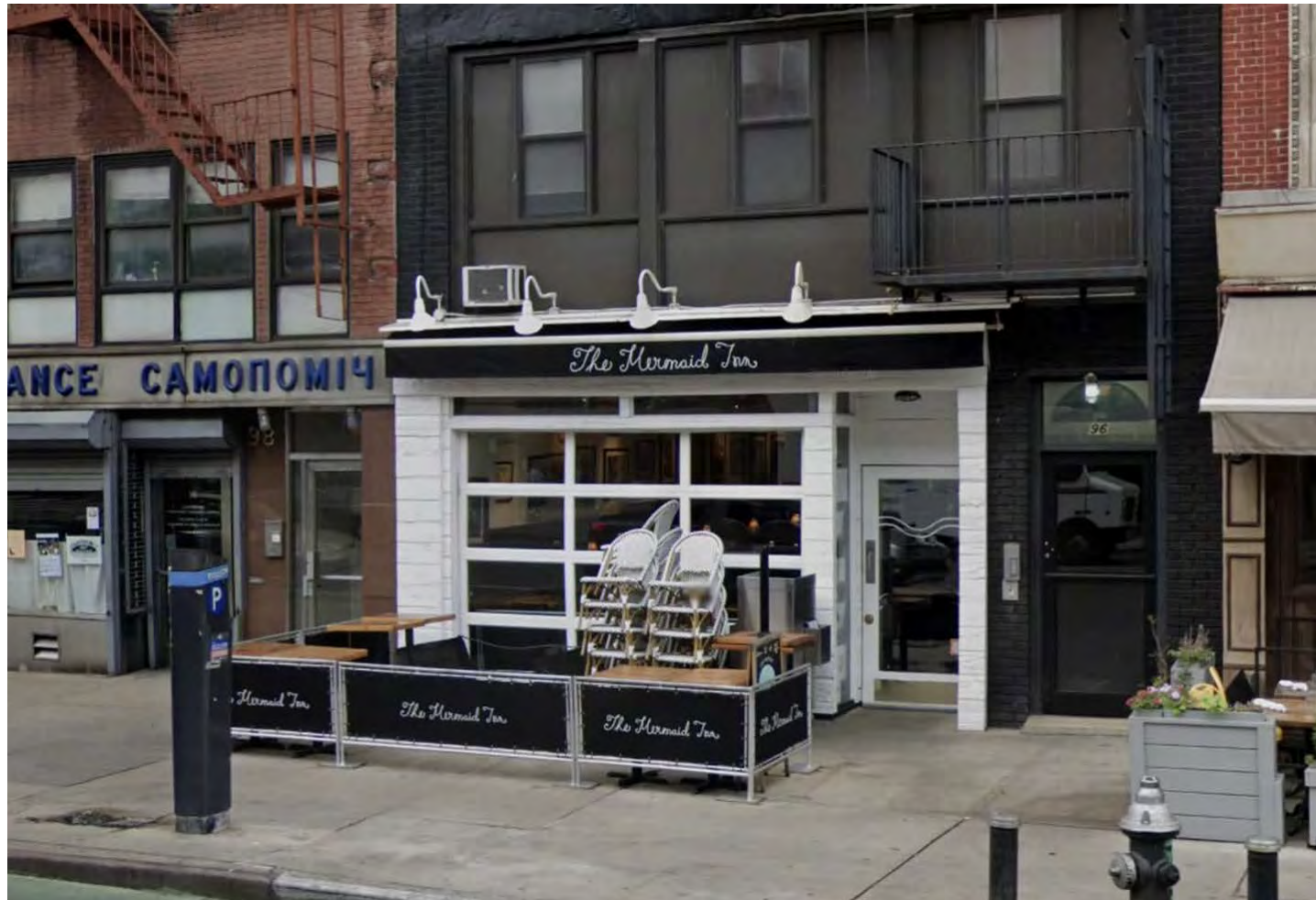


***Historic storefront  
Amsterdam between 81<sup>st</sup> & 82<sup>nd</sup> Streets***





**THE MERMAID INN Second Avenue**  
**WITH TRADEMARK OPERABLE STOREFRONT**





**THE MERMAID INN** (Formerly on Amsterdam Ave)  
**WITH TRADEMARK OPERABLE STOREFRONT**











The Mermaid Inn

3/4" THK. BLACKENED  
METAL LETTER SIGN

(5) ENLARGED SIGNAGE ELEVATION  
SCALE: 1 1/2"=1'-0"



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LPC SUBMISSION

# MERMAID INN - RESTAURANT

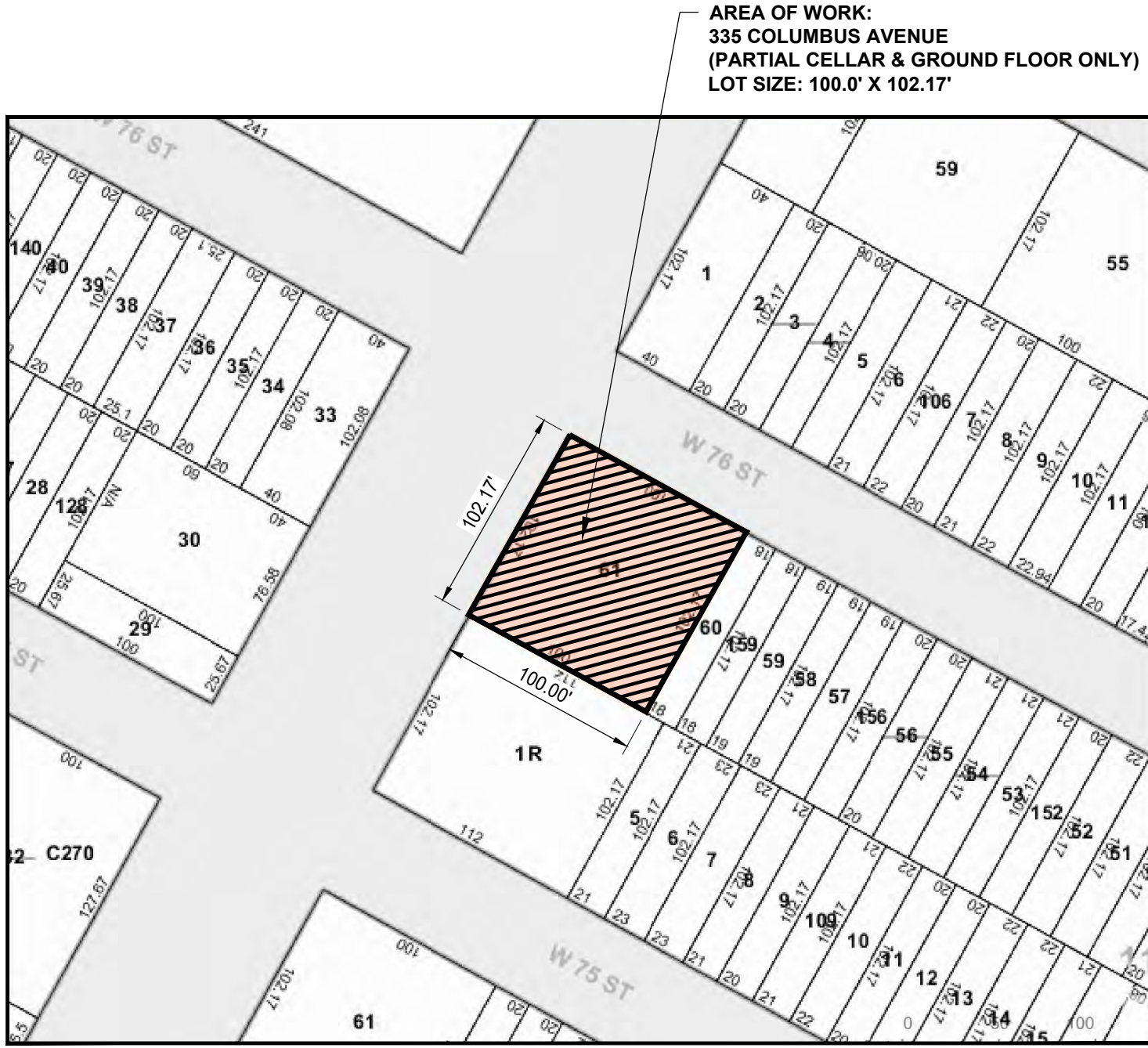
## 335 COLUMBUS AVENUE

## NEW YORK, NY 10023

MANHATTAN COUNTY/ BLOCK: 1128/ LOT: 61



1 KEY MAP  
SCALE: NTS



2 PLOT PLAN  
SCALE: NTS

### GENERAL CONDITIONS

- GENERAL - ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2014 NEW YORK CITY BUILDING CODE, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL SAFETY - CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING AS REQUIRED WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
- HEALTH REQUIREMENTS - DEBRIS, DIRT AND DUST SHALL BE KEPT TO A MIN. AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA AND BE CLEANED AND CLEARED FROM THE BUILDING PERIODICALLY TO AVOID EXCESS ACCUMULATION.
- THERE WILL BE ABSOLUTELY NO CHANNELING OF STRUCTURAL SLABS, DEMISING WALLS AND EXTERIOR WALLS OR PIPE CHASE / SHAFT.
- WHERE NEW ELECTRICAL DEVICES ARE LOCATED ON SHAFT WALL, THE WALL MUST BE FURRED OUT TO ACCOMMODATE THE DEVICES SO AS NOT TO VIOLATE THE INTEGRITY OF THE RATED ENCLOSURE.
- THERE WILL BE NO REMOVAL OF MASONRY BACK UP MATERIAL AT EXTERIOR OR SHAFT WALLS FOR INSTALLATION OF JUNCTION BOXES, ETC.
- THERE WILL BE NO REDUCTION IN FIRE RATING OF THE COLUMN ENCLOSURE. IF ANY FIREPROOFING IS DISTURBED IT MUST BE REPLACED BY THE CONTRACTOR
- NO OFFSET OF RISERS (PLUMBING, GAS ETC.) WILL BE PERMITTED.
- FOR ALL RISERS (PLUMBING, GAS ETC.) ACCESS TO RISER SHUTOFF MUST BE MAINTAINED.

### BUILDING CODE NOTES

- ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH THE CITY OF NEW YORK BUILDING CODE, THE CITY OF NEW YORK FIRE CODE, THE REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, NATIONAL FIRE PROTECTIVE ASSOCIATION REQUIREMENTS AND ALL FEDERAL, STATE AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK.
- BEFORE COMMENCING WORK, ALL REQUIRED PERMITS SHALL BE SECURED IN TIMELY MANNER AND SHALL BE CONSPICUOUSLY POSTED IN ACCORDANCE WITH NYC CODE SUBCHAPTER #1, NYC CODE SUBCHAPTER #1.
- REQUIRED INSPECTIONS AND TESTS OF MATERIALS DESIGNATED FOR SPECIAL INSPECTION AND PROGRESS INSPECTION SHALL BE MADE BY AN ARCHITECT OR ENGINEER WHO SHALL BE, OR SHALL BE ACCEPTABLE TO THE ARCHITECT OR ENGINEER WHO PREPARED OR SUPERVISED THE PREPARATION OF THE PLANS.
- REQUIRED APPROVALS AND PERMITS SHALL BE OBTAINED FROM THE NYC DEPARTMENT OF HIGHWAYS, THE DEP AND ANY OTHER AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND CLEARANCES IN FIELD, BEFORE COMMENCING WORK, AND NOTIFY THE ARCHITECT IF CONFLICTING CONDITIONS OR IF DISCREPANCIES EXIST.
- DIMENSIONS ON DRAWINGS ARE FOR DESIGN ONLY. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- ALL DIMENSIONS ARE TO THE FACE OF FINISHES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE BRACINGS AND SHORING FOR ALL STRUCTURAL OR

REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF WORK.

- THE CONTRACTOR SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES - PLUMBING, ELECTRICAL, ETC.
- MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL CONTAIN AND REMOVE ALL CONSTRUCTION DEBRIS AND TRASH IN A PROMPT AND LEGAL MANNER.
- NO WORK SHALL BE CONDUCTED BEYOND THE PROPERTY LINES.
- THE CONTRACTOR SHALL COMPLY WITH LOCAL LAW 33-2007 NOTICE OF COMMENCEMENT OF WORK REGULATION.
- THE PROPOSED WORK SHALL COMPLY WITH SEISMIC DETAILS AS PER LOCAL LAW 17/95 AND 2014 NYC BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE ONE RECORD COPY OF ALL DRAWINGS, APPROVED SHOP DRAWINGS, AND APPROVED SAMPLES, MARKED CURRENTLY TO RECORD ALL CHANGES DURING CONSTRUCTION.
- THE OWNER WILL FILE THE PROJECT WITH THE NYC DEPARTMENT OF BUILDINGS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS TO DO THE WORK.
- ALL PLUMBING WORK WILL BE DONE BY A NEW YORK CITY LICENSED PLUMBER AND ALL ELECTRICAL WORK WILL BE DONE BY A NEW YORK CITY LICENSED ELECTRICIAN

### TENANT PROTECTION PLAN AND SAFETY NOTES

- EGRESS - CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING. ALL EXISTING MEANS OF EGRESS SHALL BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY - ALL LAWS AND CONTROLS WITH RESPECTED TO OCCUPIED FIRE SAFETY - ALL LAWS AND CONTROLS WITH RESPECTED TO OCCUPIED AT CONSTRUCTION AREA AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA.
- HEALTH REQUIREMENTS - CONSTRUCTION WORK WILL BE CONFINED TO THE AFFECTED APARTMENT AND WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCES TO OTHER APARTMENT UNITS WITHIN THE BUILDING. DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL, & MAINTENANCE OF SANITARY FACILITIES SHALL BE PERFORMED ON A DAILY BASIS.
- COMPLIANCE WITH HOUSING STANDARDS - THE REQUIREMENTS OF THE NYC HOUSING MAINTENANCE CODE, AND THE NYC MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.
- STRUCTURAL SAFETY - NO STRUCTURAL WORK WILL BE PERFORMED THAT WILL ENDANGER THE OCCUPANTS OF THE BUILDING.
- NOISE RESTRICTIONS - CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8:30 A.M. TO 4:30 P.M. MONDAY THROUGH FRIDAY, EXCEPT LEGAL HOLIDAYS. ANY WORK WHICH CAN PRODUCE NOISE THAT MIGHT BE DISTURBING TO BUILDING OCCUPANTS MAY BE DONE ONLY AFTER 10:00 AM. AND MUST BE COMPLETED BEFORE 4:00 P.M. ALL WORKERS MUST BE OUT OF THE BUILDING BY 5:00 PM.
- THERE WILL BE NO ONE OCCUPYING THE SPACE TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.
- THE USE OF PNEUMATIC OR POWER TOOLS WHICH MAY DISTURB OTHER OCCUPANTS OF THE BUILDING WILL NOT BE PERMITTED EXCEPT ON A LIMITED BASIS WHERE ABSOLUTELY NECESSARY.

### PROJECT INFO

#### BUILDING OWNER

OLSHAN PROPERTIES  
800 MADISON AVENUE 14TH FLOOR NEW YORK, NY 10022  
CONTACT: QUADRI OWOKONIRAN  
T: 651.808.5908  
E: QOWOKONIRAN@OLSHANPROPERTIES.COM

#### ARCHITECT/ DESIGNER

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CONTACT: ZACHARY GIDICH/ DAVID SEPULVEDA  
T: 646.389.4590  
E: ZACH OR DAVID@GSA-ARCH.COM

#### PROJECT MANAGEMENT

STYS HOSPITALITY INITIATIVE  
29 FARRAGUT RD  
BOSTON, MA 02127  
CONTACT: MICHAEL CLEARY  
EMAIL: MCLEARY@STYSHOSPITALITY.COM

### SCOPE OF WORK

#### ALTERATION TYPE 1

EATING/ DRINKING ESTABLISHMENT - INTERIOR/ EXTERIOR RENOVATION (NEW INTERIOR PARTITIONS/ EQUIPMENT/ MILLWORK/ DOORS/ LIGHTING/ LOW-VOLTAGE/ MEP ALTERATIONS/ ETC.) AT PARTIAL CELLAR AND GROUND FLOOR LEVEL ONLY.

USE GROUP WILL BE MAINTAINED.

THE PROJECT WILL BE FILED USING THE 1968 NYC BUILDING CODE.

\*CHANGE OF USE/ OCCUPANCY & EGRESS\*

### BUILDING CODES REF.

CITY OF NEW YORK BUILDING CODE 1968

☐ New Construction ☒ Renovation (Existing Bldg.)

☐ Upfit ☒ Alteration ☐ Reconstruction

FIRE CODE:  
NEW YORK CITY 2022

MECHANICAL CODE:  
NEW YORK CITY 2022

PLUMBING CODE:  
NEW YORK CITY 2022

ELECTRICAL CODE:  
NEW YORK CITY 2022

ENERGY CONSERVATION CODE  
2020 NYC ENERGY CONSERVATION CODE

ACCESSIBILITY CODE:  
ICC A117.1/ LOCAL AMENDMENTS

### SITE AND BUILDING DATA

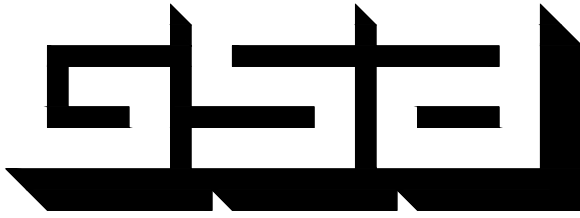
ITEM	DATA
BLOCK NO.	1128
LOT NO.	61
DISTRICT	MANHATTAN 8
ZONE	C1-8A
MAP	8C
EXISTING OCCUPANCY	J-2
EXISTING CONSTRUCTION CLASS	IIB
EXISTING USES (GROUPS)	E
LOT AREA	10,216 S.F.
BUILDING HEIGHT	7 STORIES
**NOTES:	

### SHEET LIST

NO.	SHEET NO.	SHEET NAME	REVISION NUMBER	REVISION DATE	STATUS
1	LPC-001.00	TITLE PAGE / PROJECT INFO / NOTES & DRAWING INDEX			AS SHOWN
2	LPC-001.00	FIRST FLOOR PLAN			AS SHOWN
3	LPC-002.00	EXTERIOR ELEVATION			AS SHOWN
4	LPC-003.00	STOREFRONT & DINING ROOM ENLARGED SECTIONS			AS SHOWN
5	LPC-004.00	STOREFRONT SECTION & ACOUSTICAL CEILING DETAIL			AS SHOWN
6	LPC-005.00	SPECIFICATIONS			AS SHOWN
7	LPC-006.00	REFERENCE RENDERINGS			AS SHOWN

\* REFER TO ALL OTHER ARCHITECTURAL/ ENGINEERING DRAWINGS FOR ALL SCOPE OF WORK PERTAINING TO THE RENOVATION OF THE EXISTING BUILDING/ SPACE AND OTHER SITE RELATED ELEMENTS.

ARCHITECT



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MEP ENGINEER

ALL CITY ENGINEERING, PLLC

76 MOTT STREET, FLR. 1  
NEW YORK, NY 10013  
EMAIL: JDENG@ALLCITYENGINEERING.COM

PROJECT: INTERIOR/ EXTERIOR RENOVATION

THE MERMAID INN

335 COLUMBUS AVENUE,  
NEW YORK, NY 10023

ISSUE/ REVISIONS

MARK	DATE	DESCRIPTION
	01.05.24	ISSUED FOR LPC
	01.23.24	ISSUED FOR LPC
	02.02.24	ISSUED FOR REVIEW
	02.06.24	ISSUED FOR LPC
	03.11.24	ISSUED FOR LPC

NOTES:  
1. ALL MEASUREMENTS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION  
2. GC TO NOTIFY ARCHITECT/ OWNER OF ANY DISCOVERABLES AND/OR DISCREPANCIES.  
3. GC IS RESPONSIBLE TO CARRY OUT ALL ITEMS THROUGH-OUT BUILDING AS PER DESIGN LAYOUT & WORK OF SCOPE, INCLUDING MEP/ STRUCTURE/ FINISHES/ MILLWORK/ ETC.

PROJECT NUMBER: 23005

DATE 03.11.24 DRAWN BY DSHI CHECKED BY ZG/ DS

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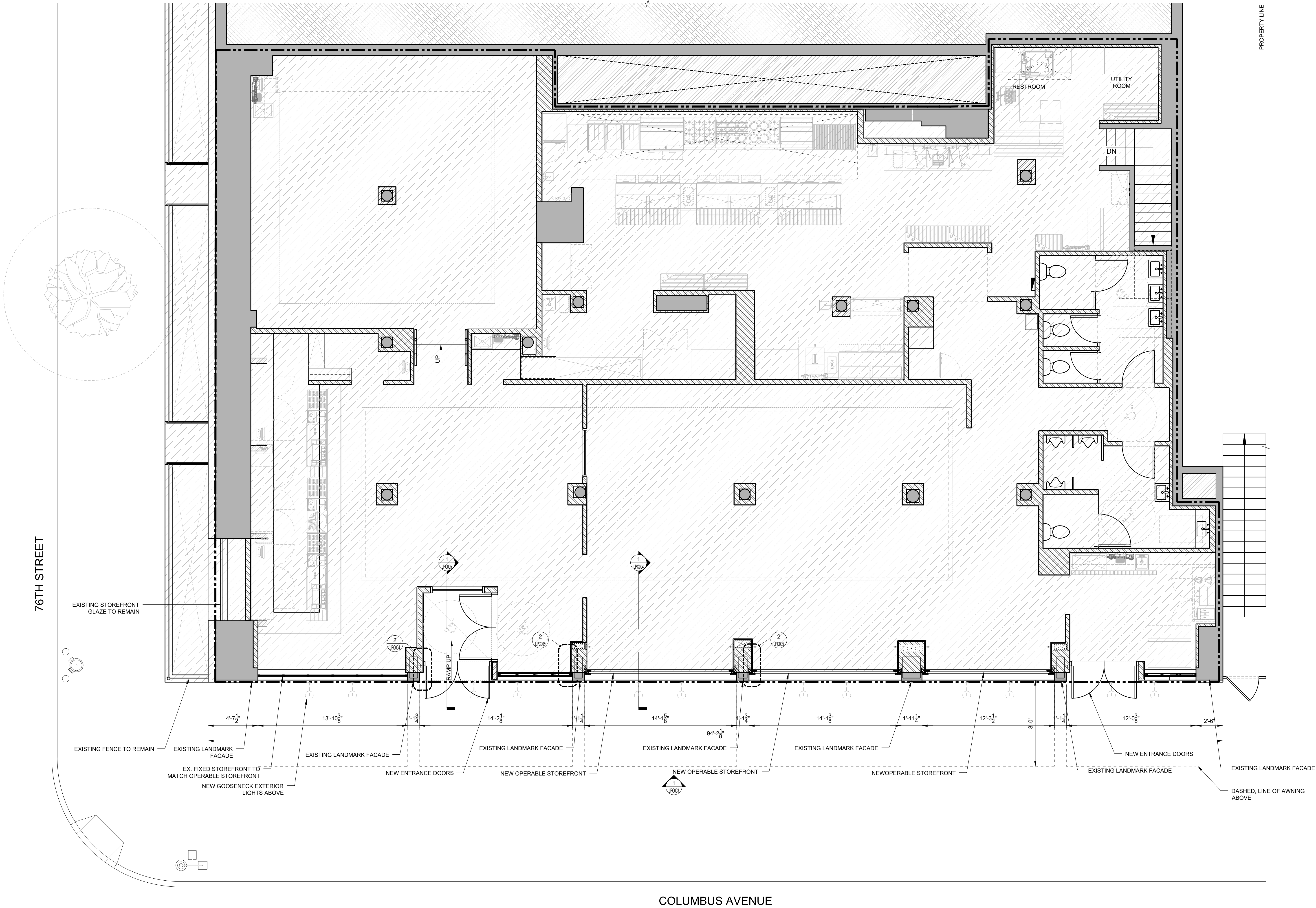
SHEET TITLE:

TITLE PAGE / PROJECT INFO /  
NOTES & DRAWING INDEX

DRAWING NO.

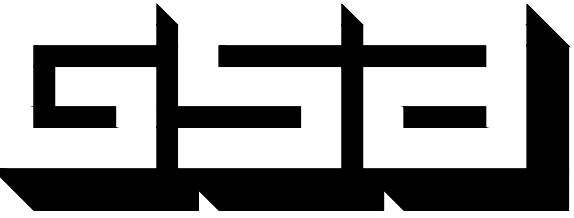
LPC-001.00





1 FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

ARCHITECT



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SHEET TITLE:  
**FIRST FLOOR PLAN**

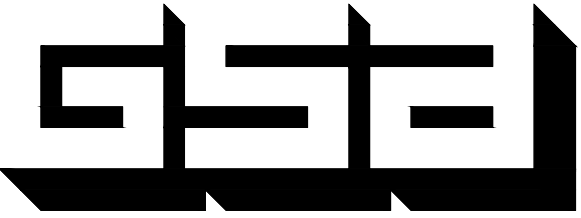
DRAWING NO.

**LPC-002.00**



T.O. PARAPET  
±81'-9 1/4" VIF

ARCHITECT



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SHEET TITLE:

**EXTERIOR ELEVATION**

DRAWING NO.

**LPC-003.00**

03 of 07

EX. BLDG. TRIM (NIC)

T.O. FACADE  
±13'-7"

T.O. GARAGE DOOR  
±9'-9"

NEW GOOSENECK EXTERIOR LIGHTS  
NEW WHITE PAINTED WOOD SIGN BAND  
NEW WOOD MARK SIGNAGE  
NEW MECH. LOUVER GRILLES  
FINISH MATCH AS EX. LANDMARK ORNAMENTAL PIER

DASHED LINE: NEWLY PROPOSED RETRACTABLE AWNING

EXISTING LANDMARK FACADE

EXISTING FENCE TO REMAIN

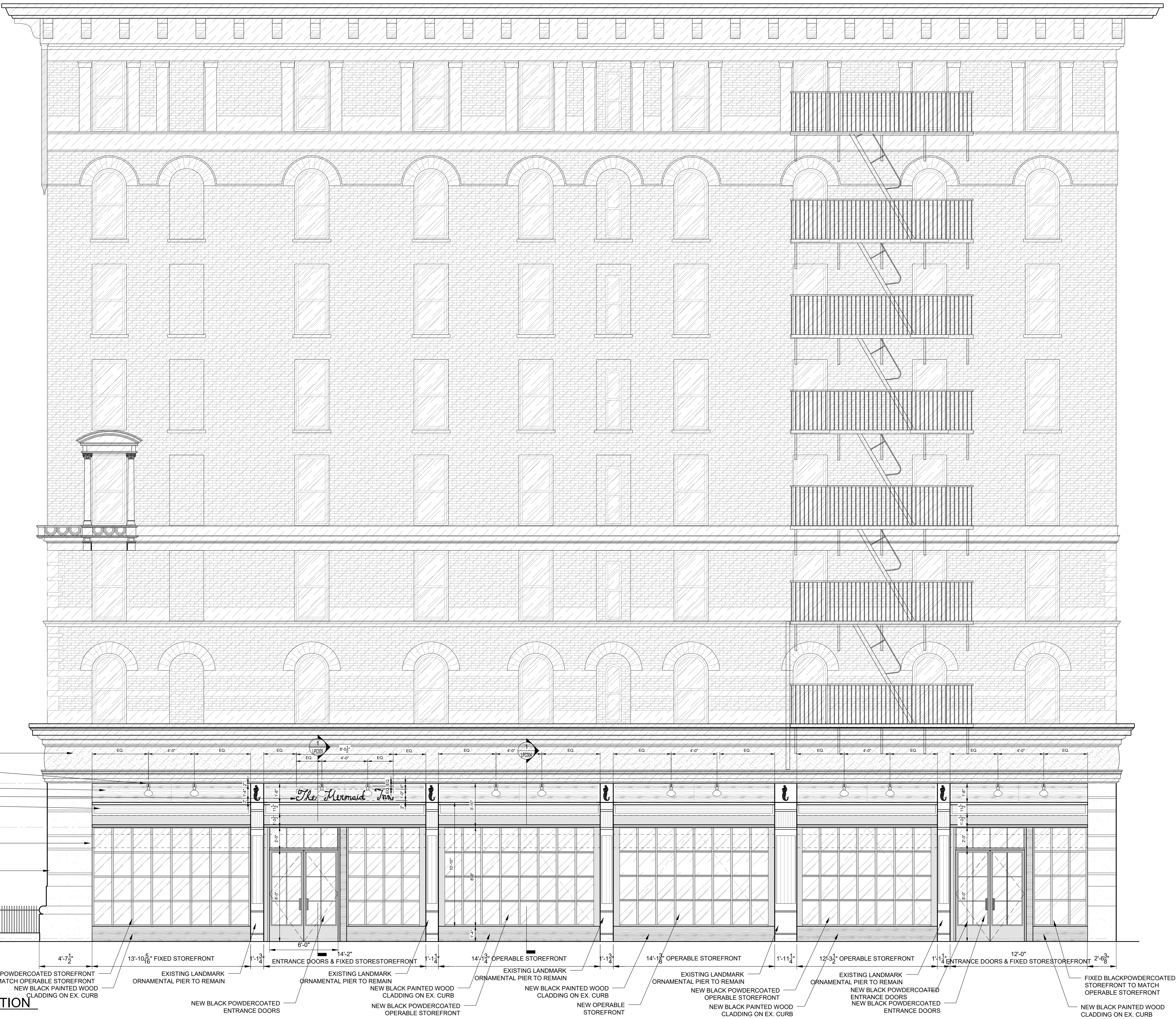
WEST 76TH STREET

EX. SIDE WALK

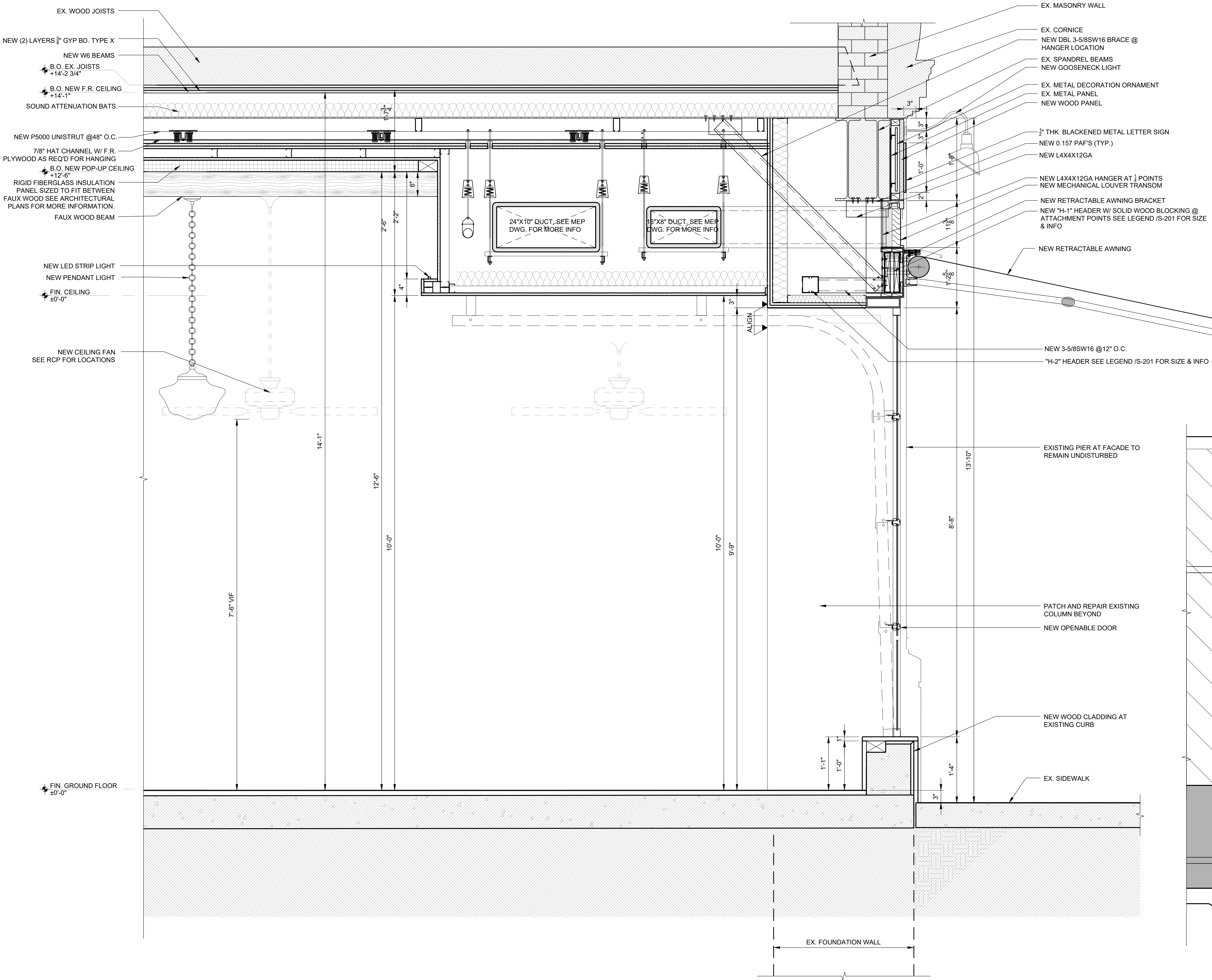
GROUND FL  
±0'-0"

SIDE WALK  
±0'-3" VIF

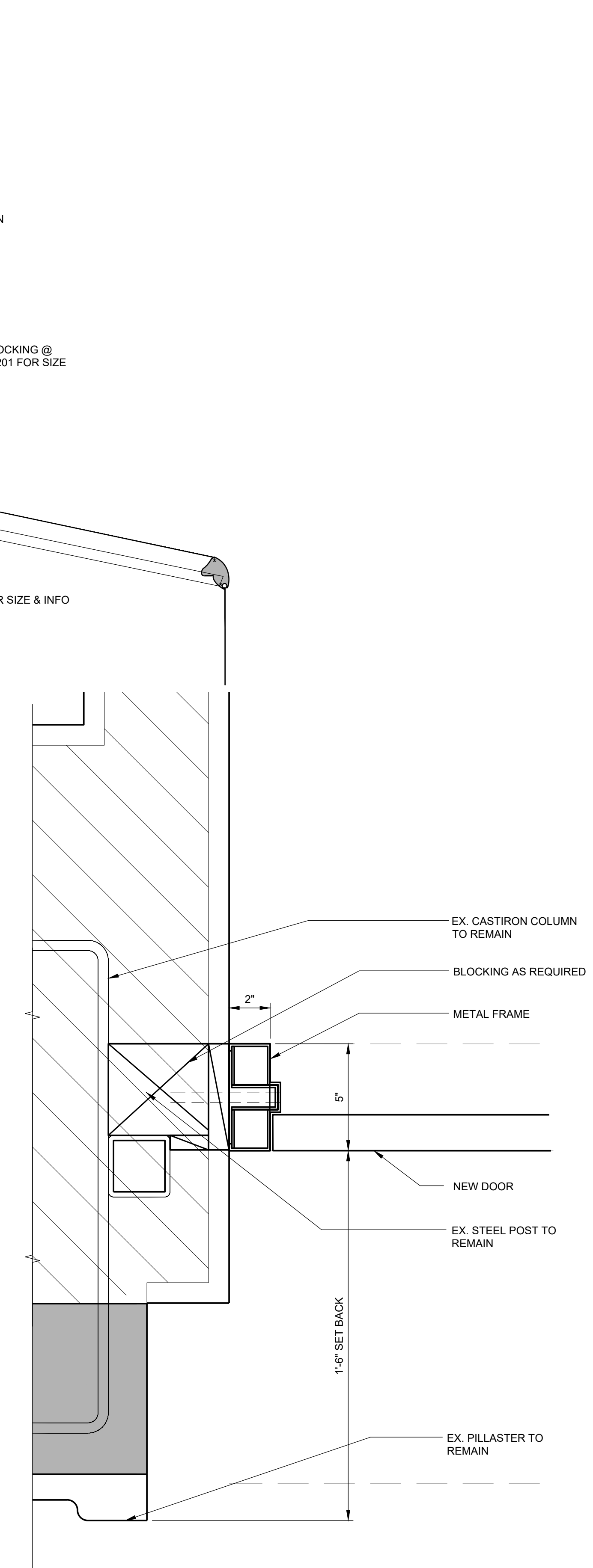
**1 STOREFRONT FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"





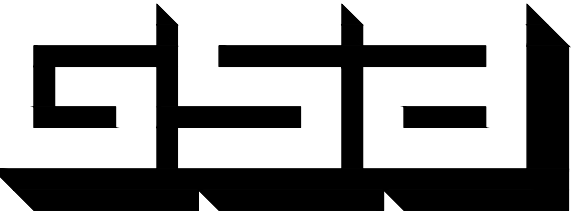


1 SECTION THRU GARAGE DOOR  
SCALE: 1"=1'-0"



2 NEW DOOR JAMB DETAIL W/ EX. PILLAR  
SCALE: 3"=1'-0"

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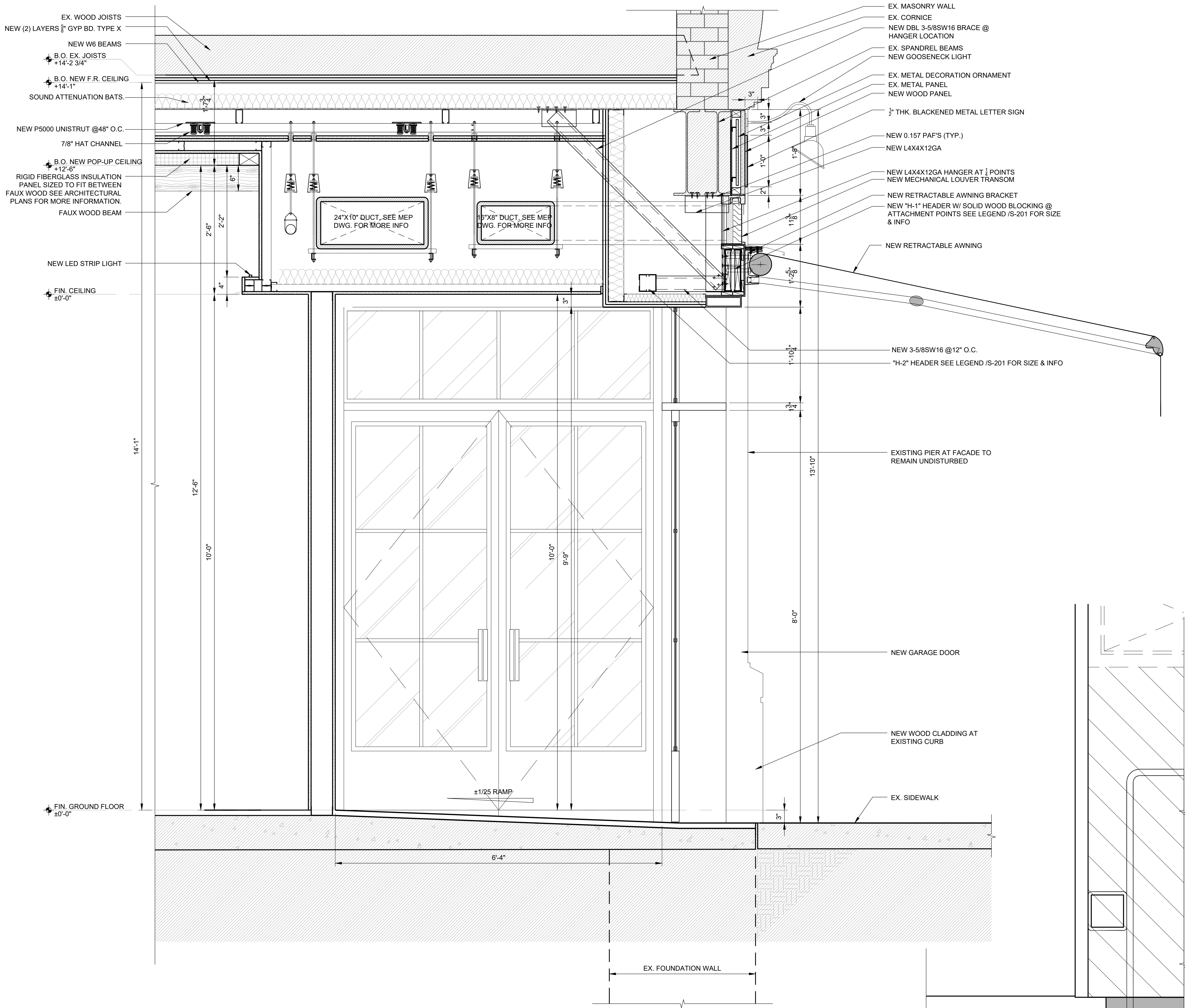
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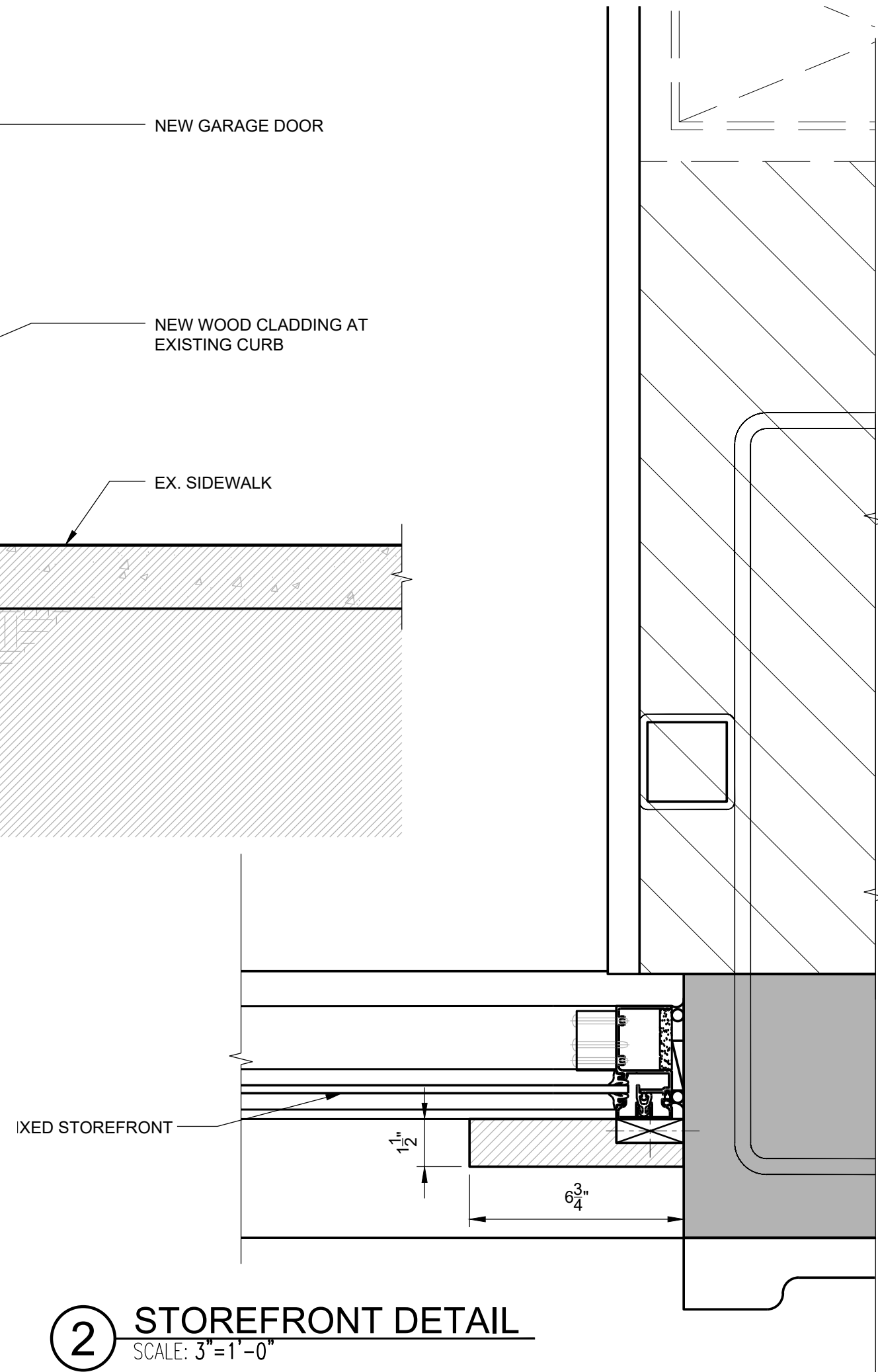
SHEET TITLE:  
**STOREFRONT & DINING  
ROOM ENLARGED  
SECTIONS**

DRAWING NO.

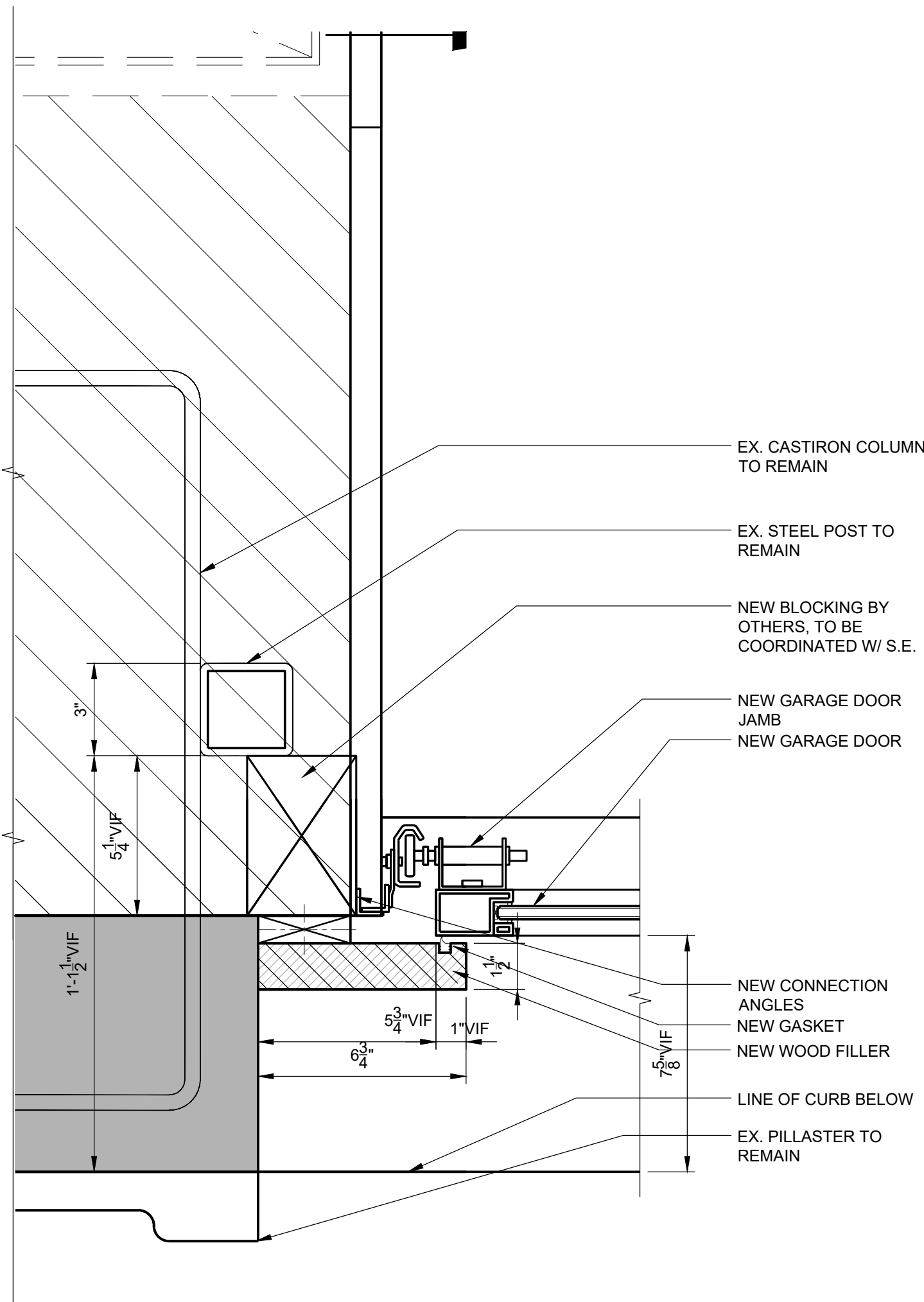
**LPC-004.00**



1 SECTION THRU ENTRANCE DOOR  
SCALE: 1"=1'-0"



2 STOREFRONT DETAIL  
SCALE: 3"=1'-0"



ARCHITECT



GIDICH + SEPÚLVEDA ARCHITECTURE

188 E. FRANKLIN TURNPIKE / HO-HO-KUS / NJ / 07423

WWW.GSA-ARCH.COM  
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PROJECT: INTERIOR/ EXTERIOR RENOVATION

THE MERMAID INN

335 COLUMBUS AVENUE,  
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ISSUE/ REVISIONS

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	01.23.24	ISSUED FOR LPC
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PROJECT NUMBER: 23005

DATE 03.11.24 DRAWN BY DSHI CHECKED BY ZG/ DS

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SHEET TITLE:

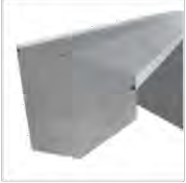
STOREFRONT SECTION &  
ACOUSTICAL CEILING  
DETAIL

DRAWING NO.


LPC-005.00




### AWNING COMPONENTS & FEATURES




Extend the life of your awning fabric and motor with a **hood cover** that protects against wind, rain, debris, mold and mildew.




**Roller support** comes standard with all models 18" or wider to ensure superior strength and durability.



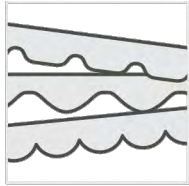
Our **roller tube** is made of corrosion resistant aluminum. It installs more easily and provides less stress on the bolts and frame - so it lasts longer too!



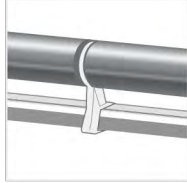
**Arms** are made of extruded aluminum and use twin cables for added strength. These cables are made of extruded aluminum and covered with PVC, which allows heavier tension and longer outdoor life even under the most extreme outdoor conditions.




The newly designed **front profile** makes for a straighter awning, and gives a crisp, distinctive style to the overall appearance.




Many **valence styles** are available, with an extensive variety of fabrics, both solid colors and stripes.




Awnings that are 24" or wider can be split in two with a **center bracket** providing extra support, and an approximate 1" gap in between.



The super-efficient **roller gear** is truly top-of-the-line. That means less strain in both motorized and manually operated models - and many years of trouble-free use!



**Arm-Pitch Control** is made of corrosion resistant extruded aluminum, far superior to the industry standard of aluminum die casting. Additionally, with its unique self-pitch feature, homeowners will be able to adjust the self pitch to their desired height by simply cranking the gear at the Pitch Control.







A **level** is added to each arm where it is attached to the front profile. This unique addition makes installing your awning easy and accurate within minutes.

### LT50 RA CMO

(Rapid Limit Adjustment - Compact Manual Override)

525A2 CMO	1043010	540R2 CMO	1049026
530R2 CMO	1045017	550R2 CMO	1051014
535A2 CMO	1047006		

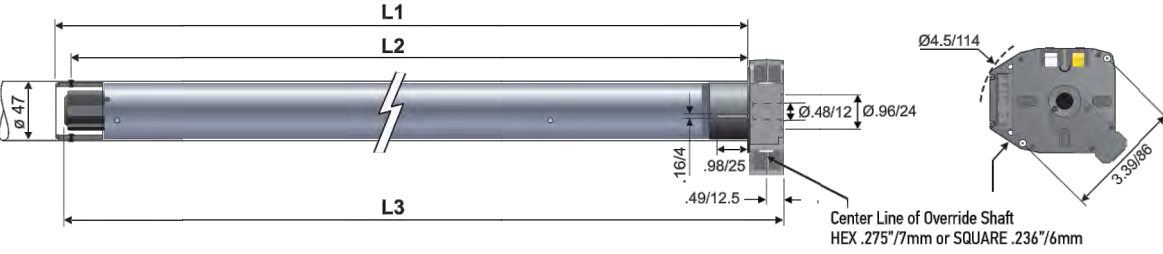


Offers control via power switching

#### Technical Features

<b>Voltage Supply</b>	120V AC, 60Hz	<b>Temperature Working Range</b>	14°F to 104°F (-10°C to 40°C)
<b>Index Protection Rating</b>	IP 44	<b>Insulation Class</b>	Class 1 for 120V AC
<b>Limit Switch Type</b>	Rapid Adjustment (RA) (includes manual override)	<b>Wiring</b>	Do not parallel wire.
<b>Limit Switch Capacity</b>	34 Turns		

#### Dimensions



Dimensions	525A2 CMO	530R2 CMO	535A2 CMO	540R2 CMO	550R2 CMO
L1	23.39 in. (594 mm)	23.39 in. (594 mm)	26.14 in. (664 mm)	26.14 in. (664 mm)	26.14 in. (664 mm)
L2	22.80 in. (579 mm)	22.80 in. (579 mm)	25.55 in. (649 mm)	25.55 in. (649 mm)	25.55 in. (649 mm)
L3	23.90 in. (607 mm)	23.90 in. (607 mm)	26.65 in. (677 mm)	26.65 in. (677 mm)	26.65 in. (677 mm)
Cable Length	6 ft. (1.8 m)				

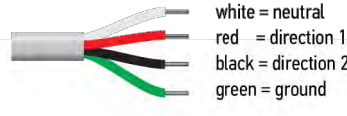
#### Specifications

	525A2 CMO	530R2 CMO	535A2 CMO	540R2 CMO	550R2 CMO
Torque	25 Nm	30 Nm	35 Nm	40 Nm	50 Nm
Nominal Voltage	120V / 60Hz				
Rated Current	1.6A	1.5A	2.1A	1.8A	2.1A
Speed	20 rpm	14 rpm	20 rpm	14 rpm	14 rpm
Thermal Protection	5 minutes				

Optional CMO 4C cables available in varying lengths with open leads.

#### Type of power cable


**Wired**  
120V AC / 60Hz  
4-conductor cable



white = neutral  
red = direction 1  
black = direction 2  
green = ground

www.somfypro.com

D-0026



## 1 AWNING SPECIFICATIONS

SCALE: NTS

Venice Wall Mounted Light | Indoor & Outdoor Decor & Sign Light

Venice Wall Mounted Light | Industrial Barn House Lighting Fixture

Product Dimensions

## 3 GOOSENECK LIGHTING SPECIFICATIONS

SCALE: NTS

SHERWIN-WILLIAMS SW 6258 TRICORN BLACK

## 4 STOREFRONT COLOR (BLACK)

SCALE: NTS

BENJAMIN MOORE OC-65 CHANTILLY LACE

## 5 STOREFRONT COLOR (WHITE)

SCALE: NTS

## 6 NEW WOOD CLADDING TEXTURE IMAGE

SCALE: NTS

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PROJECT NUMBER: 23005

DATE

03.11.24

DRAWN BY

DS/HS

CHECKED BY

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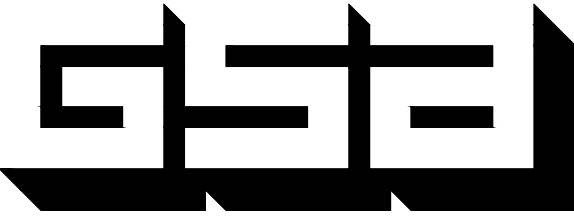
SPECIFICATIONS

DRAWING NO.

LPC-006.00

06 of 07





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